



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, June 6, 2017
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Commissioner Gerald Luhr
Commissioner Michael Lucas

Commissioner Richard Sadowski
Commissioner Joseph Ingrassia

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS – NONE

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

- A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.
- A-2 Approval of minutes from the Planning Commission meeting of April 4, 2017.
Staff Recommendation: Approve minutes as submitted.
- A-3 Approval of minutes from the Planning Commission meeting of April 18, 2017.
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

- B-1 **Case No.:** CP0-542, UP0-477, & AD0-118
Site Location: 3121 Sandalwood Street
Proposal: Coastal Development Permit, Conditional Use Permit, and Parking Exception for construction of a 218 SF conforming addition to an existing 1,130 SF nonconforming house with a one-car garage. The parking exception is requested for open tandem parking in an existing 16-foot long driveway. The project is on a 7,862 SF lot containing Environmentally Sensitive Habitat. The property is zoned R-1/S.2A/ESH and located in the Coastal Commission appeal jurisdiction.
CEQA Determination: Categorically exempt, Section 15301, Class 1
Staff Recommendation: Conditionally Approve.
Staff Contact: Joan Gargiulo, Assistant Planner (805)772-6270
- B-2 **Case No.:** UP0-462 and CP0-523
Site Location: 2214 Coral Avenue, Cloisters Subdivision
Proposal: Coastal Development Permit and Conditional Use Permit for construction of a new single-family residence on a vacant 7,605 sq. ft. lot in the south cluster of the Cloisters Subdivision. Specifically, the Applicant proposes to construct 1,950 sq. ft. of living space, a 506 sq. ft. garage, a 290 sq. ft. porch, and a 190 sq. ft. interior courtyard. The project is located within the MMR/CRR/GC(PD) zoning district and in the Coastal Commission Appeal Jurisdiction.
CEQA Determination: Categorically exempt, Section 15303, Class 3
Staff Recommendation: Conditionally Approve.
Staff Contact: Joan Gargiulo, Assistant Planner (805)772-6270

C. NEW BUSINESS

- C-1 **2016 Annual Water Report and Recommendation for Allocation of water equivalency Units (WEU's) for 2017**
Recommendation: Recommend approval to City Council
Staff Contact: Demaris Hanson, Environmental Programs Manager

D. UNFINISHED BUSINESS-NONE

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on June 20, 2017 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$268 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions

New Planning items or items recently updated are highlighted in yellow.

Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date June 6, 2017

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	Barker	2214 Coral Ave	11/18/16	CP0-523/UP0-462	New 1,950 sq. ft. SFR in the Cloister's Subdivision	Under Initial Review. Correction letter sent 12/14. Resubmittal rcv'd 4/3. To be noticed 5/26. Ready for PC hearing 6/6/17		PN-Conditionally Approved per memo dated 12/14/16		jg
2	Frye	3121 Sandalwood Ave.	4/21/17	UP0-477/AD0-118	Conditional Use Permit and Parking Exception for a 215 sq. ft. addition to a nonconforming SFR	Under Intial Review. Complete. To be noticed 5/26 Scheduled for 6/6/2017 PC meeting				jg
3	Leage	1205 Embarcadero	9/28/16	A00-044 (UP0-058)	Minor ammendment to UP0-058 to relocate approved floating dock location and construct new finger slip and lease line ammendment	Project under review. Correction letter sent 11-21-16. Resubmittal received 1-27-17 and under review. Fire corrections forwarded to applicant to be made prior to noticing. Noticed on 5/22/17 for minor ammendment		PN Disapproved per memo dated 10/25/16		cj
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
4	Romero	3036 Ironwood	5/26/17	A00-047	Minor ammendment to an existing CDP.	Under Review				jg
5	Teresa Drive Estates, LLC	301 Sea Shell Cove	5/11/17	CP0-543 & UP0-480	Coastal Development Permit & Conditional Use Permit for new SFR on Lot 1. 2220sf living, 580sf garage, 336sf covered patio & decks.					
6	Spencer	2445 Ironwood	5/4/17	UP0-478	Conditional Use Permit for an addition to a noncofnormin SFR to include 151 sq. ft. of living area and 78 sq. ft. of decking	Under Initial Review				jg

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7	2130 Morro Bay, LLC./Belsher & Skidmore	2130 Main St.	4/13/17	CP0-540	Regular Coastal Development Permit for new 34 suite hotel w/ partial subterranean parking. Project includes demolition of existing on-site structure	Under Initial Review				wm
8	Morgan	101 Fig St.	4/12/17	UP0-476	Conceptual Review of New SFR with accessory unit. Existing historical structure on lower level.	Under Initial Review. Conceptual Review for Planning Commission input to be reviewed as a new business item on 5/16				wm
9	So Cal Gas Company	0 Sequoia St (Public Right of Way, 32' west of Alder Ave)	3/29/17	CP0-539	Administrative Coastal Development Permit to install new class 5 wood pole, 29' above ground level. Advance Meter - Equipment attached to top of pole	Under Initial Review		PN - Disapproved 5/3/17		wm
10	So Cal Gas Company	0 Nutmeg (Public Right of Way, 710' north of Cuesta St.)	3/29/17	CP0-538	Administrative Coastal Development Permit to install new class 5 wood pole, 29' above ground level. Advance Meter - Equipment attached to top of pole	Under Initial Review		PN - Disapproved 5/3/17		wm
11	Mathias Family Trust	2515 & 2525 Greenwood	3/29/17	CP0-537	Administrative Coastal Development Permit for demolition of two residential structure, prep site for new construction, prune & trim overgrown bushes, and removal of fallen tree.	Under Initial Review		PN- Conditionally Approved per memo dated 5/1/17		wm
12	Assembly of God	615 Monterey	3/6/17	CP0-534/ AD0-113	Admin CDP and Parking Exception to convert existing garage to living space (house adjacent to church), convert lower rear portion of church to new garage.	Under Initial Review. Waiting on project redlines 4/12 then ready to notice		PN- Conditionally Approved per memo dated 4/24/17		jg
13	James / Nisbet	310 Mindoro	3/2/17	CP0-533	Admin CDP for New SFR on vacant lot for 1542sf living, 462sf garage, 176sf deck.	Under Initial Review. Incomplete letter sent 3/23		PN- Disapproved per memo dated 3/24/17		wm
14	James/ Nisbet	300 Mindoro	3/2/17	CP0-532	Admin CDP for New SFR on vacant lot, 1433sf living, 446 sf garage, 195sf deck.	Under Initial Review. Incomplete letter sent 3/23		PN- Disapproved per memo dated 3/24/17		wm
15	Huber	2783 Coral Ave	2/24/17	CP0-530, UP0-470, S00-127	Proposed 6 lot residential subdivision (Tentative Tract Map, CDP, and CUP application). Property located at corner of San Jacinto & Coral Ave.	Under Initial Review		PN- Not Approved per memo dated 3/16/17		wm
16	Bay Pines/Shorebreak Energy	1501 Quintana	11/29/16	UP0-463/CP0-525	Coastal development permit & Conditional Use Permit for Bay Pines Solar Project.	Under Initial Review. Bio Report and Phase 1 Arch report rcv'd. Waiting for preliminary title report. Rcv'd 3/15. Sent to PW: Under Review. Correction letter sent 4/12/2017. Rcv'd email resubmittal 5/5, resubmittal under review		PN-Approved 12/9/16		jg

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17	Najarian	321 Luzon	11/7/16	CP0-521 & UP0-473 and AD0-115	Coastal Development Permit for a new 1,694 sq. ft. SFR	Under Initial Review. Correction Letter sent 12/5. Resubmittal received 2/2/2017		PN- Conditionally Approved 5/26/17		wm
18	Najarian	320 Mindoro	11/7/16	CP0-520 & UP0-472 & AD0-114	Admin CDP and MUP to build a SFR in an MCR/R-4 zone on a vacant lot. Proposed 2 story, 1694sf living, 546sf garage, & 144sf deck.	Under Initial Review. Correction Letter Sent 12/5. Resubmittal received 2/2/217		PN - Conditionally Approved 5/25/17		wm
19	Fennacy	939 Main Street	10/18/16	UP0-459	Use permit approval for change of occupancy for the creation of outdoor dining area at the Brickhouse BBQ	Project under review. Correction letter sent 11/17. Resubmittal Rcv'd 3/27		Conditionally approved per memo dated 5/1/17		rr
20	Van Buerden	945 Embarcadero	5/24/16	UP0-446	Conditional Use Permit for House of JuJu restaurant remodel, and City Park improvements	Incomplete letter sent 6-23-16 to Applicant and Applicant Representative. Cj. No recent activity as of 3-1-17		Conditionally approved 6/14/16		cj
21	Eisemann	535 Atascadero	10/12/15	CP0-490 & S00-125	Parcel map application & CDP to split 1 R-4 zoned lot in to two lots.	Incomplete letter sent 11-5-15. Received revised plans and communicated via email to applicant regarding plan corrections. Resubmittal under review. Correction letter sent 2/18/16 with Public Works comments. Received revised info from Applicant 3-3-16. Correction sent and resubmitted 4-8-16. Met w/ Architect to discuss intent to include development of 4-plex apartments. Resubmittal rcv'd 5/10. Correction letter sent 6/14/16. Spoke with architect 8/9/2016. Resubmittal rcv'd 8/17/2016. Correction letter sent 10/13/2016. <i>Applicant now wants to remove development from proposal and process the parcel map independently of any development.</i> Waiting on updated map (4/7/2017) Rcv'd 4/17		PN- Diapproved per Memo dated 6/14/16		jg
22	DeGarimore	1001 Front St.	7/14/15	A00-026 and UP0-442	Amendment to CUP to modify project description to remove proposed new awning.	Letter sent to applicant 9-9-15 regarding public access requirements. In process. Applicant wishes to include a kiosk for Virg's Landing with the awning amendment. Reviewed prelim site plan of kiosk and provided email comment corrections on 2/24/16. Met with Virg's Landing owner to discuss kiosk plan 2-29-16. TUP application submitted for kiosk proposal adjacent to parking lot on 4-19-16. Correction letter sent 5-12-16. No recent activity as of 3-1-17.				cj
23	Gambril	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports. Incomplete letter sent 9/4/15.		PN-Plans Disapproved. Req. Stormwater determination form & plan update-		wm

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24	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story 19 foot building (retail/restaurant use) & outdoor improvements	Under review. Deemed incomplete. Letter sent 10-13-14. CJ Resubmittal received 2/17/15. Incomplete letter sent . Resubmittal received. Not compliant with view corridors requirements. Resubmitta received 1-20-16. Email corrections provided to Applicant on 2/10. Reviewed revised plans received from architect via email on 3/7/16.	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14		cj
Planning Commission Continued projects:										
25	Vankrieken	462 Arbutus	12/9/16	UP0-465/ CP0-535	CDP and Conditional Use Permit for new 515 sq. ft. garage and remodel of existing nonconforming SFR	Under Initial Review. Correction Letter sent 1/6. Resubmittal received 1/20/217. Correspondence with Agent regarding residential design guidelines, waiting for updated front elevations. Noticed for PC hearing on 3/10/16. Agendized for 3/21/17. Continued to a date uncertain with direction for design changes		PN- Conditionally approved per memo dated 12/22/16		jg
26	Elster	530 Morro	4/20/16	UP0-282 & CP0-323	New 2,978 sq. ft. SFR with 1,516 sq. ft. garage, 1,191 sq. ft. of decking, and a 560 s. ft. secondary dwelling unit.	Applicant has decided against the parcel map and development of three townhomes and now proposes to build one SFR and a secondary dwelling unit. Under initial review. Waiting on PW comments. Correction letter sent 5/18/16. Spoke with Applicant 8/4/2016 - resubmittal pending. Resubmittal received. Correction Letter Sent 11/7/2016. Resubmittal received 1/17/17. PC on March 7, 2017. Continued to a date uncertain.				jg
27	Rhine LP & Morro 94, LLC	3300 Panorama	2/24/16	CP0-500 & UP0-440	Coastal Development Permit & Conditional Use Permit for Demolition of 3 existing tanks, related pumps and concrete	Under review. Correction letter sent 5-10-16. Environmental review complete and to be routed 7-28-16 for required 30 day period. PC 9/6/16 hearing. Reviewed and PC continued hearing to 10/4/16. Project continued to 12/6 PC meeting. Project reviewed at 1/3/17 PC hearing and continued to a date uncertain.		PN- Conditionally approved per memo dated 7/26/16		wm
28	Verizon / Knight	184 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		jg
29	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UP0-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cj

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30	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips.Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		wm
31	AT&T	590 Morro Street	4/10/15	UP0-411 & CP0-465	Conditional Use Permit & Coastal Development permit to modify 2006 Planning permit approval for unmanned cell site	WM.Was tentatively scheduled for 3-1-16 PC hearing. Awaiting additional info from applicant. Tentatively scheduled for 5-17-16 hearing. Applicant requested continuance. PC continued review with direction on June 21, 2016.				wm
Projects Appealed or Forwarded to City Council:										
31	Baston	561 Embarcadero	UP0-448	UP0-448	Conditional use permit for Gray's Inn access improvements and piling repair	Incomplete letter sent 8-4-16. Received resubmittal 9/16/16. Correction letter sent 10/14 and resubmittal 10/19. Met w/ Agent to review resubmittal 10/19. Project reviewed at 12/20 PC meeting and continued to 1/17 PC meeting. Project reviewed for favorable recommendation to the City Council with direction. City Council reviewed and continued to a date uncertain to allow plan revisions to sign location and ADA clarification.		PN- Conditionally approved per memo dated 8/3/16		cj

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32	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission reviewed 5/17/2010. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. PC reviewed 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11 .City Council 12/13/11. Continued to 1/10/12 CC meeting. PC reviewed 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13 & 7/3/13. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. Business workshops held fall/winter 13/14. Result of sign workshops discussed at 11-3-15 PC mtg.	No review performed.	N/R		sg
Environmental Review										
33	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
Final Map Under Review Projects:										
34	Tract 2739	485 S. Bay Blvd, Black Hill Villas Subdivision	1/17/17	Map	Final Map - Tract 2739 / 16 lot subdivision with dedicated lot for riparian enhancement and raptor preservation.	Final Map Application Under review. Map corrections forwarded to Engineering/Public Works Dept. on 3/13/16. Final Map & Public Improvement Plans resubmitted to City on 4/24/17.		JW/PN - Disapproved final map and public improvements		cj
35	Tract 2818	2400 Main St / Morro Mist	6/13/16	Map	Final Map - Tract 2818 / 23 lot subdivision and 1 common lot	Initial submittal for final map processing received 6-13-16. Correction letter sent 7-6-16. Draft CC&Rs received. Resubmittal received 1/5/17. Corrections sent 4-7-17		JW/PN - Disapproved final map and public improvements		cj

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36	Tract 2670	1899 -1911 Sunset	11/17/15	Map	Final Map. - Tract 2670 6 lot subdivision and 1 common lot	Under review. Correction letter sent on 12-17-15. Met with Applicant on 3-8-16 to review outstanding items. Received revised CC&R's 3-8-16 for review. CC&R documents reviewed and determined deficient - corrections sent 4-21-16. Met with Applicant to review final corrections 7-13-16. Revised grading/retaining wall plans to be resubmitted. Draft CC&Rs under review by City Attorney. Attorney's review forwarded to Applicant on 7/28/16. CC&Rs under review for consistency with Council conditions of approval. Waiting for revised final map, revised grading plans as of 10/27/16. Grading permit issued. Awaiting revised CC&Rs.		JW/PN - Approved public improvements		
37	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map. Unresolved Planning conditions. Sent correction letter to Engineering 4-14-16. Received request for extension of permit as allowed by code. One year extension of permits granted extending map to 7/19/2017. Received map resubmittal 11-28-16. Response letter sent 12-27-16.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to		cj sg/cj
Projects requiring coordination with another jurisdiction:										
38	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
39	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing:										
40	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation will force additional changes.	No review performed.			wm
41	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas".	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues. Amendments withdrawn from Coastal Commission as they are no longer consistent with state law. Item has been included in the FY 16/17 goals and objectives.	No review preformed.	N/A		sg
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:										
42	T-Mobile	1478 Quintana	1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG. Partial resubmittal rcv'd via email 9/18		JW approved		ig

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Grants										
43	California Coastal Commission, California Ocean Protection Council	City-wide	4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17.	No review performed.	N/A		sg
44	City of Morro Bay	City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. Final 2016 funding recommendations reviewed by Council on 3-8-16.	No review performed.	N/R		cj
45	City of Morro Bay	City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
Projects in Building Plan Check:										
1	Frank	2900 Alder	4/4/16	B-30941	New Duplex	Approved by jg. 5/31/16	Approved by cdl on 6-3-16.	PN- Approved 6/27/16		
2	Smith	460 Avalon	4/5/17	B-31463	SFR Alteration - Remove and replace 2nd story wood deck. Demo 96 sf, new deck 93 sf.		Approved by cdl on 4-26-17.			
3	LaPlante	3093 Beachcomber	10/27/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. Building Permit deemed withdrawn - Approved Planning permit substantially different than 2011 application.	BC- Application on hold during planning process	PN - Disapproved 5/26/17		
4	Martinez	235 Bradley	12/1/16	B-31311	SF-Alter 274 s.f. covered deck, 10'4" X 26'6" at rear of property. Covered deck.	Approved by jg 12-05-16	Disapproved by cdl on 12/21/16.	Approved by rps on 12-01-16.		
5	Williams	297 Bradley	10/19/16	B-31236	Remove & Replace existing 2nd floor 177sf deck.		Disapproved by cdl on 1-13-17.	PN- Approved 10/24/16		
6	Curtsinger	513 Dawson	11/10/16	B-31272	Interior remodel, replace plumbing, repair and/or replace existing entry stairs and landing.		Approved by cdl on 12-22-16.	PN- Approved per memo dated 1/20/17		
7	Schechter	245 Driftwood	5/31/17	B-31529	Exterior elevator installation,					

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8	MMbs Lic	1215 Embarcadero		B-31326	Demo existing Dockside 3 and Morro Bay Landing to replace with 2 story new structure	Disapproved with plan corrections 1-5-17. CJ.	Plans sent to Ca, Code Check 1-5-17.	PN- Disapproved per memo dated 1/18/17		
9	Govers	404 Fairview	1/27/17	B-31379	SF Addition -convert existing 2nd story deck over garage into habital space 120sq.ft. Adding new 5' 2nd story converted deck off new additi		Disapproved by cdl on 2/8/17.	PN-Approved 4/6/17		
10	Gannage	2926 Fir	3/3/17	B-31423	270 sf Addition (new bdrm #4 & new bath #4) to SFR, new 50 sf covered entry porch, new 231 sf roof deck, remodeling kitchen, master bath, and relocating and coverting full bath to	PLAN- Approved by jg on 3-22-17	Disapproved by CDL on 3-29-17	PN - Approved 5/22/17		
11	Appleby	381 Fresno	7/31/14	B-30227	Carport& Storage Shed. Remians in plan check status.	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG. Corrections sent 2/23 JG	Building approved 08-04-15 cdl	RPS - No PW comments if street access is not required for storage bldg		
12	Rezzonico	421 Fresno	5/24/17	B-31524	Interior remodel and addition of 189sf covered deck.			PN- conditionally approved per memo 5/31/17		
13	Whitaker	1170 Front	3/10/16	B-30885	New 6 unit hotel	Needs CDP from Coastal Commission.	Denied by cdl on 6-17-16.	PN- Disapproved 6/30/16		
14	Stanley	570 Harbor	11/15/16	B-31280	New SFR on lot with existing commercial structure. SFR includes 1507sf living, 480sf garage and 194sf decking		Disapproved by cdl on 12-22-16.	PN- Disapproved per memo dated 12/8/16		
15	Elliot	2654 Greenwood	4/18/17	B-31479	192sq.ft. addition (12'16') at rear of existing no conforming SFR		Approved by cdl on 5-5-17.			
16	Page	2657 Greenwood	12/27/16	B-31045	2nd floor 1028sf addition to exisiting SFR with new 350sf deck & remodel of 1st floor.		Disapproved by cdl on 1-9-17.	PN- Approved 3/22/17		
17	Richardson	2790 Greenwood	3/15/17	B-31437	Remedial foundation repair, 9 push piers installed to stabilize and lift foundation to maximum practical recovery.		Approved by cdl on 3-23-17.			
18	Moffat	2950 Greenwood	1/12/17	B-31362	Install new bathroom to exisiting den in SFR		Disapproved by cdl on 1-19-17.	PN- Approved 1/23/17		
19	Stanley	570 Harbor St	9/12/16	CP0-517	Demo existing SFR/Chiropractic office. New construction of 2 new SFRs - 1507sf living with 480sf garage, and 891 sf living with 441 sf garage	CDP approved 11-22-16. WM	Conditionally approved per memo dated 9/12/16.	PN-Conditionally approved per memo dated 11/17/16		
20	Hurless	2265 Hemlock	5/11/15	B-30477	SFR Garage converted to 492sf apartment with new bedroom and bathroom. Remains in plan check status.	Disapproved 8-28-15. JG	Denied by cdl on 5/15/15	PN- Disapproved needs sewer lateral video-		
21	Stanton	2335 Ironwood	4/19/17	B-31484	75sf addition to existing SFR		Approved by cdl on 4-26-17.	PN- Not approved per memo dated 4/28/17		
22	Grafton	2450 Ironwood	3/6/17	B-31424	Installation of deck and stairs to front entry, approx. 200 sq. ft	Disapproved by sg	Disapproved by cdl on 3-16-17	Approved by rps on 3-6-17.		

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23	Audland	2605 Ironwood	1/17/17	B-31367	SF-Alter Stabilize foundation of existing SFR, install piers utilizing standard foundation brackets to prevent further	Approved by sg on 01-20-17	Approved by cdl on 01/19/17			
24	Romero	3036 Ironwood	1/25/17	B-31340	New SFR with 2,484sf living, 559sf garage, 100sf deck & 71sf porch	Disapproved 2-24-17. JG	Disapproved by cdl on 1/31/17. Comments mailed on 2/28/17	PN- Waiting on WEU Council Decision to approved		
25	Gonzalez	481 Java	10/10/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking. Remains in plan check Status.	WM. Expecting Admin Use Permit application for minor revision to approved design.	Plans approved 9-18-15 cdl	PN-Disapproved, needs swr video & plan corrections. 9/24/15		
26	Rochenbach	2670 Juniper	3/9/17	B-31428	Install residential interior elevator (3 floors) resulting in roof extension, add new roof tiles, add new windows, doors, reconfigure front concrete stairs to entry, revise existing guardrail	Disapproved by sg on 3-17-17.	Disapproved by CDL on 3-31-17			
27	Gardner	454 Kern Ave	4/5/17	B-31459	SFR Alteration - Interior remodel kitchen & bathrooms		Approved by cdl on 5-17-17.	PN- Disapproved per memo dated 4/25/17		
28	Linkwiller/Balch	535 Kern Ave	5/10/17	B-31504	118sq.ft. 1st. Floor addition new bathroom & porch 102 sq. ft. second floor addition new observation room decrease size of existing bathroom & deck.		Disapproved by cdl on 5-12-17 . Approved by cdl on 5-17-17.			
28	Channing	471 LaJolla	10/11/16	B-31221	Construct 20' x 11' exterior deck	Disapproved 10-20-16. JG	Approved by cdl on 05-17-17			
29	Wright	520 LaJolla	7/25/16	B-31114	Convert walk-in closet to bathroom, add shower, two windows, convert windows to french doors.	Correction memo sent 10/20/16. jg.	Approved by cdl on 12-19-16.	PN- Disapproved per memo dated 12/21/16		
30	Douglas	2587 Laurel	1/8/15	B-30352	Addendum to B-30074. Add 24 sq. ft., converting 1,020 sq. ft. to habitable space, add 120 sq. ft. porch, and 191 sq.ft. deck. Remains	Under Review. JG. Denial	Plans Denied 10/16/15 cdl	PN 9/30/15 Approved as submitted. No		
31	PG&E	1245 Little Morro Creek	3/25/16	B-30925	Add 25K Generator to cell site/tower to satisfy Planning Commission conditions.	Approved. CJ. 4-5-16. Complies w/ PC approval.	Approved by cdl 3/30/16	PN- Approved 5/17/16		
32	Dyson	117 Main	8/15/14	B-30248	Covered Patio Remains in plan check Status.	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.	NRR		
33	Burgstrom	372 Main	12/14/16	B-31350	SF-Alt -Rebuild existing 235 sf deck and stairs, add approx 69 sf to enlarge existing deck.		Disapproved by cdl on 12-30-16			
34	Morro Mist LLC	2402-2446 Main	7/5/16	B-31067 through B-31089	Building permit applications for 23 new townhomes in 6 detached building clusters to include 15 one-bedroom units and 8 three-bedroom units. 23 separate permit applications	Disapproved. Corrections sent 8-3-16. cj.	Disapproved by cdl on 1-23-17.	PN- Approved waiting for RL sign-off of WEU form.		
35	Streeter	1128 Market	10/26/16	B-31247	New SFR with 1345sf Living, 434sf garage & 80sf Deck		Disapproved by cdl on 11-21-16.	PN- Disapproved 05/30/17		
36	Streeter	1138 Market	10/26/16	B-31252	New SFR with 1345sf Living, 437sf garage & 131sf Deck		Disapproved by cdl on 12-6-16.	PN- Disapproved 05/30/17		

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37	Castro	190 Mindoro	12/29/16	B-31351	New SFR with 888sf Living & 234sf garage	Disapproved 1-5-17. JG	Approved by cdl on 12-13-16.	PN- Approved 4/6/2017		
38	Assembly of God	615 Monterey	10/14/16	B-31226	Interior remodel (to rear house) - Demo interior, replace sub floor, drywall, electrical & plumbing, new steps over exterior	Disapproved 11-10-16. JG	Disapproved by cdl on 11-17-16.	PN- Disapproved 11/16/16		
39	Storm	1029 Monterey	4/19/17	B-31482	Single Family Alteation		Disapproved by cdl on 5-4-17			
40	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom. Remains in plan check Status.	Approved 9/25/14. CJ.	Plansw approved 9-30-2014 bc	RPS returned for corrections per		
41	Crowfoot	416 Napa	3/1/17	B-31417	Convert downstairs closet into kitchen to create secondary dwelling unit (CP0-531)		Approved by cdl on 3-23-17	PN- Disapproved per memo dated 3/29/17		
42	Rushaupt	2301 Nutmeg	3/22/17	B-31451	Increase size of existing first floor bathroom.	Approved by wm on 3-23-17.	Approved by cdl on 3-30-17.			
43	Robson	110 Orcas	12/9/16	B-31350	2098 s.f. living, 939 s.f. subterranean garage, and 376 s.f. decking	Corrections sent 3-24-17 to Bldg. CJ.	Disapproved by cdl on 01-12-17			
44	Fenske	470 Orcas	5/29/17	B-31525	After fact permit for basement bedroom and bathroom			PN- Approved 5/31/17		
45	Moloney	840 Pacific	9/22/16	B31194	350sf addtion to existing SFR	Disapproved 10-5-16. JG	Disapproved by cdl on 9-29-16.	RB-Disapproved per memo dated 10/19/16		
46	Lewis	290 Piney Lane	12/19/16	B-31325	New two story SFR - 2735 sf living, 581 sf garage, 376 sf deck	Conditional Approval by jg on 01-04-17 (need to add Cond of App to plans sets	Approved by cdl on 12-30-16	PN- Disapproved per memo dated 2/16/17		
47	Volk	800 Quintana	4/25/16	B-30811	Unmanned cell site including locating an antenna on and radios on roof, equipment at	Disapproved. CJ. 5-16-16. Does not meet conditions of approval. Requested resubmittal.	Approved by cdl on 5/11/16	PN- Approved 5/13/16		
48	Halk	3121 Sandalwood	5/16/17	B-31510	Install interior beam toopen up entry area,		Approved by cdl on 5-26-17			
49	Frye	244 Shasta	5/2/13	B-29910	Garage to Second Unit conversion. Remains in plan check Status.	KM - Needs to comply with or amend existing CDP. 2006 Planning permit modified to allow non-conforming structure. No activity since 2014 on this building permit.	BC- on hold pending planning process.	BCR-approved 5/13/13		
50	Barfield	260 Shasta	4/24/17	B-31486	Remodel, Room Addition and new garage		Disapproved by cdl on 5-4-17.	PN - Disapproved 5/25/17		
51	Scoto	330 Sicily	10/18/16	B-31232	New SFR w/1743sf living area, 457sf garage & 150sf deck.	Approved 5-16. JG	Disapproved by cdl on 12-5-16.	PN- Approved 12/8/16		
52	Dolezal	1885 to 1905 Sunset	3/17/17	B31378	Addendum to Grading permit #G00-045 issued 12/7/16. Changes to approved Grading to on-site improvements	Disapproved 5/9/17. CJ	Disapproved by cdl on 5-12-17.	PN- Not Approved per memo dated 3/29/17		
53	Dolezal	1885 Sunset	11/30/15	B-30758	Lot 6: New SFR with 1140sf and 480 garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
54	Dolezal	1889 Sunset	11/30/15	B-30757	Lot 5: New SFR with 1140sf with 480 garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
55	Dolezal	1893 Sunset	11/30/15	B-30756	Lot 4: New SFR with 1140sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
56	Dolezal	1897 Sunset	11/30/15	B-30753	Lot 1: New SFR with 1140sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		

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57	Dolezal	1901 Sunset	11/30/15	B-30754	Lot 2: New SFR with 1541sf living and 483sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
58	Dolezal	1905 Sunset	11/30/15	B-30755	Lot 3: New SFR with 1457sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
59	Hartsock	242 Surf	1/27/17	B-31380	Addition to a non-conforming SFR w/ detached garage. Also ref: CP0-509, AD0-106 (variance), & AD0-107 (parking exception).		Disapproved by cdl on 5-4-17.	PN - Disapproved 5/22/17		
60	Jordan	340 Tulare		B-31046	2nd floor 650sf Addition & 75sf garage addition	Approved 5-17. JG	Disapproved by cdl on 1-13-16.	PN- Approved 2/2/17		
Planning Projects & Permits with Final Action:										
1	Redican	725 Embarcadero	9/9/16	A00-041 (UP0-359)	Major amendment to Conditional Use Permit UP0-359. Replace existing upper floor restaurant to a 9 room second floor hotel.	Project under review. Met with applicant 10/10/16 to discuss. Correction letter sent to Applicant 10/21/16. Resubmittal received 12-2-16. Response requesting plan corrections emailed 1/3/17. Project heard by PC on 3-21-17 and favorable recommendations with direction to City Council. Revised plans reflecting PC recommendations resubmitted 4-21-17. Project agendized for 5-23-17 City Council meeting. Council approved with conditions on 5/23/17.				cj
1	San Luis Coastal Unified School District	235 Atascadero	5/8/17	UP0-479	Temporary Use Permit for MBHS bike marathon fundraiser to occur around the MBHS track.	Noticed 5/9/2017. TUP approved 5/19/17.				rr
2	Maritime Museum Association (Larry Newland)		11/21/05	UP0-092	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG. Revised preliminary plans emailed to City 11-4-16 for initial comment review. Staff feedback emailed to Architect 11-15-16. Resubmitted 3-20-17. Project located in C-VS/S.4 zoning district. Museum use allowed in C-VS zone with a Minor Use Permit. Determined not to require PC approval. Project located in original jurisdiction of Coastal Commission which will require CDP review. Noticed 5/9/2017. MUP issued and approved 5/22/17.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.		cj
3	Branch	845 Embarcadero	11/14/16	A00-045	Modification to existing CUP 30-99. Finger docks to be lengthened, seawall repair.	Under initial review. Project deemed incomplete and letter sent 12-13-16. Resubmittal received 1-27-17 and under review. Conducting environmental review.				cj

A-2 Approval of minutes from the Planning Commission meeting of January 17, 2017.
Staff Recommendation: Approve minutes as submitted.

A-3 Approval of minutes from the Planning Commission meeting of February 21 2017.
Staff Recommendation: Approve minutes as submitted.

MOTION: Commissioner Lucas motioned to move to approve the Consent Calendar. Commissioner Ingraffia seconded and the motion passed unanimously (5-0).

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: UP0-465 / AD0-110

Site Location: 484 Kings Avenue

Project Description: Conditional Use Permit approval with a Parking Exception for the addition of 510 sq. ft. to a nonconforming single-family residence and the construction of a 301 sq. ft. single-car garage. Parking Exception is to allow for the second required space to be located within the eastern side yard. The project is located within the R-1 Residential Zoning District and outside of the Coastal Commission Appeal Jurisdiction.

CEQA Determination: Categorically Exempt Section 15303, Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Assistant Planner (805) 772-6270

<https://youtu.be/AawPv7kFlho?t=6m53s>

Gargiulo presented the staff report.

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
NONE

Chairperson Tefft opened the Public Comment period and seeing none closed the Public Comment period.

<https://youtu.be/AawPv7kFlho?t=13m22s>

Discussion between Commissioners and staff. Vice-Chairperson Luhr doesn't agree with the entrance.

Chairperson Tefft opened the Public Comment period.

<https://youtu.be/AawPv7kFlho?t=30m4s>

Jeff Grover, applicant, commented they were going for an open concept and weren't trying to enclose the front entrance.

Chairperson Tefft closed the Public Comment period.
<https://youtu.be/AawPv7kFlho?t=30m59s>

MOTION: Commissioner Lucas moved to approve PC Resolution 12-17, amended by the comments which staff has addressed regarding the entrance with the applicant. Vice-Chairperson Luhr seconded and the motion passed unanimously (5-0).

Condition of Approval added by the Planning Commission:

Applicant shall re-design main entryway along Fairview Avenue to improve consistency with the Residential Design Guidelines and submit to the Community Development Department for Director approval prior to Building Permit issuance.

C. NEW BUSINESS

<https://youtu.be/AawPv7kFlho?t=33m55s>

C-1 **General Plan/Local Coastal Program Update (Plan Morro Bay)**

Review of Preferred Land Use Alternatives as part of the preparation of draft Land Use Element for the General Plan/LCP update process.

Recommendation: Review and provide recommendations to staff for forwarding to City Council review as a continued review from the CC/PC Joint Meeting held 3/28/17.

<http://www.morro-bay.ca.us/ArchiveCenter/ViewFile/Item/3144>

Commissioners and staff discussed different items in the Preferred Land Use Alternatives presentation.

Chairperson Tefft opened the Public Comment period.
<https://youtu.be/AawPv7kFlho?t=1h11m36s>

Roger Ewing, Morro Bay resident, commented on the Land Use Planning and Residential Density. He stated the two factors in the policy, “resources” and “flow of traffic” are never mentioned or discussed. Ewing stated these two factors are what makes the quality in life in Morro Bay and noted, if you add residential density to an area which cannot be expanded, you will interrupt the quality of life.

Chairperson Tefft closed the Public Comment period.
<https://youtu.be/AawPv7kFlho?t=1h13m36s>

Discussion between Commissioners and staff.

Commissioners review the study areas with staff.

MOTION: Chairperson Tefft motioned to approve to continue meeting past 10 p.m. Vice-Chairperson Luhr seconded and the motion passed unanimously (5-0).
<https://youtu.be/AawPv7kFlho?t=4h4m8s>

- C-2 **Planning Commission FY 17/18 Work Program.** The Planning Commission work program Includes FY 17/18 related goals and objective as well as other items the PC may work on during the coming year.
<https://youtu.be/AawPv7kFlho?t=4h6m34s>

Graham presented staff report.

Discussion between Commissioners and staff.

D. UNFINISHED BUSINESS – NONE

E. PLANNING COMMISSIONER COMMENTS - NONE

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS - NONE

G. ADJOURNMENT

The meeting adjourned at 10:39 p.m. to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on April 18, 2017, at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Scot Graham, Secretary

AGENDA ITEM: A-3

DATE: JUNE 6, 2017

ACTION: DRAFT

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – APRIL 18, 2017
VETERANS MEMORIAL BUILDING – 6:00 PM

PRESENT:	Gerald Luhr Richard Sadowski Joe Ingraffia Michael Lucas	Vice-Chairperson Commissioner Commissioner Commissioner
ABSENT:	Robert Tefft	Chairperson
STAFF:	Scot Graham Cindy Jacinth Joan Gargiulo	Community Development Director Associate Planner Assistant Planner

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS
<https://youtu.be/MXRW8panJu4?t=2m16s>

Commissioner Sadowski wanted to acknowledge the dredging company who is currently dredging the harbor in Morro Bay. Sadowski noted they consolidated all their equipment so Easter services could be held at the Rock this year.

Commissioner Sadowski also provided website A4NR.org for the Alliance for Nuclear Responsibility. Sadowski stated there will be a live webcast of a public utilities commission meeting, and noted Morro Bay will be receiving money for the decommissioning of the nuclear power plant for safety issues.

Vice-Chairperson Luhr announced South Bay Wild is no longer operating in Morro Bay.

PUBLIC COMMENT PERIOD - NONE

PRESENTATIONS - NONE

A. CONSENT CALENDAR
<https://youtu.be/MXRW8panJu4?t=4m39s>

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

A-2 Approval of minutes from the Planning Commission meeting of March 7, 2017.
Staff Recommendation: Approve minutes as submitted.

MOTION: Commissioner Lucas motioned to move to approve the Consent Calendar. Commissioner Sadowski seconded and the motion passed unanimously (4-0).

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: CP0-404 and UP0-364

Site Location: 1840 Main Street

Proposal: *Continued from the May 17, 2016 Planning Commission meeting.* Coastal Development Permit and Conditional Use Permit for new construction of an approximate 1,400 sf restaurant with outdoor seating only, canopied parking for drive-up service, drive-thru service, and associated site improvements including ground work, retaining walls, frontage improvements, and landscaping. The project includes removal of existing flatwork and landscaping on a vacant lot from previous development. The project also include a master sign program including total signage area exceeding City standards. In addition, the project will include utility trenching of 4-6 feet across Main Street to the west of the property as well as trenching across Caltrans right of way which fronts on Atascadero Road. This project is located outside the Coastal Commission appeals jurisdiction.

CEQA Determination: Mitigated Negative Declaration

Staff Recommendation: Adopt Mitigated Negative Declaration and Conditionally approve

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

<https://youtu.be/MXRW8panJu4?t=5m19s>

Jacinth presented the staff report.

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
Commissioner Sadowski had met with staff to discuss.

Vice-Chairperson Luhr opened the Public Comment period.

<https://youtu.be/MXRW8panJu4?t=36m10s>

Darryl Whitten, representative for the applicant, thanked staff for their help, and asked the Commission for approval of the project. Whitten addressed the signage questions asked by the Commission and spoke about the process with Cal Trans. Whitten noted he doesn't have a problem with the block wall.

Fred Scott, architect, addressed the retaining wall on the north side. Scott doesn't have a problem changing out the wrought iron fence for block or concrete. Scott also spoke about the ADA ramp.

Antonio Mora Jr., spoke on behalf of his father who resides next to the proposed project. Mora stated his parents are not against the project but would prefer an

eight-foot block wall for safety & privacy issues. Mora noted his parents will be retiring soon, and would like a sense of security.

Commissioners presented their questions to the applicant.

Vice-Chairperson Luhr closed the Public Comment period.
<https://youtu.be/MXRW8panJu4?t=1h12m31s>

Discussion between the Commissioners and staff.

Vice-Chairperson Luhr opened the Public Comment period.
<https://youtu.be/MXRW8panJu4?t=1h23m19s>
Scott answered questions from the Commissioners.

Vice-Chairperson Luhr closed the Public Comment period.
<https://youtu.be/MXRW8panJu4?t=1h24m35s>

Discussion between Commissioners and staff,

MOTION: Commissioner Lucas moved to approve CP0-404 and UP0-364, with added conditions, and to adopt PC Resolution 13-17. Commissioner Ingraffia seconded and the motion passed unanimously (4-0).

<https://youtu.be/MXRW8panJu4?t=1h58m59s>

Planning conditions 13-20 were added by the Planning Commission.

13. Exterior color palette shall be revised and submitted for review and approval by the Community Development Department prior to issuance of a building permit.
14. The retaining wall located on the northwest property line shall have a total height of 8 foot in the area that abuts the neighboring residential property on Sunset Ave, with retaining wall on bottom and solid wall or fence on top half.
15. The pedestrian walkway at the southwest corner of the property shall be widened to 8 feet and the pedestrian walkway on the west side of the property shall be removed and replaced with additional landscaping on Main Street.
16. The monument sign shall be no taller than 5 feet.
17. Applicant shall work with Caltrans to remove the existing driveway on the south side of the property that is within Caltrans right-of-way. The existing driveway shall be removed prior to certificate of occupancy, unless otherwise deemed infeasible by the Community Development Director.
18. Applicant shall include on building permit submittal the addition of visual screening on south side of property that is a minimum of five feet in height to be reviewed and approved

by the Community Development Director prior to issuance of a building permit. The Applicant shall also work with Caltrans to obtain an encroachment permit for landscaping of the unimproved right of way area abutting the south property line and Highway 41.

19. Applicant shall increase the amount of permeable paving on site and include with the building permit submittal. All permeable paving material shall be of a different texture or color from that of the main paving material to help break up the surface material.
20. The project shall be reviewed by staff at a Planning Commission new business item within 2 years of certificate of occupancy for project impacts to the surrounding neighborhood.

B-2 Case No.: CP0-503 and A00-032

Site Location: 1998 Main Street

Proposal: Coastal Development Permit and an Amendment to an existing Conditional Use Permit for the demolition of an existing single-story restroom and laundry facility and the construction of a two-story restroom, laundry facility, and office within the existing Wagon Wheel Mobile Home Park. The proposed 692 sq. ft. permanent structure includes a 386 sq. ft. second story office and a 306 sq. ft. first floor to include a restroom and laundry facilities. The proposal also includes 72 sq. ft. of decking off of the second story office space. The project is located within the MCR/R-4/SP Zoning District and outside of the Coastal Commission Appeal Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Assistant Planner, (805) 772-6270

<https://youtu.be/MXRW8panJu4?t=2h1m45s>

Gargiulo presented the staff report.

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
NONE

Commissioners presented their questions to staff.

Vice-Chairperson Luhr opened the Public Comment period.

<https://youtu.be/MXRW8panJu4?t=2h12m6s>

Jeff Borges, applicant, stated he will be removing the tongue off the trailer soon. It was rusted and will need to be welded off.

Vice-Chairperson Luhr closed the Public Comment period.

MOTION: Commissioner Lucas moved to approve CP0-503 AND A00-032. Commissioner Sadowski seconded and the motion passed unanimously (4-0).

<https://youtu.be/MXRW8panJu4?t=2h22m45s>

B-3 Case No.: CP0-515 and UP0-455

Site Location: 396 Hill Street

Discussion: Project was incorrectly noticed as a Regular Coastal Development Permit and Conditional Use Permit for new construction of a two-unit multi-family development on a 5,000 sq. ft. parcel. Specifically, unit A includes 1,745 sq. ft. of habitable floor area and a 540 sq. ft. garage. Unit B includes 1,517 sq. ft. of living area, a 552 sq. ft. garage, and a 775 sq. ft. playroom. The project is located within the MCR/R-4/SP Zoning District and outside of the Coastal Commission Appeal Jurisdiction. This project will be renoticed as an Administrative Coastal Development Permit and Minor Use Permit.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Hear public comment on this item

Staff Contact: Joan Gargiulo, Assistant Planner, (805) 772-6270

<https://youtu.be/MXRW8panJu4?t=2h23m31s>

Chairperson Tefft opened the Public Comment period and seeing none closed the Public Comment period.

<https://youtu.be/MXRW8panJu4?t=2h24m15s>

C. NEW BUSINESS – NONE

D. UNFINISHED BUSINESS – NONE

E. PLANNING COMMISSIONER COMMENTS - NONE

<https://youtu.be/MXRW8panJu4?t=2h26m43s>

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

<https://youtu.be/MXRW8panJu4?t=2h26m49s>

G. ADJOURNMENT

The meeting adjourned at 8:27 p.m. to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on May 2, 2017, at 6:00 p.m.

Gerald Luhr, Vice Chairperson

ATTEST:

Scot Graham, Secretary



AGENDA NO: B-1

MEETING DATE: June 6, 2017

Staff Report

TO: Planning Commissioners

DATE: June 6, 2017

FROM: Joan Gargiulo, Contract Planner

SUBJECT: Review of Coastal Development and Conditional Use Permits (CP0-542/UP0-477) and Parking Exception (AD0-118) to allow construction of a conforming 218 SF addition to a nonconforming single-family house and tandem parking at 3121 Sandalwood Avenue in the R-1/S.2A/ESH zone and within the Coastal Commission Appeal Jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting Planning Commission Resolution 16-17 which includes the Findings and Conditions of Approval for the project as depicted on development plans dated April 21, 2017.

APPLICANT/AGENT:

Michael and Kay Frye, Applicants/Owners
Christopher Parker, Architect/Agent

ASSESSOR PARCEL NUMBER:

065-118-004

PROJECT DESCRIPTION:

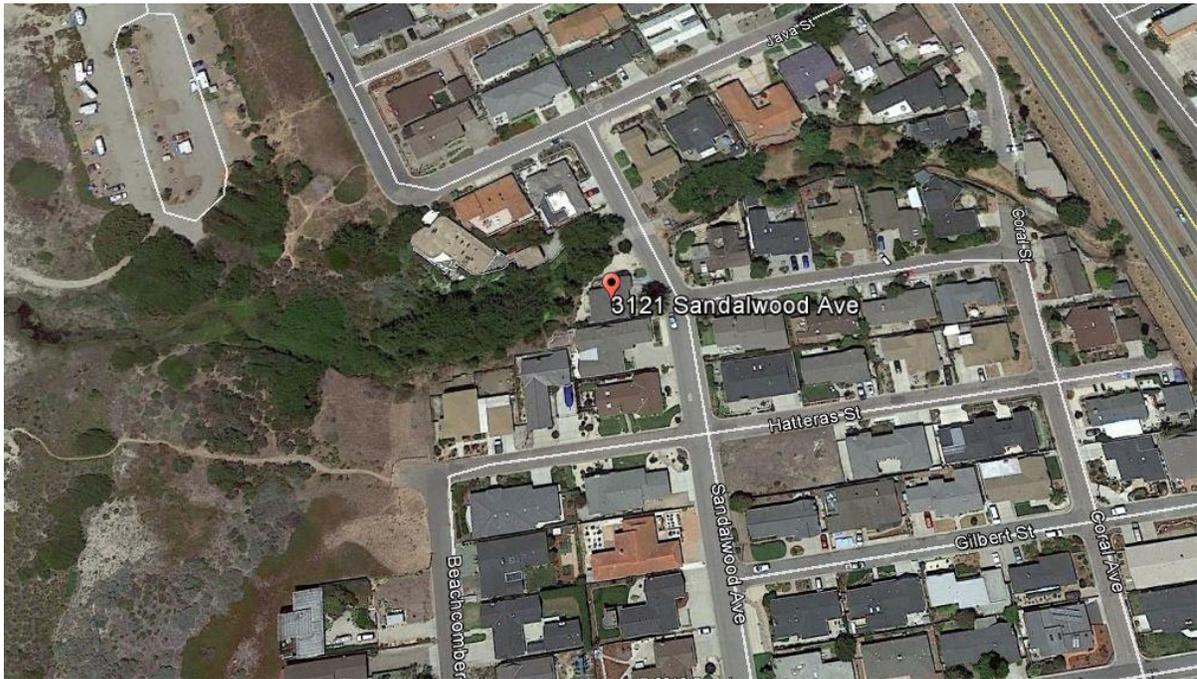
Plans show a conforming 218 SF addition of a third bedroom with a closet and bath to an existing 1,130 SF house with an attached one-car garage which is nonconforming regarding parking and its location within an Environmentally Sensitive Habitat (ESH) buffer area.

PROJECT SETTING/CONSTRAINTS:

Development on the 7,862 SF lot is constrained by a steep drainage area and Environmentally Sensitive Habitat (ESH) overlay zoning along the northern and western boundary. This appears to be an extension of the Alva Paul Creek which now conveys drainage from beneath Highway 1 to the ocean. The house was built prior to the establishment of an ESH overlay and now sits mostly within the buffer area. The house was also built with a one-car garage that has a smaller clear interior dimension (9'6" x 16'6") than current zoning standards requirements (11' x 20'). For these reasons the structure is nonconforming. The S.2A overlay zone limits building height to single story structures.

Prepared By: __WM__

Department Review: __SG__



Vicinity Map

<u>Adjacent Zoning/Land Use</u>			
North:	R-1/S.2A & ESH - Alva Paul Creek and Residential	South:	R-1/S.2A - Residential
East:	R-1/S.2A - Residential	West:	R-1/S.2A & ESH – Alva Paul Creek to the beach

<u>Site Characteristics</u>	
Lot Size	7,862 Square Feet
Existing Use	Single family home
Terrain	Nearly level to steeply sloping
Vegetation	Ornamental
Access	Sandalwood Avenue

General Plan, Zoning Ordinance & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Moderate Density Residential
Base Zone District	Single Family Residential (R-1)
Zoning Overlay Districts	S.2A and ESH
Coastal Zone	Located in the Coastal Zone and inside the appeal jurisdiction

Zoning Ordinance Standards for the S.2A Overlay		
	Standards	Proposed
Front-Yard Setback	15 feet	15 feet
Side-Yard Setback	5 feet	5 feet
Rear-Yard Setback	5 feet	No change
ESH Setback	50 feet with a possible reduction to 25 feet	New addition is a minimum of 54' setback
Lot Coverage	50% allowed	21%
Maximum Height	17 feet	< 11 feet
Parking	2 covered and enclosed spaces per house > 1,000SF	1 covered and enclosed and 1 open tandem space

PROJECT ANALYSIS:

Permit Requirements

Title 17 of the Morro Bay Municipal Code (MBMC) establishes zoning permit requirements.

Additions to single family residences west of Main Street and within the Coastal Commission appeal jurisdiction require a regular coastal development permit (MBMC Section 17.58.020).

More than one addition to non-conforming structures requires a Conditional Use Permit (MBMC Section 17.56.160). A bathroom was added to the house in 1975.

Open tandem parking in lieu of two covered and enclosed spaces requires approval of a parking exception. In this case, the applicant is also requesting approval of a tandem space that is smaller in length than the City's standard compact space (9.5' x 16.5' versus 8.5' x 18') (MBMC Section 17.44.050).

Zoning Overlays

S.2A: The S.2A overlay establishes site development standards, listed in the table above, for properties west of Highway One between Azure Street and tract 2110 along Toro Lane (MBMC 17.40.050D).

Environmentally Sensitive Habitat (ESH): The site contains a drainage area / stream corridor with an ESH overlay which extends over the habitat as well as the required buffer. In urban areas the required buffer is 50 feet for stream corridors (MBMC Section 17.40.040). This may be reduced to a minimum of 25 feet where the greater setback would render a lot unusable (Coastal Land Use Plan Policy 11.06). As noted above, the house was constructed within the buffer area prior to establishment of this overlay and is therefore a legal nonconforming structure. The proposed addition is outside of the 50-foot buffer area. Please refer to Exhibit B.

Architectural Design

Plans (Exhibit C) indicate the addition will match the existing structure in terms of color, materials and roof pitch. The new concrete patio will replace an existing patio and provide ingress and egress compliant with building code requirements.



Parking

The project proposes no change to the existing driveway area and parking arrangement. Expansion or relocation of the garage to make it more conforming would entail construction in the ESH buffer area, which is prohibited by coastal land use policy and current zoning regulations. The length of the driveway is limited by the existing garage setback, which ranges

from just shy of 16' to 19'. For these reasons the applicants are requesting open tandem parking in the driveway for a compact space measuring 16'6" in length where 18' in length is normally required.

ENVIRONMENTAL DETERMINATION:

The project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301(e) The exemption applies to minor additions to existing structures involving negligible or no expansion of an existing use. The project is not subject to any of the exceptions listed in CEQA Section 15300.2.

PUBLIC NOTICE:

Notice of a public hearing on these items was published in the San Luis Obispo Tribune newspaper on May 26, 2017, and all property owners of record and occupants within 500 feet of the subject sites were mailed notification of this evening's public hearing and invited to voice any concerns regarding the applications.

CONCLUSION:

The proposed addition is relatively minor in nature. With incorporation of the recommended findings and conditions, approval of the project is consistent with required development standards of the Zoning Ordinance and applicable provisions of the General Plan and Local Coastal Plan.

Staff recommends that the Planning Commission conditionally approve the requested Coastal Development Permit, Conditional Use Permit, and Parking Exception for the project at 3121 Sandalwood Avenue as shown on the project plans date stamped April 21, 2017 by adopting Planning Commission Resolution 16-17.

EXHIBITS:

- Exhibit A - Planning Commission Resolution 16-17
- Exhibit B - ESH diagram
- Exhibit C - 11" x 17" reduced plan set dated 4/21/17

Full size plans are included in the Commissioner packets and available for review at the Community Development Dept. at 955 Shasta Avenue.

RESOLUTION NO. PC 16-17

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT (UP0-477) AND COASTAL DEVELOPMENT PERMIT (CP0-542), ALLOWING A SECOND ADDITION TO A NONCONFORMING RESIDENTIAL STRUCTURE AND APPROVING A PARKING EXCEPTION (ADO-118) TO ALLOW A SECOND OPEN UNCOVERED COMPACT SPACE IN THE DRIVEWAY AT 3121 SANDALWOOD AVENUE

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on June 6, 2017, for the purpose of considering Conditional Use Permit UPO-477 and Coastal Development Permit (CP0-542) for a proposed 218 square-foot addition to a nonconforming 1,130 square-foot single-family home, and Parking Exception ADO-118 for a second open, tandem parking space in the driveway at 3121 Sandalwood Avenue; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301(e), Class 1 for minor additions to existing structures involving negligible or no expansion of an existing use. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.
- 2.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.

2. The proposed addition is in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to a single-family dwelling, which is an allowed use in the R-1/S.2A zone and the surrounding neighborhood is developed with homes of a comparable size.
5. It is not feasible to make the structure conforming without major reconstruction/demolition given the ESH overlay zone that was placed over the property after the house was built.

Parking Exception Findings

1. The exception to allow a compact space of 16.5’ in length where 18’ is otherwise required will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity where zoning standards only require a 15-foot garage setback.
2. The proposed parking space layout and dimensions will be adequate to accommodate parking needs generated by the use. With approval of the exception, two required parking places will be provided on site consistent with the Zoning Ordinance requirements.
3. The exception to allow a second open tandem parking space in the driveway will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity, where a similar development pattern exists, and will not alter or conflict with existing traffic patterns in the right-of-way.
4. The exception is reasonably necessary for the applicant’s full enjoyment of uses similar to those upon adjoining real property, given the footprint of the existing building on site.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit UPO-477, Coastal Development Permit CP0-542 and Parking Exception ADO-118 for property located at 3121 Sandalwood Avenue subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated June 6, 2017, for the project at 3121 Sandalwood Avenue depicted on plans date-stamped April 21, 2017, on file with the Community Development Department, as modified by

- these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
 3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
 4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
 5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
 6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void.

7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Garage Door: The project shall incorporate installation of an automatic rolling type garage door consistent with MBMC subsection 17.44.020.D.3.p.i. to the satisfaction of the Planning Director.
7. Color and Materials: The exterior building treatment of the addition shall be consistent with the existing structure in terms of colors, materials, and architectural style.
8. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. At the time of foundation inspection, the property owner shall verify lot boundaries and building setbacks to the satisfaction of the City Planning Director and City Building Official.

PUBLIC WORKS CONDITIONS (ADD WHEN RECEIVED)

1. Conduct a video inspection of the conditions of existing sewer lateral. Submit video to City collection system personnel. Construction Plans should reflect repair or replacement as required to prohibit inflow/infiltration.
2. Repair/replace the asphalt berm and driveway approach to meet the City's standards.

Add the following Notes to the Plans:

3. No work within nor any use of any public rights of way shall occur without an encroachment permit. Encroachment permits are available at the City's Public Services Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.
4. Any damage to any of the City's facilities (such as curb/berm, street, sewer line, water line, or any public improvements) resulting, directly or indirectly from construction operations related to this project shall be repaired at no cost to the City.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 6th day of June, 2017 on the following vote:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

Chairperson Tefft

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 6th day of JUNE, 2017.

EXHIBIT B

-  Approximate Parcel Boundary
-  Approximate Creek Centerline
-  Top of Bank
-  50 Foot Setback
-  Riparian Scrub
-  Ornamental



1 in = 25 ft

0 5 10 20 Feet

3121 Sandalwood Avenue, Morro Bay, CA

Michael Frye

Figure 2

ESHA Delineation Map

CONST. HOURS

PURSUANT TO MBMC SUBSECTION 9.28.030.I, CONSTRUCTION OR REPAIRING OF BUILDINGS, THE ERECTION (INCLUDING EXCAVATING), DEMOLITION, ALTERATION, OR REPAIR OF ANY BUILDING OR GENERAL LAND GRADING AND CONTOUR ACTIVITY USING EQUIPMENT IN SUCH A MANNER AS TO BE PLAINLY AUDIBLE AT A DISTANCE OF FIFTY FEET FROM THE BUILDING OTHER THAN BETWEEN THE HOURS OF SEVEN A.M. AND SEVEN P.M. ON WEEKDAYS AND EIGHT A.M. AND SEVEN P.M. ON WEEKENDS EXCEPT IN CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH A PERMIT FROM THE PUBLIC SERVICES DEPT., WHICH PERMIT MAY BE GRANTED FOR A PERIOD NOT TO EXCEED THREE DAYS OR LESS WHILE THE EMERGENCY CONTINUES AND WHICH PERMIT MAY BE RENEWED FOR A PERIOD OF THREE DAYS OR LESS WHILE THE EMERGENCY CONTINUES.

PUBLIC WORKS

NO WORK WITHIN NOR ANY USE OF ANY PUBLIC RIGHTS OF WAY SHALL OCCUR WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMITS ARE AVAILABLE AT THE CITY'S PUBLIC SERVICES OFFICE LOCATED AT 955 SHASTA AVE. THE ENCROACHMENT PERMIT SHALL BE ISSUED CONCURRENTLY WITH THE BUILDING PERMIT.

ANY DAMAGE TO ANY OF THE CITY'S FACILITIES (SUCH AS CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS) RESULTING, DIRECTLY OR INDIRECTLY FROM CONSTRUCTION OPERATIONS RELATED TO THIS PROJECT SHALL BE REPAIRED AT NO COST TO THE CITY.

NO GRADING IS PROPOSED FOR PROJECT, ASIDE FROM FOOTING EXCAVATION.

DUST CONTROL: TO PREVENT DUST AND WIND BLOWN EARTH PROBLEMS DURING FOOTING EXCAVATION, CONTRACTOR TO KEEP SOIL MOIST USING NON-POTABLE WATER

EROSION CONTROL: STRAW WADDLES TO BE PLACED FOR EROSION CONTROL DURING CONSTRUCTION AROUND ANY AREAS OF EXCAVATION

BLDG. CODES

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRIC CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 CALIFORNIA FIRE CODE
- CALIFORNIA REFERENCE STANDARDS CODE

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A SMALL BEDROOM ADDITION TO A RESIDENCE THAT IS ADJACENT TO ESH AND CURRENTLY HAS ONE COVERED AND ENCLOSED PARKING SPACE. BECAUSE OF THE ESH THE LOT DOES NOT HAVE SPACE AVAILABLE TO INCREASE THE COVERED AND ENCLOSED PARKING, SO A PARKING EXCEPTION IS BEING SOUGHT. THE BEDROOM ADDITION IS BEING LOCATED 50' AWAY FROM THE ESH IN THE ONLY AVAILBLE LOCATION ON THE SITE THAT MEETS THE ESH SETBACK REQUIREMENT.

PROJECT INFO.

APN:	065-118-004
ZONING:	R-1 / S.2A
LOT SIZE:	7,862 SQ. FT.
LOT COVERAGE: (EXISTING)	(1,453 SQ. FT.) 18%
LOT COVERAGE: (PROPOSED)	(1,671 SQ. FT.) 21%
OCCUPANCY:	R-3 SFR
CONSTRUCTION TYPE:	TYPE V, NON-SPRINKLED
EXISTING RESIDENCE:	1,130 SQ. FT.
EXISTING ATTACHED GARAGE:	311 SQ. FT.
EXISTING COVERED PORCH:	12 SQ. FT.
EXISTING OPEN DECK:	401 SQ. FT.
PROPOSED ADDITION:	218 SQ. FT.
PROPOSED OPEN FRONT PATIO:	188 SQ. FT.
AVERAGE NATURAL GRADE:	30.16'
ALLOWABLE HEIGHT:	14'-0" 44.16'
PROPOSED HEIGHT:	12'-0 1/4" 42.18'



STORMWATER CALCULATIONS

APPENDIX A

SFR PERFORMANCE REQUIREMENT DETERMINATION FORM

The following form shall be completed for all SFR development and redevelopment projects. Projects that are exempt from performance requirements are required to complete Section 1 & 2 only.

Section 1: General Information	
Project name	Bedroom Addition
Project Address	3121 Sandalwood
Assessor's Parcel Number(s)	065-118-004
Name of Applicant	Michael & Kay Frye
Applicant email address:	
Applicant phone:	(559) 776-8596
Project Type (e.g. single-family residential, commercial, etc.)	SINGLE FAMILY RESIDENCE
Section 2: Area Information (ft ²)	
Total Project Area	7,862 Sq. Ft.
Total Existing impervious surface area	2,639 Sq. Ft.
Proposed Gross Impervious Area (list only the surface areas that are being created or replaced)	
a. Rooftops	218 Sq. Ft.
b. Driveways	
c. Patios	188 Sq. Ft.
d. Parking Lots	
e. Other	
Total Gross Impervious Area	406 Sq. Ft.
If Gross Impervious Area <2,500 ft ² , write "EXEMPT". Otherwise continue to Sec. 3	<EXEMPT>
Section 3: PR Determination	
Net Impervious Area (from page 7)	
Performance Requirements (from Flow Chart)	

VICINITY MAP



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C. P. PARKER ARCHITECT

CHRISTOPHER P. PARKER ARCHITECT
630 GUINTANA RD. #330 MORRO BAY, CA 93442-1962
(805) 772-5700



CONSULTANTS

PROJECT

BEDROOM ADDITION

FOR
MICHAEL & KAY FRYE

3121 SANDALWOOD MORRO BAY, CA 93442

DRAWING PHASE

DESIGN DEVELOPMENT

Project No.	16-118
Drawn By	CPP
Dwg. Date	04/20/17
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE

SITE PLAN PROJECT INFO.

SHEET NO.

SHEET INDEX

- A1.1 SITE PLAN, PROJECT INFORMATION
- A2.1 FLOOR PLANS
- A3.1 FRONT ELEVATION & PERGOLA INFO

A1.1

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 630 QUINTANA RD. #330
 MORRO BAY, CA.
 93442 - 1962
 (805) 772 - 5700

STAMPS



CONSULTANTS

PROJECT

**BEDROOM
 ADDITION**

FOR
**MICHAEL &
 KAYE FRYE**

3121 SANDALWOOD
 MORRO BAY, CA
 93442

DRAWING PHASE

**DESIGN
 DEVELOPMENT**

Project No.	16-118
Drawn By	CPP
Dwg. Date	04/20/17
Updated	-
Scale	AS NOTED

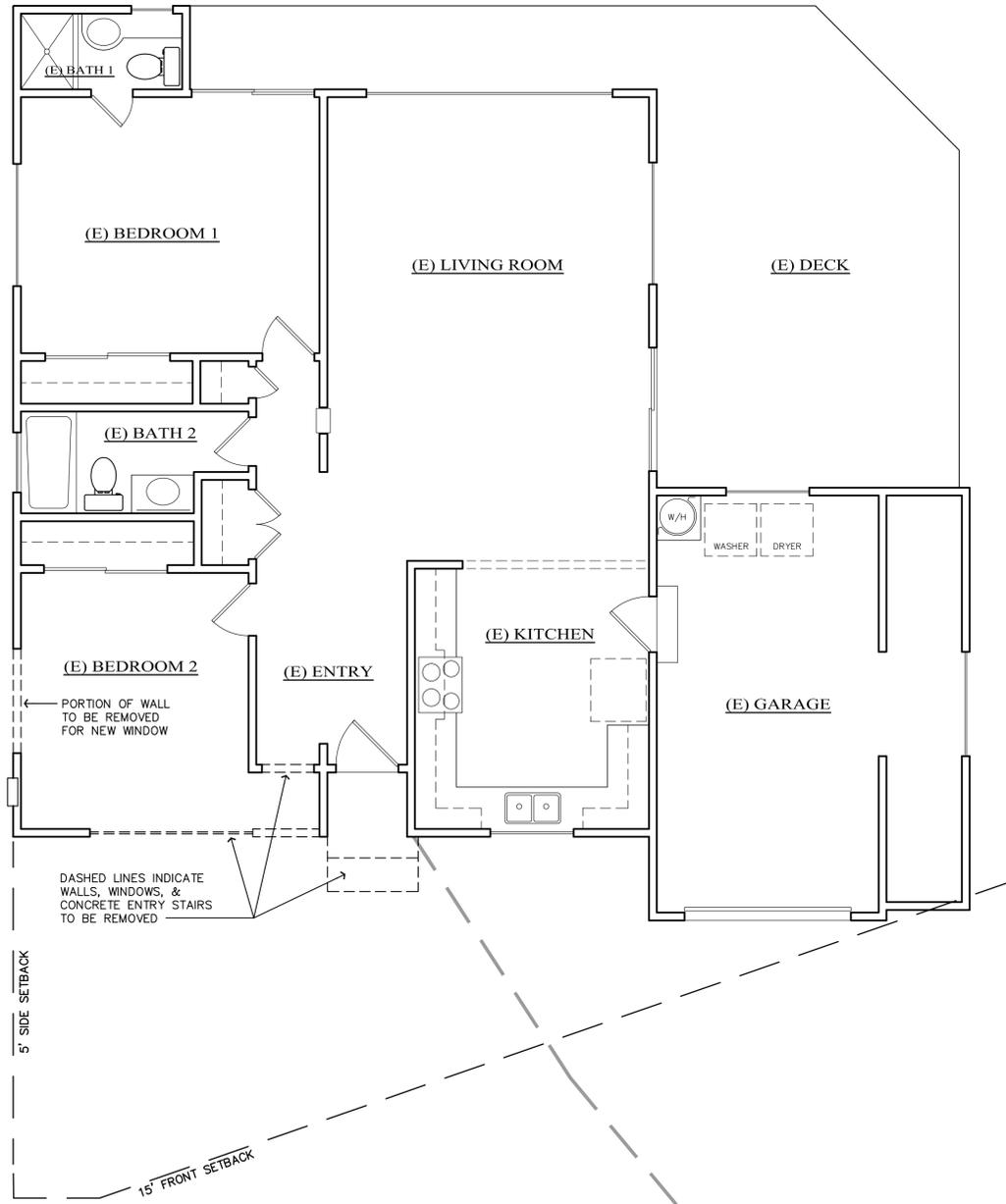
REVISIONS

SHEET TITLE

FLOOR PLANS

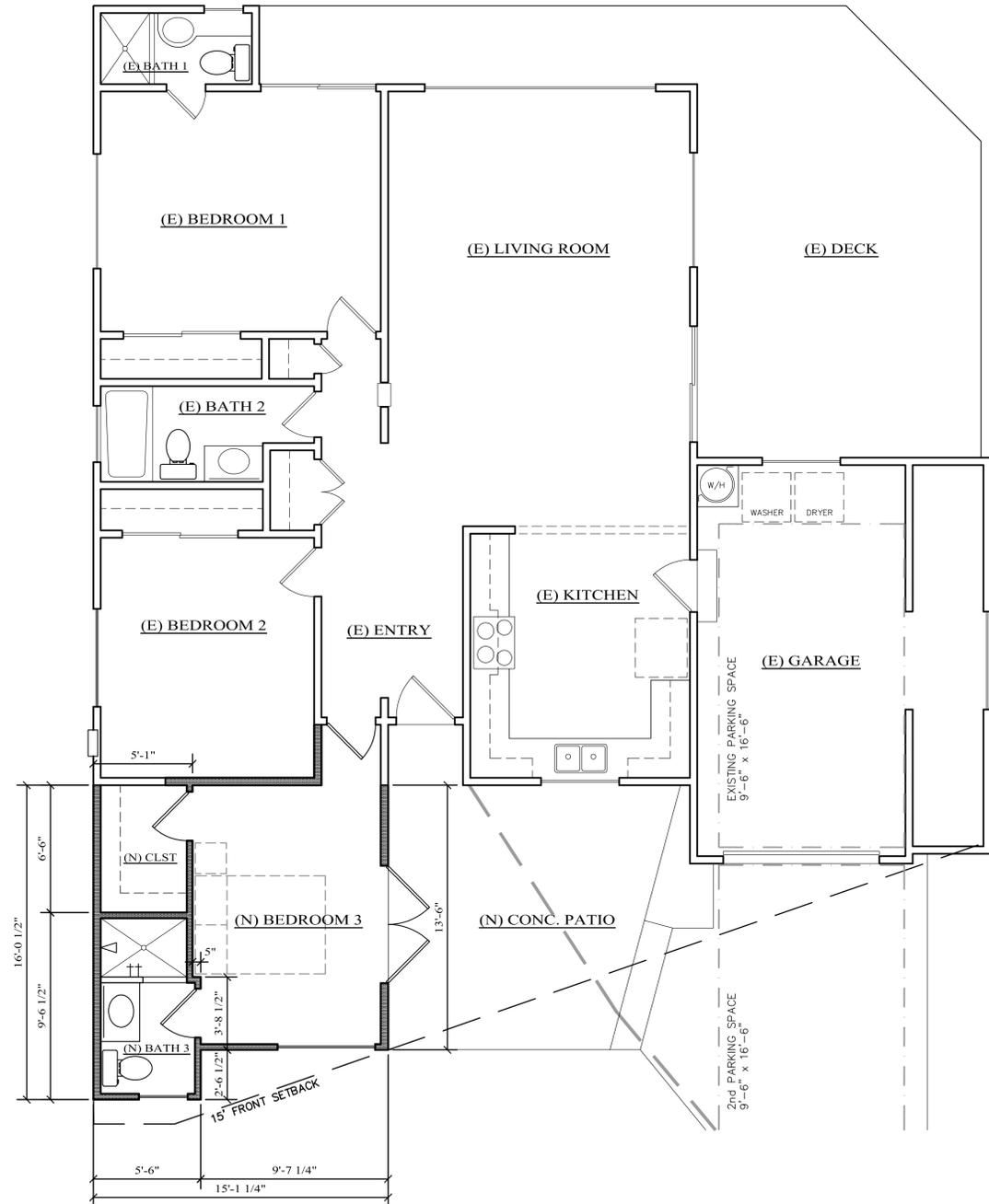
SHEET NO.

A2.1



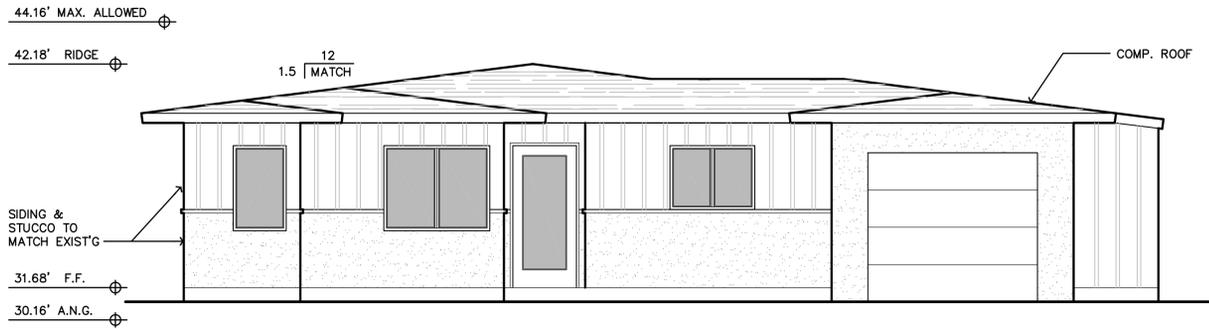
DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"



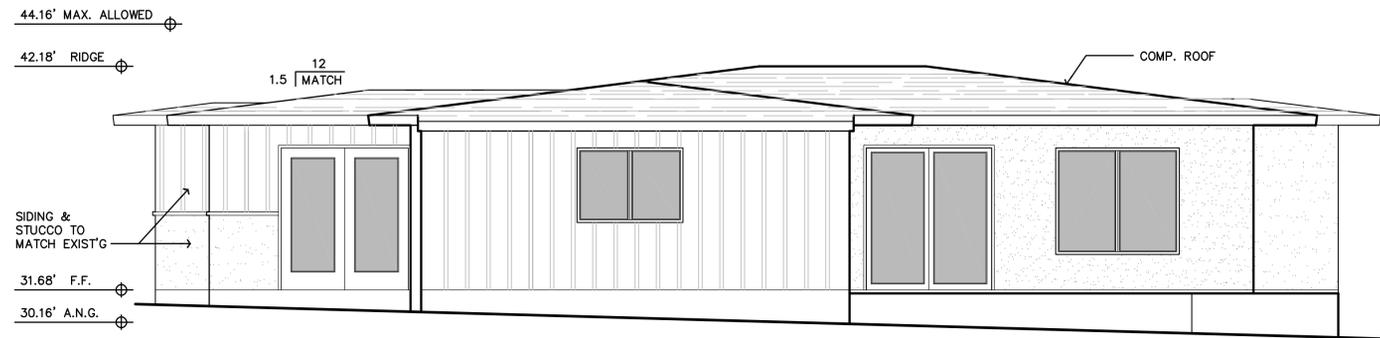
PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



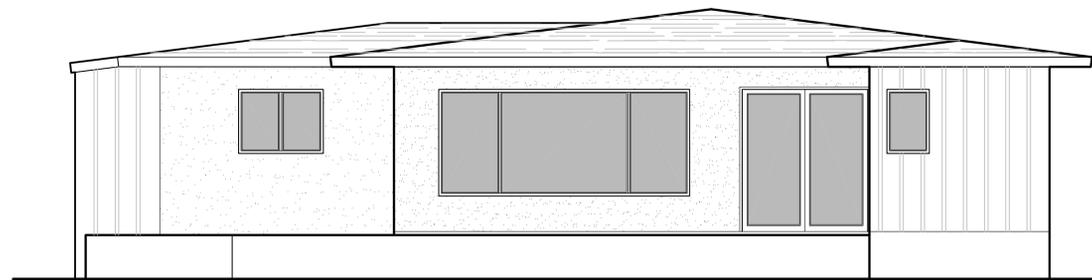
EAST ELEVATION - FRONT

SCALE: 1/4" = 1'-0"



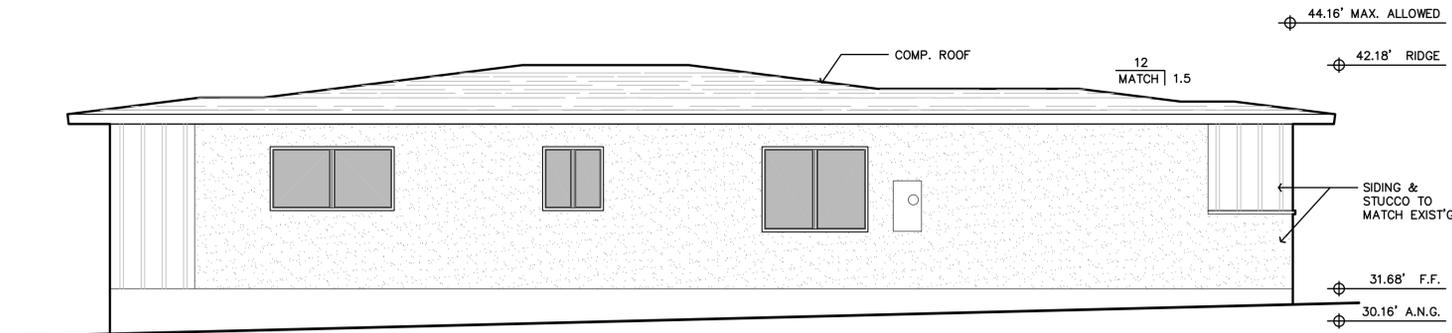
NORTH ELEVATION - SIDE

SCALE: 1/4" = 1'-0"



WEST ELEVATION - REAR

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION - SIDE

SCALE: 1/4" = 1'-0"

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STAMPS



CONSULTANTS

PROJECT

**BEDROOM
 ADDITION**

FOR
**MICHAEL &
 KAYE FRYE**

3121 SANDALWOOD
 MORRO BAY, CA
 93442

DRAWING PHASE

**DESIGN
 DEVELOPMENT**

Project No.	16-118
Drawn By	CPP
Dwg. Date	04/20/17
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE

ELEVATIONS

SHEET NO.

A3.1



AGENDA NO: B-2

MEETING DATE: June 6, 2017

Staff Report

TO: Planning Commissioners

DATE: May 30, 2017

FROM: Joan Gargiulo, Assistant Planner

SUBJECT: Conditional Use Permit (#UP0-462) and Coastal Development Permit (#CP0-523) Request to allow the development of a new single-family residence in the Cloister's Subdivision. The project proposal includes 1,920 sq. ft. of living space, a 506 sq. ft. attached garage, a 97 sq. ft. porch, and a 188 sq. ft. interior courtyard on a 7,603 sq. ft. parcel.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission **Resolution 17-17** which includes the Findings and Conditions of Approval for the project depicted on site development plans dated stamp received April 3, 2017 (Exhibit B).

APPLICANTS:

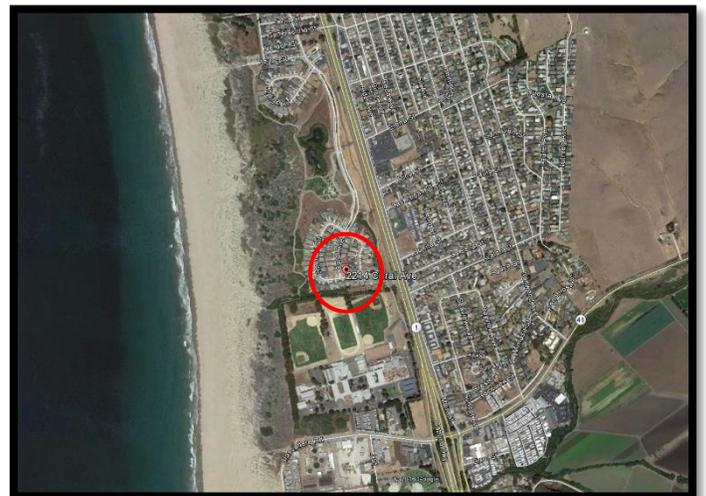
Bill and Donna Barker

LEGAL DESCRIPTION/APN:

065-388-056

PROJECT DESCRIPTION:

The Applicant is requesting Conditional Use and Coastal Development Permit approval for the construction of a new single-family residence that includes 1,920 sq. ft. of living space, a 506 sq. ft. attached garage, a 97 sq. ft. porch, and a 188 sq. ft. courtyard on a 7,603 sq. ft. parcel located in the MMR/CRR/GC(PD) Zoning District and within the Coastal Commission Appeals Jurisdiction.



Vicinity Map

Prepared By: JG

Department Review: _____

PROJECT SETTING:

The project is located on Lot 101 in the south cluster of the Cloister’s Subdivision designated as Planning Area 2, Atascadero Beach, in the Local Coastal Plan. The parcel at 2214 Coral Avenue lies to the west of Highway 1, south of San Jacinto Road, and north of Atascadero Road (HWY 41).

Adjacent Zoning/Land Use			
North:	MMR/CRR/GC(PD)	South:	MMR/CRR/GC(PD)
East:	MMR/CRR/GC(PD)	West:	MMR/CRR/GC(PD)

Site Characteristics	
Site Area	Lot 101 is 7,603 square feet
Existing Use	Vacant Parcel
Terrain	Level and undeveloped
Vegetation/Wildlife	None
Archaeological Resources	N/A
Access	Coral Avenue

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Mix Use Area ‘G’ / Area 2 Atascadero Beach
Base Zone District	MMR/CCR Maritime and marine research/Coastal resource residential
Zoning Overlay District	Planned Development Overlay
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located within the Coastal Appeal Jurisdiction

PROJECT ANALYSIS:

Background

The proposed residence is located within the Cloister’s subdivision. The final map for this project was recorded in October 1996. The Cloister’s project consists of 120 clustered residential lots and 3 open space lots that include a public park dedicated to the City and

dune area dedicated to the State (California Department of Parks and Recreation). An assessment district was formed to maintain the public park (including the parking lot and restrooms) and open space areas. Public streets and street lighting are maintained by the City.

The Cloister's subdivision went through a lengthy public review process, including review and approval by the California Coastal Commission on July 9, 1992 (A-4-MRB-91-44). The Planning Commission gave final approval of the Conditional Use Permit (CUP 28-90 Precise Plan) and Tentative Tract Map (TM 01-90) on August 16, 1993. The City Council accepted the public improvements for this subdivision on January 26, 1998.

In accordance with the Conditions of Approval for the overall subdivision, the Planning Commission is required to perform design review of each proposed residence as part of the Coastal Development Permit review.

Although no particular design style is required, homes with a Bungalow, Craftsman, or Cape Cod character are in keeping with the established design criteria. Three different height limits were established to preserve views and minimize visual impacts while complementing adjacent neighborhoods and providing for a variety of skylines. Lot 101 allows for a maximum building height of 25 feet above average natural grade. Garage structures should be set behind the front of the house a minimum of 4 feet and must be at least 25 feet from the front property line and must not dominate the street façade. Driveway access for each lot has been designed so that two driveways are not side-by-side de-emphasizing the dominance of the automobile. Each project must provide varying front setbacks from their neighbor creating more variety and individual interest.



Existing Site

Zoning Ordinance Standards		
	Standards	Proposed
Front Setback	20 feet	20 ft.
Garage Setback	25 feet	32'6"
Interior Side Setback	6 feet	7'4"
Exterior Side Setback	10 feet	12 ft.
Rear Setback	10 feet	23'6" ft.
Height	25 Feet	16'1"
Lot Coverage	Max. 45%	32.3%
Parking	2 Car Garage	2 Car Garage

Design Criteria		
	Proposed	Standards
Architectural Character	Craftsman style. This design has been approved by the Cloister's Design Review Committee	Bungalow, Craftsman, or Cape Cod character
Building Form and Massing	<ul style="list-style-type: none"> • Variable ridge heights • Trellis walkway to recessed door • Rear trellis • Vertically oriented multi-paned windows • Wood structural detailing • Exposed rafter tails 	<ul style="list-style-type: none"> • Horizontal and vertical articulation • Variable ridge heights & wall planes • Avoid large expanses of wall surface area on front and rear building elevations • Use features such as porches, balconies, arbors, and trellises • Define entry
Roof Forms	<ul style="list-style-type: none"> • Low pitched roof • Dimensional Composite Shingles 	<ul style="list-style-type: none"> • Gable, shed, hip forms with dormers are encouraged • Detailed overhangs and eaves • Flat, unglazed concrete tile, clay tile, slate, dimensional asphalt shingles
Garage	<ul style="list-style-type: none"> • 506 sq. ft. two-car garage • Recessed 12.5 ft. from front 	<ul style="list-style-type: none"> • Garages located behind the house preferred • Driveways should not dominate the landscape • Staggered/recessed doors recommended
Exterior Materials/Finishes	See materials board <ul style="list-style-type: none"> • Shingle siding • Stone veneer • Textured stucco 	Natural materials such as brick, stone, wood, light textured stucco, and split faced concrete block consistent with the chosen architectural style
Colors	See color board (Exhibit C)	Simple color schemes using a maximum of three colors

Project Evaluation

The project meets all of the Morro Bay Municipal Code requirements. The property is located within the Golf Course (GC) district and the Planned Development (PD) overlay district. The GC district is no longer applicable to the subdivision.

A condition of approval has been added to Resolution No. 17-17 requiring the Applicant to raise the height of the post pedestals for the front trellis structure, the rear trellis structure, and on the side porch to match the height of the exterior wainscoting to be more in keeping with the craftsman architectural style.

The project is located within the Coastal Commission's appeal jurisdiction, thus requiring the CDP's for development of each lot to be reviewed and approved at a noticed public hearing. As the Cloisters project was fully considered for the impacts of the future homes that would be built on the new lots, there are no significant issues to be resolved related to coastal impacts. The view corridors, non-use areas, boardwalks and fenced off areas were all designed in accordance with the tract conditions of approval to protect and enhance coastal resources and provide coastal access consistent with the policies of Chapter 3 of the California Coastal Act. Development of single family residential homes on these newly created lots, consistent with approved Design Guidelines and conditions of approval, will have no adverse impact on coastal resources or coastal access.

The individual project review is intended to ensure that the development of each of the lots within the tract continues to comply with the provisions of the Coastal Act. The various height limitations, setbacks and design criteria were established with the intent to create a built environment that will be in harmony with the natural surroundings. As proposed, the project appears consistent with the design criteria, architectural, and use restrictions as contained in the approved CC&R's as summarized in the tables above.

The Cloisters Design Review Committee has also reviewed and approved the project plans for consistency with the Cloister's Design Guidelines (See Cloisters Design Review Committee approval letter provided in Exhibit D).

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on Friday, May 26, 2017, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3. The exemption applies to new construction of a single-family residence in a residential zone and the project will have no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The proposed project is consistent with all applicable development standards of the Zoning Ordinance, Cloister's Tract Conditions, CC&R's and Design Guidelines, and applicable provisions of the General Plan and Local Coastal Plan. No modifications or exceptions to City development requirements are proposed. The project has been found to be exempt from CEQA.

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-462 and Coastal Development Permit #CP0-523 for the construction of a new single-family residence at 2214 Coral Avenue, as shown on plans date stamp received April 3, 2017, by adopting Planning Commission **Resolution 17-17** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 17-17
- Exhibit B – Graphics/Plan Reductions
- Exhibit C – Color and Materials Board
- Exhibit D – Cloister's Design Review Committee Letter

EXHIBIT A

RESOLUTION NO. PC 17-17

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT (UP0-462) AND COASTAL DEVELOPMENT PERMIT (CP0-523) TO ALLOW CONSTRUCTION OF A SINGLE- FAMILY RESIDENCE AT 2214 CORAL AVENUE IN THE CLOISTERS SUBDIVISION

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on August 16, 2016, for the purpose of considering Conditional Use Permit UPO-439 and Coastal Development Permit CP0-498 for a proposed new single-family residence at 2214 Coral Avenue in the Cloisters Subdivision; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt pursuant to Class 3, CEQA Guidelines Section 15303(a) construction of a single-family residence in a residential zoning district with no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

2. The project will not be detrimental to the health, safety, comfort and general welfare of the persons residing or working in the neighborhood because the single family residence and associated attached garage are permitted uses within the zoning district applicable to the project site and said structures will be constructed in accordance with all applicable project conditions and City regulations.
3. The project will not be injurious or detrimental to property and improvements in the neighborhood because the single family residence and associated attached garage are designed to be consistent with the Design Guidelines, project conditions, and City regulations applicable to this development.

EXHIBIT A

Planning Commission Resolution No. 17-17

UPO-462 / CP0-523 2214 Coral Avenue

Page 2

4. The project will not be injurious or detrimental to the general welfare of the City because the single family residence and associated attached garage are permitted uses within the zone district and plan designation applicable to the site and said structures are designed to be constructed in accordance with all applicable project conditions and City regulations.
5. The project is an allowable use in the zoning district and is also in accordance with the certified Coastal Land Use plan for the City of Morro Bay, and is in conformance with the coastal access policies of Chapter 3 of the California Coastal Act.
6. The project is in conformance with the applicable conditions of approval for Tract 1996 (Case No. CUP 28-90/TM 01-90) as indicated in the attached staff report dated May 30, 2017.
7. The project design is consistent with the elements contained in the approved CC&R's for Tract 1996, the Cloisters, that are intended to create a unified architectural and aesthetic consistency and tone so that each residence will harmonize with the beauty and natural surroundings and coastal nature of the property.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit UPO-462 and Coastal Development Permit CP0-523 for property located at 2214 Coral Avenue (Lot 101) subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated May 30, 2017, for the project at 2214 Coral Avenue depicted on plans date stamped April 3, 2017, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

EXHIBIT A

3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Compliance with Conditions of Approval for Tract 1996: The approved projects shall comply with all applicable conditions of approval for approved Conditional Use Permit and Tract Map, Case No. CUP 28-90/TM 01-90, including, but not limited to, required noise standards, residential fire sprinklers, building and fence height limitations, lot coverage, and undergrounding of all utilities.

EXHIBIT A

Planning Commission Resolution No. 17-17

UPO-462 / CP0-523 2214 Coral Avenue

Page 4

2. Design Review: The exterior finishes and materials shall remain in substantial conformance to the plans reviewed and on file with this approval. Any approved changes shall meet the intent as stated in Section 5.1 of the approved CC&R's for Tract 1996 and require approval from the Cloister's Design Review Committee.
3. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. Prior to requesting foundation inspection, a licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Director. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
4. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
5. Landscape Plan and Maintenance: Pursuant to the conditions of approval for Tract 1996, no landscaping shall be maintained at a height exceeding the maximum allowed for the structure. Additionally, the criteria contained in the CC&R's, Sections 5.17-5.22 shall be met. All plant materials shall be maintained diligently to ensure proper health, growth and appearance. Replacement materials shall have similar functional characteristics as that originally approved.
6. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist, knowledgeable in Chumash Culture, or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
7. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings: The erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
8. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet

containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.

9. The pedestal bases for the support columns at the front, rear, and exterior side yard of the residence shall be raised to match the height of the exterior wanescoting.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morrobay.ca.us/EZmanual. Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. Complete and submit the "SFR Performance Requirement Determination Form".
2. Sewer Lateral: If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit issuance. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans. A sewer backwater valve and downstream cleanout, extended to grade, shall be installed on the sewer lateral. If a new lateral is being proposed and old lateral exists, include a note on the plans to cap and abandon existing sewer lateral.
3. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070). Indicate and label on plan.
4. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
5. Water Meter: Per Resolution No. 06-16, all new water allocations requested for 2016 shall be offset on a two-to-one basis (or 440 gallons per day) by providing retrofits to existing uses or providing non-required water savings features for development that would benefit from water allocation. Submit a list of items and supporting documents (such as manufacturer's specifications, manufacturer's

water calculations, WELO Water calculations, etc.) proving water savings amount. See attached “Water Allocation Form”. The Public Works Director is responsible for the review and approval of the proposed retrofits to ensure they offset the water supply requested by new development. Retrofits may include, but are not limited to, any of the following water savings best management practices:

- Irrigation retrofits
- Waterless urinals
- Waterless toilets
- Ultra-Low flow toilets
- Lawn/Landscape replacement
- Grey water system installation in new construction
- Installation of rainwater recovery system
- Other water savings best management practices as approved by the Public Works Director
- If retrofit is deemed to be infeasible by Public Works Director (whose decision is not appealable), then payment of an “In-Lieu” fee program of two times \$3,016 (\$6,032) per required Water Equivalency Units (WEU). Applicant must submit proof that retrofit is infeasible.

6. Encroachment Permits: A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City’s Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

FIRE CONDITIONS:

1. Automatic fire sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903), California Residential Code (Section R313), and Morro Bay Municipal Code (Section 14.08.090(L)(1)) is required.

EXHIBIT A

Planning Commission Resolution No. 17-17

UPO-462 / CP0-523 2214 Coral Avenue

Page 7

Applicant shall submit plans for an automatic fire sprinkler system, in accordance with NFPA 13-D, to Morro Bay Community Development Department for review.

2. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

Applicant shall provide Carbon Monoxide detection in accordance with CRC R315.2.

3. Fire Safety During Construction and Demolition shall be in accordance with 2013 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations

Applicant shall include above language on Building Plan submittal.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 6th day of June, 2017 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

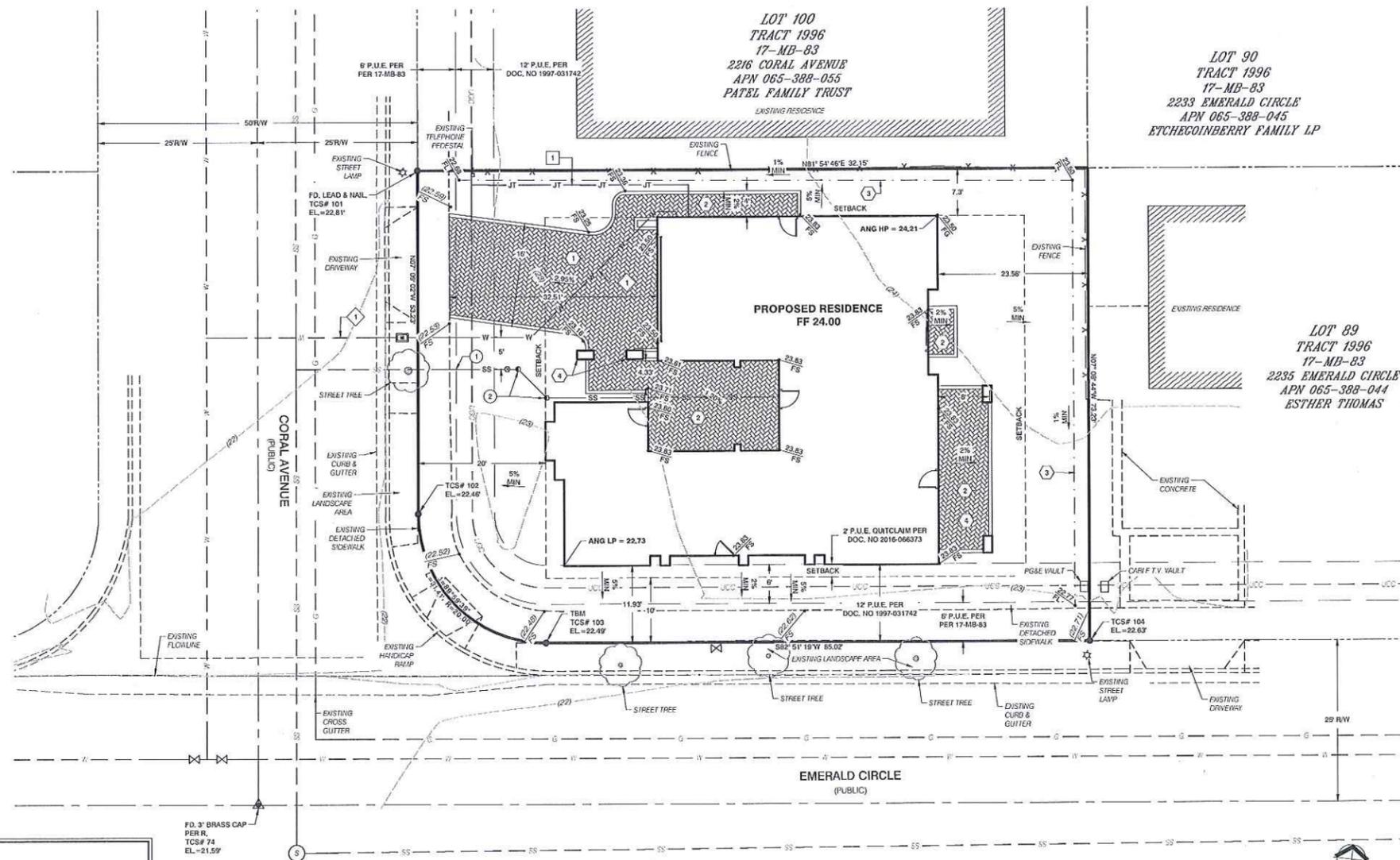
Robert Tefft, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 6th day of June, 2017.

EXHIBIT B



LEGEND

EXISTING	PROPOSED
00.00 FG	00.00 FG
00.00 FL	00.00 FL
00.00 HP	00.00 HP
00.00 AC	00.00 GS

LEGEND

---	PROPERTY BOUNDARY
---	RIGHT OF WAY
---	SECTION LINE
---	SECTION LINE
---	CENTER LINE
---	EASEMENT
---	EXISTING BACK OF CURB
---	EXISTING FACE OF CURB
---	EXISTING LIP OF CURB
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	EXISTING FENCE
---	EXISTING EDGE OF SIDEWALK
---	CONCRETE BUILDINGS
---	CONCRETE
---	BACK OF CURB
---	FACE OF CURB
---	CURB LIP
---	FLOW LINE
---	GRADE BREAK
---	SAWCUT
---	SIDEWALK
---	SETBACK

- CONSTRUCTION NOTES**
- CONSTRUCT PERMEABLE PAVERS PER DETAIL 1, THIS SHEET AND MANUFACTURER'S RECOMMENDATIONS. GEOTECHNICAL ENGINEER TO APPROVE PAVEMENT SECTION PRIOR TO CONSTRUCTION. DRIVEWAY TO BE CONSTRUCTED PER COMB STANDARD B-7 AND GEOTECH REPORT.
 - CONSTRUCT PERMEABLE PAVERS PER DETAIL 1, THIS SHEET AND MANUFACTURER'S RECOMMENDATIONS. GEOTECHNICAL ENGINEER TO APPROVE PAVEMENT SECTION PRIOR TO CONSTRUCTION.
 - CONSTRUCT FLOWLINE AS SHOWN.
 - CONSTRUCT DECORATIVE PERGOLA. SEE ARCHITECTURAL PLANS FOR DETAILS.

- WATER CONSTRUCTION NOTES**
- 1" PVC (SCH 40, OR EQUAL) WITH PRESSURE REGULATOR WATER SERVICE FROM METER TO RESIDENCE PER "WATER GAS SERVICE TRENCH" DETAIL 4, SHEET C2. VERIFY 1" IS ADEQUATE SIZE WITH FIRE SPRINKLER ENGINEER PRIOR TO CONSTRUCTION AND ADJUST ACCORDINGLY. VERIFY 1" WATER LATERAL SIZE FROM WATER MAIN TO METER BOX.

- SEWER CONSTRUCTION NOTES**
- CONNECT TO EXISTING SEWER LATERAL PER COMB DETAIL S-1.
 - 4" PVC (SDR 35, OR EQUAL) GRAVITY SEWER LATERAL AT 2% MIN. SLOPE FROM POINT OF CONNECTION TO NEW RESIDENCE PER COMB DETAIL S-1 AND DETAIL 4, SHEET C2. WITH END OF RUN SEWER CLEAN OUT WITH TRAFFIC RATED LID PER COMB DETAIL S-2 AND BACK WATER VALVE. SEWER CLEAN OUT TO BE PLACED A MINIMUM OF 2' FROM STRUCTURE. SEWER CLEAN OUTS TO BE PLACED AT ALL ANGLE POINTS.

- UTILITY CONSTRUCTION NOTES**
- INSTALL DRY UTILITY SERVICES (POWER, TELECOMMUNICATIONS, CATV, & GAS) PER "JOINT UTILITY SERVICE TRENCH" DETAIL 4, THIS SHEET C2.

SITE DATA

APN No.	ACREAGE	ZONING
065-388-056	0.21	CR

GEOTECHNICAL REPORT

PROJECT No.	DATE	AS PREPARED BY:
11-1818	JULY 18, 2016	HALLIN GEOTECHNICAL, LLC.

TOPOGRAPHIC SURVEY

PROJECT No.	DATE	AS PREPARED BY:
JN 16092	MAY 23, 2016	TWIN CITIES SURVEYING INC.

STORM WATER PROJECT INFORMATION

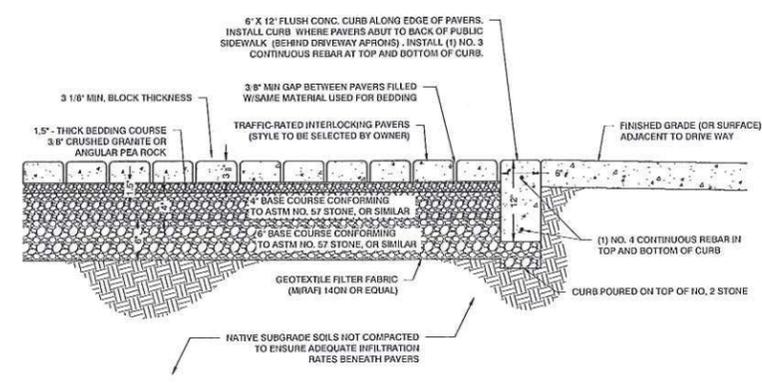
PROJECT NAME	BARKER RESIDENCE
APPLICATION NUMBER	TBD
ADDRESS AND APN	2214 CORAL AVENUE, APN: 065-388-056
NAME OF APPLICANT	BILL AND DONNA BARKER
NAME OF OWNER	BILL AND DONNA BARKER
PROJECT PHASE NUMBER	N/A
PROJECT TYPE	SINGLE FAMILY RESIDENCE

PROJECT AREAS

TOTAL PROJECT SITE AREA	7,603 SF
TOTAL NEW IMPERVIOUS SURFACE AREA	2,458 SF
TOTAL REPLACED SURFACE AREA	0
TOTAL NEW PERVIOUS AREA	2,458 SF
CALCULATION OF NET IMPERVIOUS AREA	2,458 SF

ACKNOWLEDGEMENT OF THE PERFORMANCE REQUIREMENTS THAT APPLY

PR NO. 1 - SITE DESIGN AND RUNOFF REDUCTION	2,458 SF < 2,500 SF, PFI EXEMPT
PR NO. 5 - LARGE PEAK FLOW CONTROL	2,458 SF < 2,500 SF, PFS EXEMPT

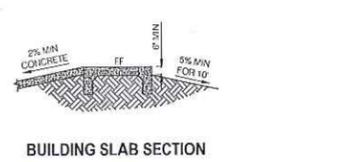


PROJECT STATISTICS

SITE SUMMARY

LOT SQUARE FOOTAGE: 7,603 SF
 PROPOSED BUILDING FOOTPRINT: 2,413 SF
 LOT COVERAGE: (2,413/7,603) = 0.32 = 32% < 45%
 MAXIMUM LOT COVERAGE: 45% MAXIMUM LOT COVERAGE
 ANG = (22.73+24.21)/2 = 23.47

SETBACKS	REQUIRED	ACTUAL
FRONT YARD	20'	20'
LEFT SIDE YARD	7.5'	7.5'
STREET SIDE YARD	10'	11.50'
BACK YARD	10'	23.50'



- CITY OF MORRO BAY NOTICES**
- ANY DAMAGE AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.
 - NO WORK SHALL OCCUR WITHIN (OR USE OF) THE CITY'S RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMITS ARE AVAILABLE AT THE CITY OF MORRO BAY PUBLIC WORKS OFFICE LOCATED AT 955 SHASTA AVE. THE ENCROACHMENT PERMIT SHALL BE ISSUED CONCURRENTLY WITH THE BUILDING PERMIT.

BASIS OF BEARINGS

THE "BASIS OF BEARINGS" FOR THIS MAP AND SURVEY IS GRID NORTH PER CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS 83-ZONE 8). THE MEAN CONVERGENCE ANGLE FOR THIS SITE IS -01°37'40".

MEASURED DISTANCES SHOWN HEREON ARE GRID DISTANCES IN U.S. FEET. TO OBTAIN GROUND DISTANCES, MULTIPLY GRID DISTANCES BY 0.999995776.

DISCLAIMER NOTE:

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

FLOOD ZONE INFORMATION

THE ENTIRE PROPERTY LIES WITHIN ZONE X, AN AREA OF 0.2% ANNUAL CHANCE OF FLOOD HAZARD PER FEMA PANEL NO. 06079C08130G, EFFECTIVE DATE 11/16/2012.

BENCHMARK

TOP OF A 3" BRASS BENCH MARK DISK STAMPED "O 1314 1977" (PID FV1103) SET ON A HEADWALL AT THE INTERSECTION OF MAIN STREET AND ATASCADERO ROAD (HWY 41). SET IN THE TOP AND 1 FOOT EAST OF THE END OF THE NORTH CONCRETE HEADWALL FOR A 20" CONCRETE PIPE CULVERT, 42 FEET NORTHEAST OF THE CENTER LINE OF THE STREET, 38.5 FEET NORTHWEST OF THE CENTER OF THE ROAD, (TCS# 71)

ELEVATION = 25.74 FEET (NAVD 88)

TBM = FOUND NAIL AND TAG "ICE 12545" AT THE SOUTHWESTERLY CORNER OF LOT 101 AS SHOWN ON MAP (TCS# 103)

ELEVATION = 22.49 FEET (NAVD 88)

Call before you Dig
 Avoid cutting underground utility lines. It's costly.

OR
 1-800-227-2600

CDP - 2ND SUBMITTAL

DATE: 3/28/2017

DESIGNER: DS

DRAWER: DS

CHECKED: DS

SCALE: 1"=10'

ENGINEERING DESIGN PROFESSIONALS, INC.
 SAN LUIS OBISPO CA
 805-692-6167 | EDP@HCDREPOBATED.COM

GRADING PLAN

BARKER RESIDENCE
 2214 CORAL AVENUE
 MORRO BAY, CA
 APN # 065-388-056

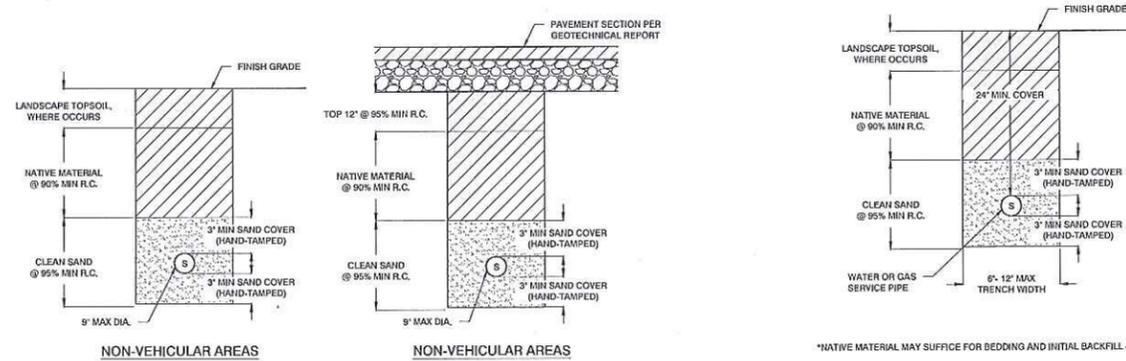
REGISTERED PROFESSIONAL ENGINEER
 DANIEL A. SOTO
 NO. 81227
PRELIMINARY
 CIVIL
 STATE OF CALIFORNIA

3/28/2017

SHEET
C1
 1 OF 4 SHEETS

XXXXXX

EXHIBIT B



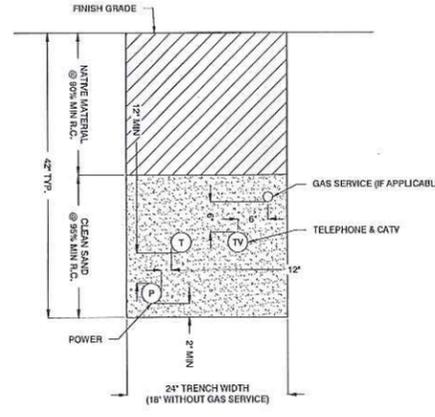
- NOTES:**
- NO TREES OR LARGE BUSHES ARE TO BE PLANTED OVER SEWER/STORM DRAIN PIPE.
 - NATIVE MATERIAL MAY SUFFICE FOR BEDDING AND INITIAL BACKFILL - SEE SOILS REPORT.
 - CONTRACTOR TO INSTALL PIPE PER MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR TO VERIFY MANUFACTURERS MIN COVER AND LOADING REQUIREMENTS PRIOR TO CONSTRUCTION.

2. STORM DRAIN/SEWER TRENCH (3" DIA. AND LARGER PIPES) N/S

*NATIVE MATERIAL MAY SUFFICE FOR BEDDING AND INITIAL BACKFILL - SEE SOILS REPORT

- NOTES:**
- NO TREES OR LARGE BUSHES ARE TO BE PLANTED OVER WATER/GAS SERVICES.
 - WATER SERVICE PIPE AND FITTINGS ARE TO BE SCHEDULE 40 PVC W/SOLVENT-WELDED JOINTS.
 - GAS SERVICE PIP/FITTINGS SHALL BE PER THE GAS COMPANY.
 - THIS DETAIL IS FOR NON-VEHICULAR AREAS. IN AREAS SUBJECT TO VEHICULAR TRAFFIC, MINIMUM DEPTH SHALL BE INCREASED TO 36" AND BACKFILL REQUIREMENTS SHALL BE AS SHOWN ON THE STORM DRAIN/SEWER TRENCH DETAIL FOR VEHICULAR AREAS.

3. WATER/GAS SERVICE TRENCH (2" DIA. AND SMALLER PIPES) N/S



- NOTES:**
- NUMBER AND SIZE OF CONDUIT(S) SHALL BE PER UTILITY COMPANIES.
 - SPACING BETWEEN CONDUITS SHALL BE PER UTILITY COMPANIES.
 - WIRE UTILITY CONDUIT IS TO BE SCHEDULE 40 PVC OR SOLID.
 - THIS DETAIL SHALL BE VERIFIED AS SUITABLE /ACCEPTABLE BY THE UTILITY COMPANIES.

4. JOINT UTILITY SERVICE TRENCH N/S

LEGEND

EXISTING	PROPOSED
00.00 FG	00.00 FG
00.00 FL	00.00 FL
00.00 HP	00.00 HP
00.00 AC	00.00 GB

LEGEND

---	PROPERTY BOUNDARY
---	RIGHT OF WAY
---	PROPERTY LINE
---	SECTION LINE
---	CENTER LINE
---	EASEMENT
---	EXISTING BACK OF CURB
---	EXISTING FACE OF CURB
---	EXISTING LIP OF CURB
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	EXISTING FENCE
---	EXISTING EDGE OF SIDEWALK
---	BUILDINGS
---	CONCRETE
---	BACK OF CURB
---	FACE OF CURB
---	CURB LIP
---	FLOW LINE
---	GRADE BREAK
---	SAW CUT
---	SIDEWALK
---	SETBACK

APPLICABLE CODES

- 2013 CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2009 IBC)
- 2013 CALIFORNIA ELECTRICAL CODE (2008 NEC)
- 2010 CALIFORNIA FIRE CODE (2009 IFC)
- 2010 CALIFORNIA PLUMBING CODE (2009 UPC)
- 2010 CALIFORNIA REFERENCED STANDARDS CODE
- 2010 CALIFORNIA RESIDENTIAL CODE (NEV) (2009 IRC)
- CITY STANDARD SPECIFICATIONS, CURRENT EDITION
- CITY ENGINEERING STANDARDS, CURRENT EDITION
- CITY FIRE CODE ORDINANCE
- CITY LAND USE ORDINANCE
- GRADING 2009 APPENDIX CHAPTER 33

NOTE:

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR PERMITEE TO CONTACT UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA BY PHONE AT 8-1-1 FORTY EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION FOR LOCATION OF POWER, TELEPHONE, OIL AND NATURAL GAS UNDERGROUND FACILITIES. CONTRACTOR OR PERMITEE SHALL ALSO CONTACT THE APPROPRIATE AGENCY FOR THE LOCATION OF CABLE T.V., WATER, SEWER, DRAINAGE OR UNDERGROUND FACILITIES.

SITE DATA

APN No. 065-388-056	ACREAGE: 0.21	ZONING CRR
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GEOTECHNICAL REPORT

PROJECT No.	H-16916
DATE	JULY 10, 2016
AS PREPARED BY:	HALLIN GEOTECHNICAL, LLC.

TOPOGRAPHIC SURVEY

PROJECT No.	JN 16092
DATED:	MAY 23, 2016
AS PREPARED BY:	TVMN CITIES SURVEYING INC.

STORM WATER PROJECT INFORMATION

PROJECT NAME	BARKER RESIDENCE
APPLICATION NUMBER	TBD
ADDRESS AND APN	2214 CORAL AVENUE, APN: 065-388-056
NAME OF APPLICANT	BILL AND DONNA BARKER
NAME OF OWNER	BILL AND DONNA BARKER
PROJECT PHASE NUMBER	N/A
PROJECT TYPE	SINGLE FAMILY RESIDENCE

PROJECT AREAS

TOTAL PROJECT SITE AREA	7,628 SF
TOTAL NEW IMPERVIOUS SURFACE AREA	2,458 SF
TOTAL REPLACED SURFACE AREA	0
TOTAL NEW PERVIOUS AREA	2,458 SF
CALCULATION OF NET IMPERVIOUS AREA	2,458 SF

ACKNOWLEDGEMENT OF THE PERFORMANCE REQUIREMENTS THAT APPLY

PR NO. 1 - SITE DESIGN AND RUNOFF REDUCTION	2,458 SF < 2,500 SF, PR1 EXEMPT
PR NO. 5 - LARGE PEAK FLOW CONTROL	2,458 SF < 2,500 SF, PR5 EXEMPT

GENERAL NOTES

- NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE CITY BUILDING DEPARTMENT. THE BUILDING DEPARTMENT SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO STARTING OF CONSTRUCTION AND OF THE TIME LOCATION OF THE PRECONSTRUCTION CONFERENCE. ANY CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE BUILDING DEPARTMENT WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.
- FOR ANY CONSTRUCTION PERFORMED THAT IS NOT IN COMPLIANCE WITH PLANS OR PERMITS APPROVED FOR THE PROJECT THE CITY BUILDING DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT CITY CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER.
- ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE MOST CURRENT CITY OF MORRO BAY BUILDING DEPARTMENT STANDARDS AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE BUILDING DEPARTMENT.
- THE PROJECT OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND/OR MAINTAINING ALL WEATHER ACCESS AT ALL TIMES TO EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK. ADDITIONALLY, THEY SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING SERVICES, INCLUDING UTILITY, GARBAGE COLLECTION, MAIL DISTRIBUTION, ETC. TO ALL EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK.
- ON-SITE HAZARDS TO PUBLIC SAFETY SHALL BE SEQUESTERED BY CONSTRUCTION FENCING, FENCING SHALL BE MAINTAINED BY THE PROJECT OWNER AND CONTRACTOR UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND OCCUPIED. POTENTIAL HAZARDS HAVE BEEN MITIGATED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN INSTALLED.
- SOILS TESTS SHALL BE DONE IN ACCORDANCE WITH THE CITY PUBLIC IMPROVEMENT STANDARDS. TESTS MUST BE MADE WITHIN 15 DAYS PRIOR TO PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
- ROADWAY COMPACTION TESTS SHALL BE MADE ON SUBGRADE MATERIAL, AGGREGATE BASE MATERIAL, AND MATERIAL AS SPECIFIED BY THE ENGINEER. SAND TESTS SHALL BE MADE PRIOR TO THE PLACEMENT OF THE NEXT MATERIAL LIFT.
- SUBGRADE MATERIAL SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95% IN THE ZONE BETWEEN FINISHED SUBGRADE ELEVATION AND A MINIMUM OF ONE FOOT BELOW. ALL MATERIAL IN FILL SECTIONS BELOW THE ZONE MENTIONED ABOVE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION.
- A REGISTERED CIVIL ENGINEER SHALL CERTIFY THAT THE IMPROVEMENTS WHEN COMPLETED ARE IN ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR A FINAL INSPECTION. RECORD DRAWINGS SHALL BE PREPARED AFTER CONSTRUCTION IS COMPLETED. THE CIVIL ENGINEER CERTIFYING THE IMPROVEMENTS AND PREPARING AS-BUILT PLANS MAY BE PRESENT WHEN THE FINAL INSPECTION IS MADE BY THE CITY.
- AN ENGINEER OF WORK AGREEMENT AND AN ENGINEER CHECKING AND INSPECTION AGREEMENT ARE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE BUILDING DEPARTMENT SHALL BE NOTIFIED IN WRITING OF ANY CHANGES TO THE ENGINEER OF WORK AGREEMENT. CONSTRUCTION SHALL NOT PROCEED WITHOUT AN ENGINEER OF WORK.
- ALL UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
- A CITY ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE CITY RIGHT-OF-WAY. THE ENCROACHMENT PERMIT MAY ESTABLISH ADDITIONAL UTILITY AND TRAFFIC CONTROL REQUIREMENTS.
- THE CITY INSPECTOR ACTING ON BEHALF OF THE CITY BUILDING DEPARTMENT MAY REQUIRE REVISIONS IN THE PLANS TO CORRECT UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPER'S ENGINEER OF WORK.
- HYDROSEEDING OR OTHER PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES (OTHER THAN PAVED OR GRAVEL SURFACES) PRIOR TO THE FINAL INSPECTION.
- FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE CITY, IF ENVIRONMENTAL PERMITS FROM THE U.S. ARMY CORPS OF ENGINEERS, THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD/STATE WATER RESOURCES CONTROL BOARD, OR THE CALIFORNIA DEPARTMENT OF FISH & GAME ARE REQUIRED, THE DEVELOPER SHALL:
 - SUBMIT A COPY OF ALL SUCH COMPLETED PERMITS TO THE CITY BUILDING DEPARTMENT OR,
 - DOCUMENT THAT THE REGULATORY AGENCIES DETERMINED THAT SAID PERMIT IS NOT REQUIRED;
 - PRIOR TO ACCEPTANCE OF THE COMPLETED IMPROVEMENTS FOR CITY MAINTENANCE AND RELEASE OF IMPROVEMENT SECURITY, ANY MITIGATION MONITORING REQUIRED BY SAID PERMITS WILL REMAIN THE RESPONSIBILITY OF THE DEVELOPER.
- WHEN THE PROJECT SITE EARTHWORK IS NOT INTENDED TO BALANCE THEN A SEPARATE GRADING PERMIT FOR THE SENDING OR RECEIVING PROPERTY MAY BE REQUIRED. A COPY OF THE PERMITS OR EVIDENCE THAT NO PERMITS ARE REQUIRED SHALL BE SUBMITTED TO THE DEPARTMENT PRIOR TO COMMENCING PROJECT EARTHWORK.

OBSERVATION AND TESTING PROGRAM

THE SOILS ENGINEER OF RECORD SHALL OBSERVE THE FOLLOWING TASKS:

- PLACEMENT, BACKFILL, AND COMPACTION OF FILL MATERIAL.

BIWEEKLY REPORTS ARE REQUIRED BY THE SOILS ENGINEER OF RECORD TO THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO ANY WORK BEING PERFORMED, AND ARRANGE FOR INSPECTION.

A FINAL REPORT IS REQUIRED FOR ENGINEERING GRADING INCLUDING ALL COMPACTION REPORTS.

PROJECT SURVEY MONUMENTS

EXISTING SURVEY MONUMENTS SHALL BE TIED OUT OR REPLACED IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.

GRADING NOTES

- ALL GRADING CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES AS NOTED UNDER "APPLICABLE CODES" HEADING.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE CITY AND OTHER AFFECTED AGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO ANY WORK BEING PERFORMED, AND ARRANGE FOR INSPECTION.
- GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE SOILS REPORT NO. H-16916 BY HALLIN GEOTECHNICAL, INC., DATE 7/10/2016 FILED WITH THE CITY OF MORRO BAY.
- SOILS ENGINEER TO DETERMINE THE SOIL IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE. SUCH REPORT INCLUDING PROGRESS AND/OR COMPACTION REPORTS SHALL BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO FINAL INSPECTION WHEN A SOILS REPORT IS OBTAINED. THE CITY POLICY REGARDING PAD CERTIFICATION SHALL BE FOLLOWED. WHEN APPLICABLE THE ENGINEER SHALL OBSERVE THE GRADING OPERATION(S) AND PROVIDE THE FIELD INSPECTOR WITH REQUIRED COMPACTION REPORTS AND A REPORT STATING THAT THE GRADING PERFORMED HAS BEEN OBSERVED AND IS IN CONFORMANCE WITH THE UBC AND CITY ORDINANCES.
- NO CUT OR FILL SLOPES WILL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
- DUST CONTROL IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- AREAS OF FILL SHALL BE SCARIFIED, BENCHED AND RECOMPACTED PRIOR TO REPLACING FILL AND OBSERVED BY A SOIL OR CIVIL ENGINEER.
- FILL MATERIAL WILL BE RECOMPACTED TO 90% OF MAXIMUM DENSITY.
- REMOVE ANY DELETERIOUS MATERIAL ENCOUNTERED BEFORE PLACING FILL.
- ALL DISTURBED AREAS SHALL BE HYDRO SEEDED OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER CONSTRUCTION IS COMPLETE.
- MINIMUM SETBACK TO CREEKS AND BLUFFS SHALL BE MAINTAINED. MINIMUM SETBACK OF TWO FEET FROM ALL PROPERTY LINES WILL BE MAINTAINED FOR ALL GRADING.
- MINIMUM SLOPE AWAY FROM BUILDINGS SHALL BE 5% FOR THE FIRST TEN FEET AROUND PERIMETER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN THE RIGHT OF WAY SHALL HAVE AN APPROPRIATE CONTRACTORS LICENSE, A LOCAL BUSINESS LICENSE, AND SHALL OBTAIN AN ENCROACHMENT PERMIT.
- ENGINEERING REPORTS FOR CUT OR FILL SLOPES STEEPER THAN 2:1 SHALL BE SUBMITTED TO THE FIELD INSPECTOR.

PROJECT PRE-CONSTRUCTION MEETING

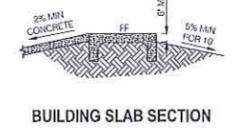
PRIOR TO START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE REPRESENTATIVE OF THE CITY OF MORRO BAY, THE CIVIL ENGINEER OF RECORD, THE SOILS ENGINEER OF RECORD, THE GRADING CONTRACTOR OF RECORD, THE OWNER/DEVELOPER, AND OTHERS REQUIRED TO IMPLEMENT AND TO SUPPORT THIS PROJECT. THE OWNER/DEVELOPER SHALL COORDINATE THIS MEETING WITH THE CITY REPRESENTATIVE AND OTHER PARTIES.

CITY OF MORRO BAY NOTICES

- ANY DAMAGE, AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.
- NO WORK SHALL OCCUR WITHIN (OR USE OF) THE CITY'S RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMITS ARE AVAILABLE AT THE CITY OF MORRO BAY PUBLIC WORKS OFFICE LOCATED AT 855 SHASTA AVE. THE ENCROACHMENT PERMIT SHALL BE ISSUED CONCURRENTLY WITH THE BUILDING PERMIT.

Call before you Dig
Avoid cutting underground utility lines. It's costly.

Call
811
OR
1-800-227-2600



BUILDING SLAB SECTION

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP AND SURVEY IS GRID NORTH PER CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS 83-ZONE 5). THE MEAN CONVERGENCE ANGLE FOR THIS SITE IS -0.137346".

MEASURED DISTANCES SHOWN HEREON ARE GRID DISTANCES IN U.S. FEET. TO OBTAIN GROUND DISTANCES, MULTIPLY GRID DISTANCES BY 0.999995776.

DISCLAIMER NOTE:

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FLOOD ZONE INFORMATION

THE ENTIRE PROPERTY LIES WITHIN ZONE X, AN AREA OF 0.2% ANNUAL CHANCE OF FLOOD HAZARD PER FEMA PANEL NO. 06079C08130, EFFECTIVE DATE 11/16/2012.

LEGAL DESCRIPTION

LOT 101, TRACT MAP 1896, CITY OF MORRO BAY, AS FILED IN BOOK 17, PAGE 83, OF TRACT MAPS IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA.

BENCHMARK

TOP OF A 3" BRASS BENCH MARK DISK STAMPED "Q 1314 1977" (PID FV1103) SET ON A HEADWALL AT THE INTERSECTION OF MAIN STREET AND ATASCADERO ROAD (HWY 41). SET IN THE TOP AND 1 FOOT EAST OF THE END OF THE NORTH CONCRETE HEADWALL FOR A 28" CONCRETE PIPE CULVERT, 42 FEET NORTHEAST OF THE CENTER LINE OF THE STREET, 38.5 FEET NORTHWEST OF THE CENTER OF THE ROAD. (TCS#71)

ELEVATION = 25.74 FEET (NAVD 88)

TBM = FOUND NGL AND TAG "ICE 12545" AT THE SOUTHWESTERLY CORNER OF LOT 101 AS SHOWN ON MAP (TCS#103)

ELEVATION = 22.49 FEET (NAVD 88)

CDP - 2ND SUBMITTAL

DATE: 3/28/2017

DRAWN BY: DS

CHECKED BY: DS

SCALE: 1"=10'

REGISTERED PROFESSIONAL ENGINEER
DANIEL A. SOTELLO
NO. 81227
PRELIMINARY
CIVIL
STATE OF CALIFORNIA

NOTES AND DETAILS SHEET

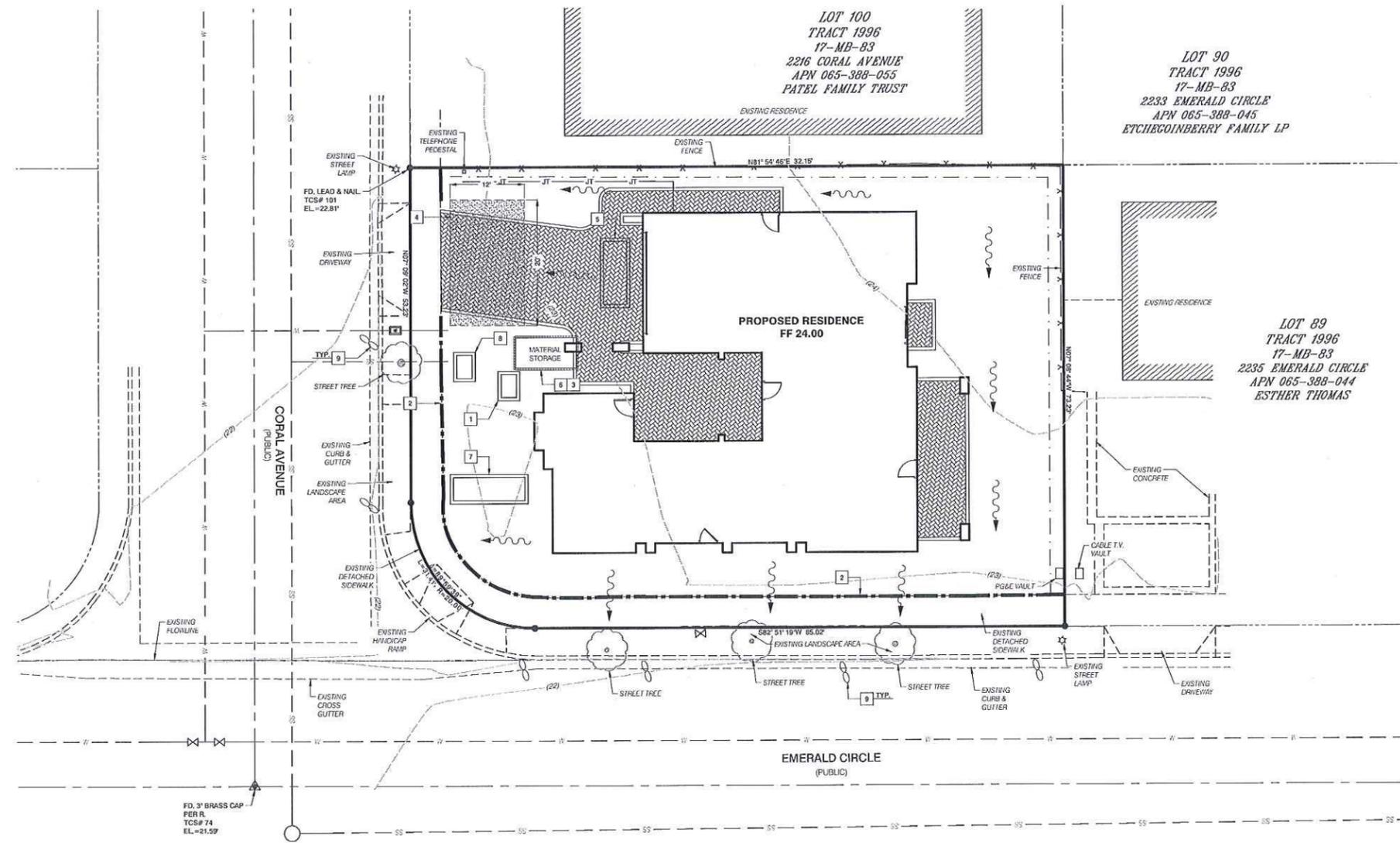
BARKER RESIDENCE
2214 CORAL AVENUE
MORRO BAY, CA
APN# 065-388-056

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SHEET 2 OF 4 SHEETS

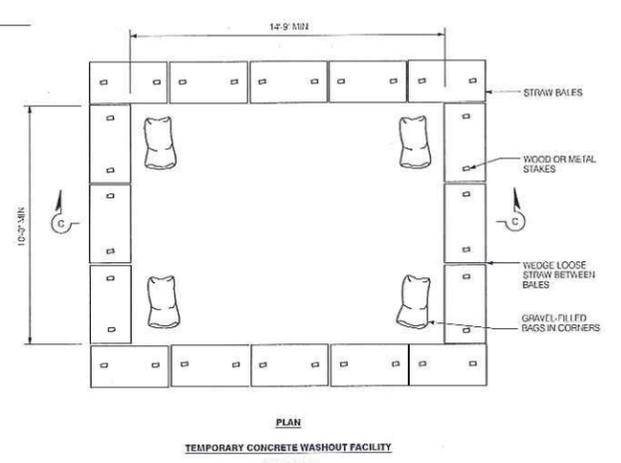
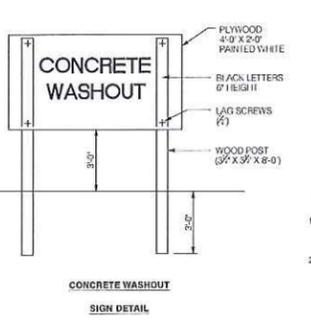
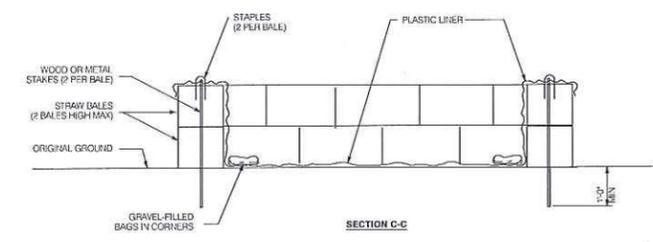
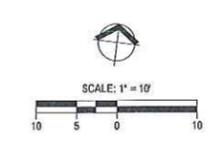
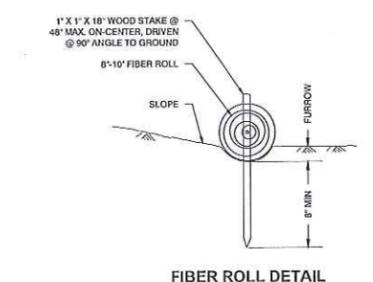
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EXHIBIT B



LEGEND

[Symbol]	PROPERTY BOUNDARY
[Symbol]	RIGHT OF WAY
[Symbol]	PROPERTY LINE
[Symbol]	SECTION LINE
[Symbol]	CENTER LINE
[Symbol]	EASEMENT
[Symbol]	EXISTING FACE OF CURB
[Symbol]	EXISTING LIP OF CURB
[Symbol]	EXISTING MAJOR CONTOUR LINE
[Symbol]	EXISTING MINOR CONTOUR LINE
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING EDGE OF SIDEWALK
[Symbol]	BUILDINGS
[Symbol]	CONCRETE
[Symbol]	BACK OF CURB
[Symbol]	FACE OF CURB
[Symbol]	CURB LIP
[Symbol]	FLOW LINE
[Symbol]	GRADE BREAK
[Symbol]	SAWCUT
[Symbol]	SIDEWALK
[Symbol]	SETBACK
[Symbol]	DRAINAGE FLOW DIRECTION



BEST MANAGEMENT PRACTICES:

1. TEMPORARY SOIL STABILIZATION (EROSION CONTROL)	
SCHEDULING	EC-1
PRESERVATION OF EXISTING VEGETATION	EC-2
HYDRAULIC MULCH	EC-3
HYDROSEEDING	EC-4
SOIL BINDERS	EC-5
STRAW MULCH	EC-6
GEOTEXTILES, PLASTIC COVERS, EROSION CONTROL BLANKETS/MATS	EC-7
WOOD MULCHING	EC-8
EARTH DIKES/DRAINAGE SWALES AND LINED DITCHES	EC-9
OUTLET PROTECTION/VELOCITY DISSIPATION DEVICES	EC-10
SLOPE DRAINS	EC-11
2. TEMPORARY SEDIMENT CONTROL	
SILT FENCE	SE-1
SEDIMENTATION BASIN	SE-2
SEDIMENT TRAP	SE-3
CHECK DAM	SE-4
FIBER ROLLS	SE-5
GRAVEL BAG BERM	SE-6
STREET SWEEPING AND VACUUMING	SC-07
SAND/BAG BARRIER	SE-8
STRAW BALE BARRIER	SE-9
STORM DRAIN INLET PROTECTION	SE-10
CHEMICAL TREATMENT	SE-11
3. WIND EROSION CONTROL	
WIND EROSION CONTROL	WE-1
4. TRACKING CONTROL	
STABILIZED CONSTRUCTION ENTRANCE/EXIT	TC-1
STABILIZED CONSTRUCTION ROADWAY	TC-2
ENTRANCE/OUTLET TIRE WASH	TC-3
5. MATERIAL, WASTE STORAGE AND/OR CLEANING ACTIVITIES	
MATERIAL USE	WM-2
STOCKPILE MANAGEMENT	WM-3
SPILL PREVENTION AND CONTROL	WM-4
PAVING AND GRINDING OPERATIONS	NS-03

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OR
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- EROSION CONTROL NOTES**
- INSTALL CONCRETE WASTE MANAGEMENT (WM-8) PRIOR TO THE PLACEMENT OF CONCRETE AND STUCCO, REFER TO WM-8 DETAIL, THIS SHEET
 - INSTALL FIBER ROLLS (SE-5) TO SLOW DRAINAGE AND TRAP SEDIMENT, PER FIBER ROLL DETAIL, THIS SHEET
 - MATERIAL DELIVERY AND STORAGE AREA, REFER TO CASQA WM-1
 - STABILIZED TRUCK ENTRANCE, REFER TO CASQA TC-1
 - MATERIAL WASTE DUMPSTER, DUMPSTER TO BE COVERED NIGHTLY AND PROTECTED FROM RAIN, REFER TO CASQA SD-32
 - STORAGE AREA FOR WASTE VEHICLES, SERVICE LOADING/UNLOADING OF MATERIALS, FUELING AND WATER STORAGE, REFER TO CASQA SD-34, WM-01
 - SOIL STOCKPILE AREA, REFER TO CASQA WM-03
 - PORTA-POTTIE AREA
 - INSTALL GRAVEL BAG CHECK DAMS, REFER TO CASQA SE-4

SITE DATA

API No. 065-388-056	ACREAGE: 0.21	ZONING: CR
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- NOTES:**
- EFFECTIVE SOIL COVER MUST BE PROVIDED ON ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND COMPLETED LOTS THAT ARE NOT SCHEDULED TO BE RE-DISTURBED FOR AT LEAST 14 DAYS.
 - ALL CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED SHALL BE COVERED AND BERMED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MONITORING THE APPROVED EROSION CONTROL AND SEDIMENTATION CONTROL PLAN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MONITORING CASQA BEST MANAGEMENT PRACTICES.
 - ACCESS ROADS WILL BE CLEANED DAILY IF NECESSARY AND PRIOR TO ANY RAIN EVENT.

CSP - 2ND SUBMITTAL

A 2/28/17

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EROSION CONTROL PLAN

BARKER RESIDENCE
2214 CORAL AVENUE
MORRO BAY, CA
APN # 065-388-056

DATE: 3/28/2017
DRAFTER: DS
CHECKED: DS
SCALE: 1"=10'

REGISTERED PROFESSIONAL ENGINEER
DANIEL A. SOTO
NO. 81227
CIVIL
STATE OF CALIFORNIA
3/28/2017

PRELIMINARY

SHEET
C3
SHEET 3 OF 4 SHEETS

XXXXXX

WM-8 - CONCRETE WASTE MANAGEMENT

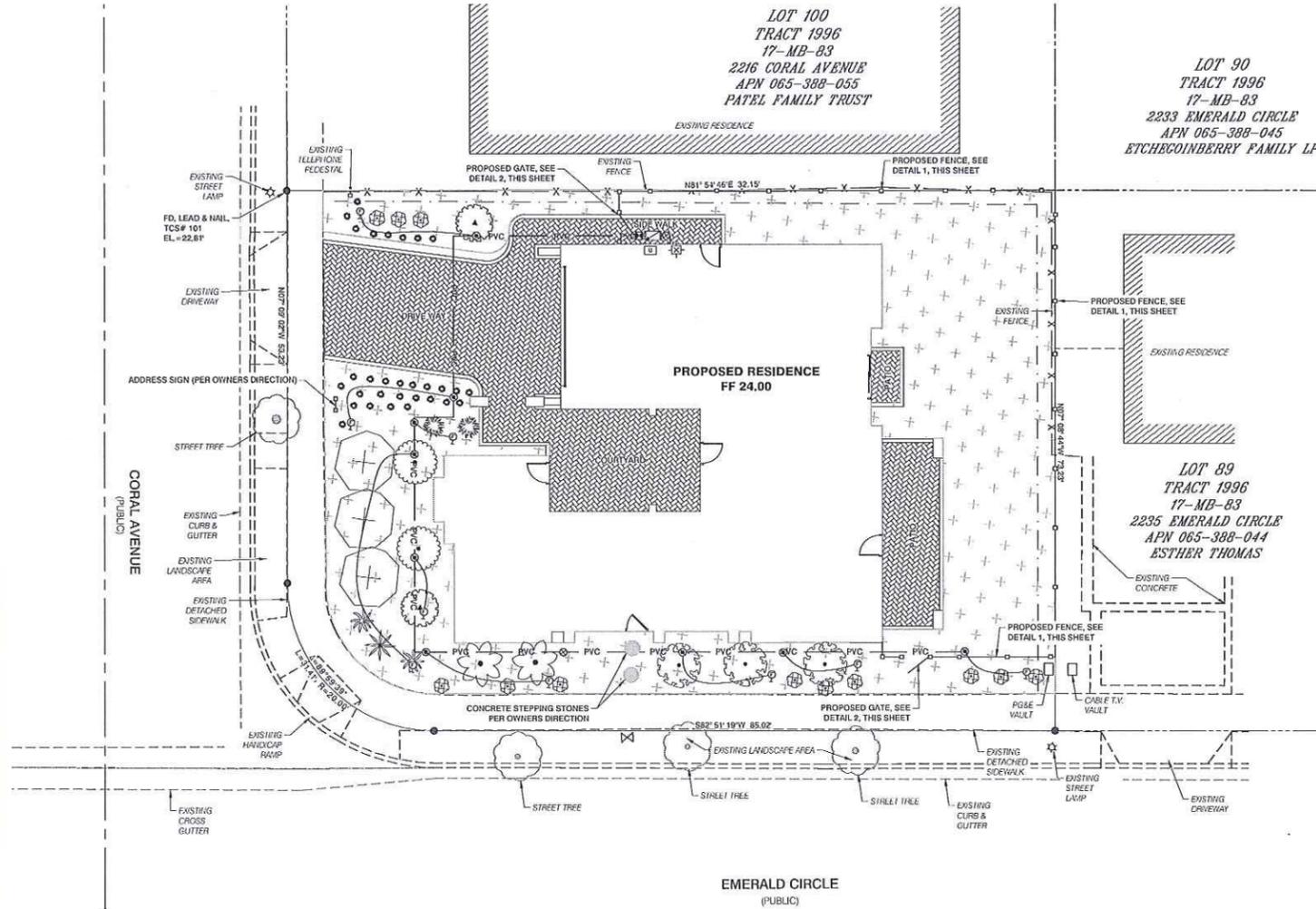
EXHIBIT B



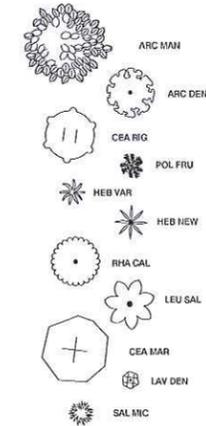
1 6' x 6' RED CEDAR W/ CHECKER LATTICE FENCE NTS



2 PERGOLA GATE NTS



SHRUB LEGEND



TREE LEGEND

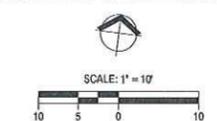


GRASS LEGEND



IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
H	RAIN BIRD XC2-075-PRF LOW FLOW DRIP CONTROL KIT, 3/4" LOW FLOW VALVE, 3/4" PRESSURE REGULATING RBY FILTER, AND 30 PSI PRESSURE REGULATOR, 0.2 GPM-5GPM
⊙	PIPE TRANSITION POINT TO DRIP BOX, PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER 6" DRIP BOX
⊕	HETAFTM1FV-1, AUTOMATIC FLUSH VALVE, WITH INSERT INLET
⊗	BUCKNER-SUPERIOR B401 BENT HOSE GARDEN VALVE, 3/4"x3/4" FEMALE NPT HOSE BIBB, RED BRASS
⊠	BEBCO 825Y 1" REDUCE PRESSURE BACKFLOW PREVENTER
⊞	RAIN BIRD ESP4-SMTE1 4 STATION INDOOR SMART MODULAR CONTROL SYSTEM FOR RESIDENTIAL AND LIGHT COMMERCIAL USE, WALL MOUNT, TIPPING BUCKET RAIN SENSOR THAT MEASURES RAINFALL
⊚	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE
— PVC —	IRRIGATION MAINLINE: 1" PVC CLASS 315 SDR 13.5
—	IRRIGATION LATERAL LINE: PBC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE, ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.
+	3" REDWOOD BARK GROUND COVER



PLANT INFORMATION

TREES	BOTANICAL NAME/COMMON NAME	CONT	HABIT HWX	WUCOLS
PIN PAR	PINUS PARVIFLORA 'GLAUCNA NANA' / DWARF JAPANESE WHITE PINE MELA LEUCA	5 GAL	6-10' X 3-5'	M
SHRUBS	BOTANICAL NAME/COMMON NAME	CONT	HABIT HWX	WUCOLS
ARC MAN	ARCTOSTAPHYLOS MANZANITA / DR HURD	5 GAL	12-16" X 10-15"	L
POL FRU	POLYGALA FRUTICOSA/PETITE BUTTERFLY	1 GAL	2-3' X 2-3'	M
ARC DEN	ARCTOSTAPHYLOS DENISFLORA / SENTINEL MANZANITA	5 GAL	3-4.5' X 3-6'	L
CEA RIG	CEANOTHUS RIGIDUS SNOWBALL / WHITE MONTEREY LILAC	5 GAL	1.5-3' X 3'-6"	L
HEB VAR	HEBE SPECIOSA 'VARIEGATA' / VARIEGATED HEBE	1 GAL	2-3' X 2-3'	M
HEB NEW	HEBE SPECIOSA / NEW ZEALAND HEBE	1 GAL	3-4' X 3-4'	M
SAL NIC	SALVIA MICROPHYLLA 'HOT LIPS' / HOT LIPS SAGE	1 GAL	2-3' X 2-3'	UNKNOWN
LEU SAL	LEUCADENDRON SALICIFOLIUM 'BLUSHY' / WILLOW COKE BUSH	5 GAL	3-5' X 4-6'	L
CEA MAR	CEANOTHUS MARITIMUS / MARITIME MOUNTAIN LILAC	1 GAL	3-3' X 3-3'	L
RHA CAL	RHAMNUS CALIFORNICA EYE CASE / EYE CASE	1 GAL	3-4.5' X 3-6'	L
LAV DEN	LAVANDULA DEHITATA / FRENCH LAVENDER	1 GAL	2-3' X 1.5-2'	L
GRASS	BOTANICAL NAME/COMMON NAME	CONT	HABIT HWX	WUCOLS
FES GLA	FESTUCA GLAUCA 'ELIJAH BLUE'	1 GAL	H<1' X 1-2'	L

HYDROZONE INFORMATION TABLE

HYDROZONE#	HYDROZONE DESCRIPTION	PLANT WATER USAGE	IRRIGATION TYPE	AREA (S.F.)	%LANDSCAPE AREA
ZONE 1	TOTAL LANDSCAPE AREA DROUGHT TOLERANT SHRUB PLANTING	LOW WATER USE PLANTS	DRIP	1,453	100%
				1,453	100%

ETWU ESTIMATED TOTAL WATER USE

EQUATION: ETWU = ETO X 0.62 X [(PF X HA)/IE + SLA]; CONSIDERING PRECIPITATION ETWA = (ETO-EPPT) X 0.62 X [(PF X HA)/IE + SLA]

IRRIGATION EFFICIENCY (IE) DEFAULT VALUE FOR OVERHEAD IS 0.75, AND FOR DRIP IS 0.81

PLANT WATER USE TYPE	PLANT FACTOR (PF)
VERY LOW - VL	0-0.1
LOW - L	0.2-0.3
MEDIUM - M	0.4-0.6
HIGH - H	0.7-1.0
SLA	1.0

HYDROZONE	IRRIGATION TYPE	PLANT WATER USE TYPE(S) (VL,LM,M)	PLANT FACTOR (PF)	HYDROZONE AREA (HA) SF WITHOUT SLA	IRRIGATION EFFICIENCY (IE)	(PF X HA (SF))/ IE
ZONE 1	DRIP	L	0.30	1,453	0.81	538
TOTAL:				1,453		538

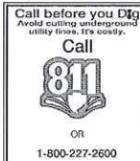
RESULTS	MAWA = GALLONS	ETWU = GALLONS	ETWU COMPLIES WITH MAWA
			CF

WATER CALCULATIONS FOR NEW REHABILITATED RESIDENTIAL LANDSCAPES

MAWA MAXIMUM APPLIED WATER ALLOWANCE

CITY:	MORRO BAY
CITY ETO:	39.9 INCHES/YEAR
OVERHEAD LANDSCAPE AREA:	0
DRIP LANDSCAPE AREA:	1,453 SF
SPECIAL LANDSCAPE AREA (SLA)	0 SF
TOTAL LANDSCAPE AREA:	1,453 SF

RESULTS:
MAWA = (ETO) X (0.62) X [(0.55 X LA) + (1.0 - 0.55) X SLA] = GALLONS
CF



DISCLAIMER NOTE:

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

CDP - 2ND SUBMITTAL

3/28/2017

DATE: 3/28/2017

DESIGNER: DS

CHECKED: DS

SCALE: 1" = 10'

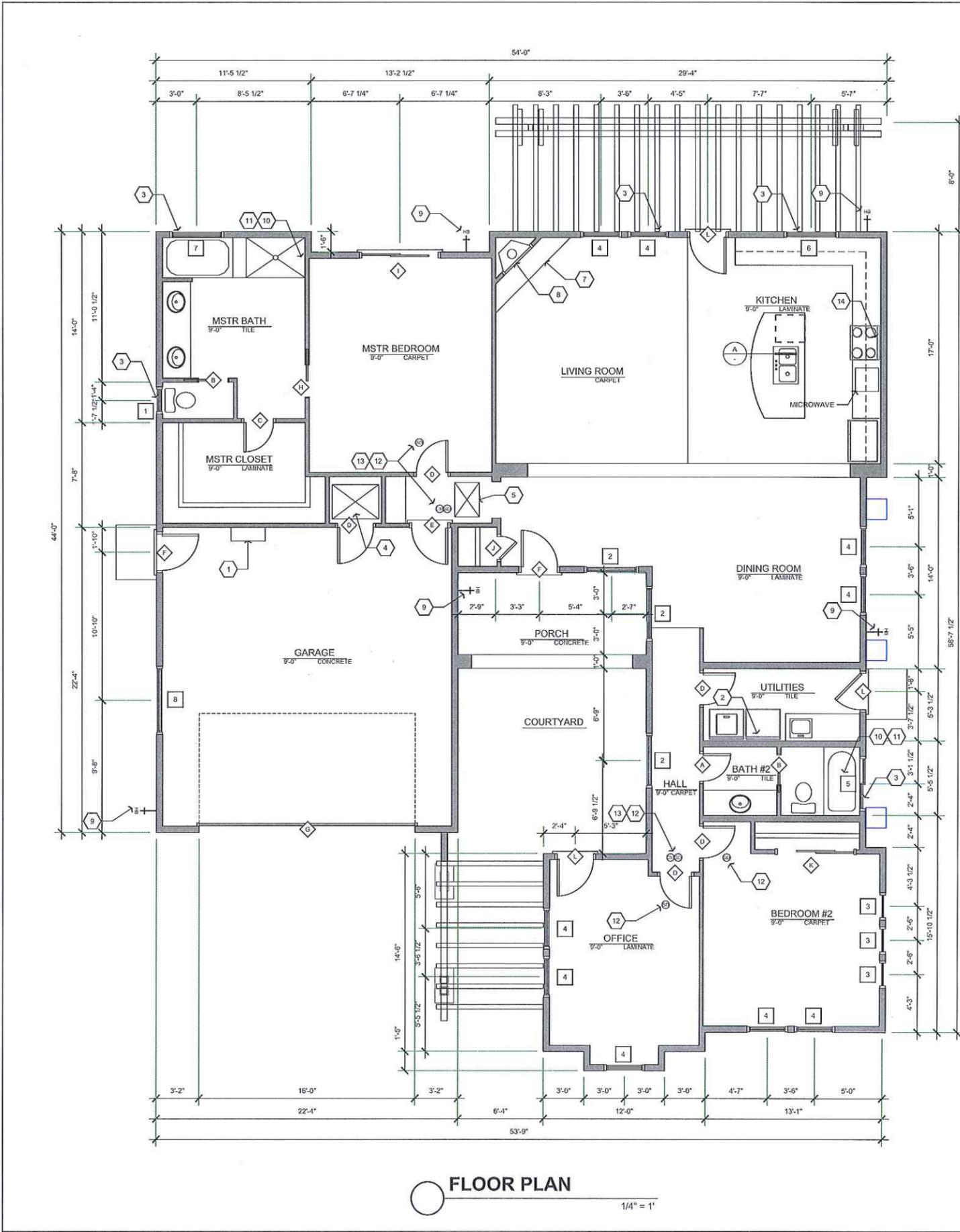
LANDSCAPE AND IRRIGATION PLAN

BARKER RESIDENCE
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MORRO BAY, CA
APN # 065-388-056

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SHEET C4 OF 4 SHEETS

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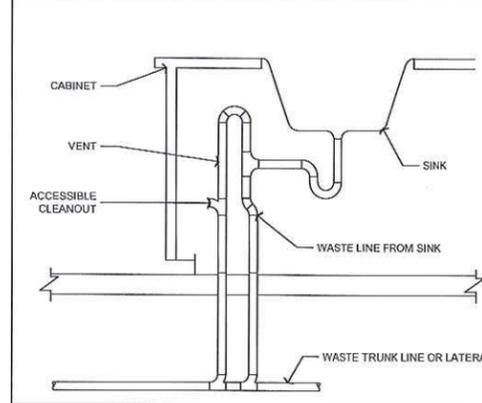


FLOOR PLAN
1/4" = 1'

FIXTURE FLOW RATE REQUIREMENTS:

THE FOLLOWING FIXTURES SHALL BE OF WATER CONSERVATION:
RESIDENTIAL:
 WATER CLOSETS: 1.28 GALLON PER FLUSH MAXIMUM
 SHOWER HEAD FLOW: 2.0 GALLON PER MINUTE AT 80 PSI
 LAVATORY / SINK FIXTURE: 1.5 GALLON PER MINUTE AT 80 PSI
 KITCHEN FAUCETS: 2.2 GALLON PER MINUTE AT 80 PSI

NON COMPLIANT FIXTURES MEANS ANY OF THE FOLLOWING:
RESIDENTIAL:
 ANY TOILET MANUFACTURED TO USE MORE THAN 1.6 GAL OF WATER PER FLUSH.
 ANY SHOWER HEAD MANUFACTURED WITH 2.5 GALLONS PER MINUTE.
 ANY INTERIOR FAUCET THAT EMITS MORE THAN 2.2 GALLONS PER MINUTE.



A ISLAND VENT DETAIL

FLOOR PLAN CALLOUTS

- INSTANT TANKLESS GAS WATER HEATER SHALL BE NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED AS PART OF THEIR LISTING. THE GAS PIPING SERVING THIS APPLIANCE MUST BE SIZED IN COMPLIANCE WITH THE WATER HEATER'S LISTED INSTALLATION INSTRUCTIONS AND THE 2015 CALIFORNIA PLUMBING CODE. CRC R108.1. ON DEMAND RETICULATING SYSTEM SHALL BE INSTALLED.
- VENT DRYER TO EXTERIOR THRU ROOF. MAXIMUM ALLOWABLE RUN SHALL NOT EXCEED 14'-0" WITH A MAXIMUM OF 2 TURNS.
- SAFETY GLAZING REQUIRED BUT NOT LIMITED TO GLAZING IN FIXED PANELS ADJACENT TO A DOOR WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE WALKING SURFACE. CBC SECTION 2406.3 ALSO WITHIN 18" OF FLOORS, WITHIN TUB-SHOWER ENCLOSURES, WITHIN HOT-TUB WHIRLPOOL, SAUNA AND STEAM ROOM AND WITHIN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
- F.A.U. IN ATTIC. PROVIDE SWITCH, LIGHT, AND OUTLET NEAR ACCESS AND UNIT.
- PROVIDE 30" X 30" ATTIC ACCESS TO MECHANICAL UNIT. A 22" X 30" ACCESS OPENING CAN BE USED IF A LETTER FROM THE MANUFACTURER STATING THAT ALL COMPONENTS OF F.A.U. UNIT CAN FIT THROUGH AN OPENING OF THAT SIZE. ACCESS TO BE WITHIN 20" OF F.A.U. AND HAVE A CONTINUOUS 24" WIDE WALKWAY. ALSO PROVIDE 30" CLEAR UNOBSTRUCTED WORKING SPACE IN FRONT OF F.A.U.
- AIR CONDENSING UNIT ON CONCRETE PAD. PROVIDE 5'-0" MINIMUM CLEAR PASSAGE AROUND UNIT.
- 18" DEEP NON-COMBUSTIBLE HEARTH IN FRONT OF AND 12" BEYOND FIREPLACE OPENING.
- NAPCOLEAN VECTOR 45 GAS FIREPLACE (SEE A17 ARCHD BROCHURES & DOCUMENTATION)
- ALL HOSE BIBS TO HAVE NON-REMOVABLE BACKFLOW PREVENTION DEVICES PER CPC 683.3.7 INDIVIDUAL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE ARE REQUIRED AT THE SHOWERS AND TUB-SHOWER COMBINATION PER CPC 420.
- SHOWERS AND WALLS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN INLET. CBC 1210.3
- SMOKE DETECTORS HARDWIRED AND INTERCONNECTED TO ONE ANOTHER. PROVIDE BATTERY BACKUP TO ALL SMOKE DETECTOR UNITS (TYP). CBC 907.2.10.2 A SINGLE ALARM SHALL ACTIVATE ALL ALARMS AND BE CLEARLY AUDIBLE. CBC 907.2.10.3
- AN APPROVED CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. DETECTOR SHALL BE HARDWIRED WITH A BATTERY BACKUP. CRC R314.1.
- EACH KITCHEN SHALL HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM. THE DUCTING SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.

WINDOW SCHEDULE

SYML	QTY.	SIZE	NOTES
1	1	2038	SINGLE HUNG (LIPP)
2	3	4250	SINGLE HUNG
3	3	2038	FIX
4	9	3650	SINGLE HUNG
5	1	4015	GLIDER TEMP
6	1	4015	SINGLE HUNG
7	1	4015	SINGLE HUNG
8	1	5040	SINGLE HUNG

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENING WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR GLASS BLOCK UNITS OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES

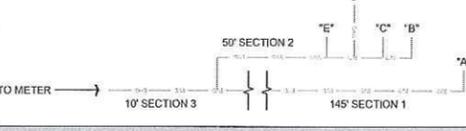
DOOR SCHEDULE

SYML	QTY.	SIZE	NOTES
A	1	2480	INT
B	2	2480	PKT
C	1	2480	INT
D	5	2480	INT
E	1	3080	SOLID CORE SELF CLOSING
F	2	3080	EXT.
G	1	16'-0" x 6'-0"	GARAGE DOOR
H	1	2480	PKT
I	1	6280	SLIDING GL.
J	1	2480	INT
K	1	6080	CLOSET
L	3	3080	GLASS DOOR

GAS LINE SIZES

GAS LINE SIZES FOR THIS PROJECT PER CPC 2010 CHAPTER 12 TABLE 1216.2(19) ARE AS FOLLOWS:

- OUTLET A- W/H (185,000 BTU / 1100 BTU/CFH) = 168.2 CFH) = 145" X 1 1/2"
- SECTION 1 = 145" X 1 1/2" FROM OUTLET B TO METER (181.44 CFH) = 75" X 1"
- OUTLET B- W/H (185,000 BTU / 1100 BTU/CFH) = 168.2 CFH) = 75" X 1"
- OUTLET C- DRYER (35,000 BTU / 1100 BTU/CFH) = 31.81 CFH) = 70" X 3/4"
- OUTLET D- OVEN (65,000 BTU / 1100 BTU/CFH) = 59 CFH) = 75" X 3/4"
- OUTLET E- F.A.U. (40,000 BTU / 1100 BTU/CFH) = 36.36 CFH) = 165" X 1/2"
- SECTION 2 = 50" X 1 1/2" FROM OUTLET F TO METER (285.37 CFH)
- TOTAL BTU = 476.81 CFH
- SECTION 3 = 50" X 1 1/2" FROM METER TO SPLIT OF LINE TO GARAGE (476.81 CFH)



CONT. WHOLE BUILDING VENTILATION RATE

PER TABLE 4-7 2008 RESIDENTIAL COMPLIANCE MANUAL
 1400 SQ. FT. WITH 3 BDRMS
 $Q_{fan} = 0.03(1958) + 7.5(3+1)$
 $Q_{fan} = 58.74 + 7.5(4)$
 $Q_{fan} = 58.74 + 30$
 $Q_{fan} = 88.74 CFM$
 CONTINUOUS FAN FLOW REQUIRED (CFM) = 88.74 CFM
 USE 5" MIN DUCT, 70' ALLOWED FOR FLEX DUCT - 105' ALLOWED FOR SMOOTH DUCT. DEDUCT 15' OF ALLOWABLE DUCT LENGTH FOR EACH TURN, ELBO, OR FITTING.
BATH FAN NOTE:
 A BATHROOM IS DEFINED AS ANY ROOM CONTAINING A BATHTUB, A SHOWER, A SPA, OR SIMILAR SOURCE OF MOISTURE. EACH BATHROOM IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 50 CFM. THE DUCTING FOR THE EXHAUST FAN SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2, TABLE 7.1.
SOUND RATING AND CONTINUOUS OPERATION:
 THE WHOLE BUILDING VENTILATION EXHAUST FAN WILL OPERATE CONTINUOUSLY, AND IS REQUIRED TO BE RATED FOR SOUND AT A MAXIMUM OF 1 SONE. THIS EXHAUST FAN CAN BE CONTROLLED BY A STANDARD ON/OFF SWITCH, BUT THE SWITCH MUST BE LABELED TO INFORM THE HOME OCCUPANT THAT THE EXHAUST FAN IS THE WHOLE-BUILDING VENTILATION EXHAUST FAN THAT IS INTENDED TO RUN CONTINUOUSLY. NO SPECIFIC WORDING IS MANDATED, BUT THE WORDING NEEDS TO MAKE CLEAR WHAT THE CONTROL IS FOR AND THE IMPORTANCE OF OPERATING THE SYSTEM THIS MAY BE AS SIMPLE AS "VENTILATION CONTROL" OR MIGHT INCLUDE WORDING SUCH AS: "OPERATE WHEN THE HOUSE IS IN USE" OR "KEEP ON EXCEPT WHEN GONE OVER 7 DAYS" OR FAN IS TO BE LEFT ON TO INSURE INDOOR AIR QUALITY".



PLAN PREPARED FOR:
BARKER RESIDENCE

REVISION LOG		
REV.	DESCRIPTION	DATE

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PROJECT NO. —
 FILE NAME: A-2.1 FLOOR PLAN.DWG
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 DATE: 3/31/2017 10:18 AM
 SHEET TITLE:
FLOOR PLAN

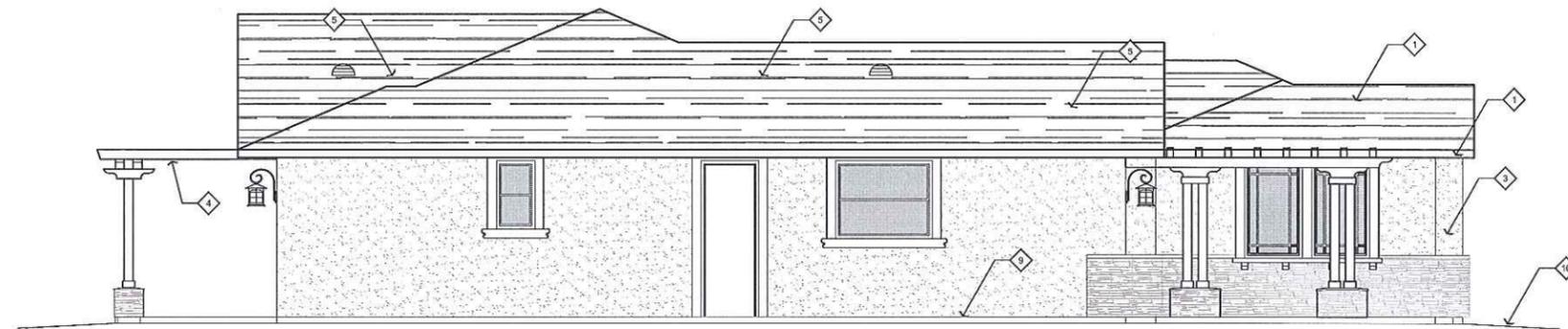
SHEET NUMBER:
A-2.1

EXHIBIT B



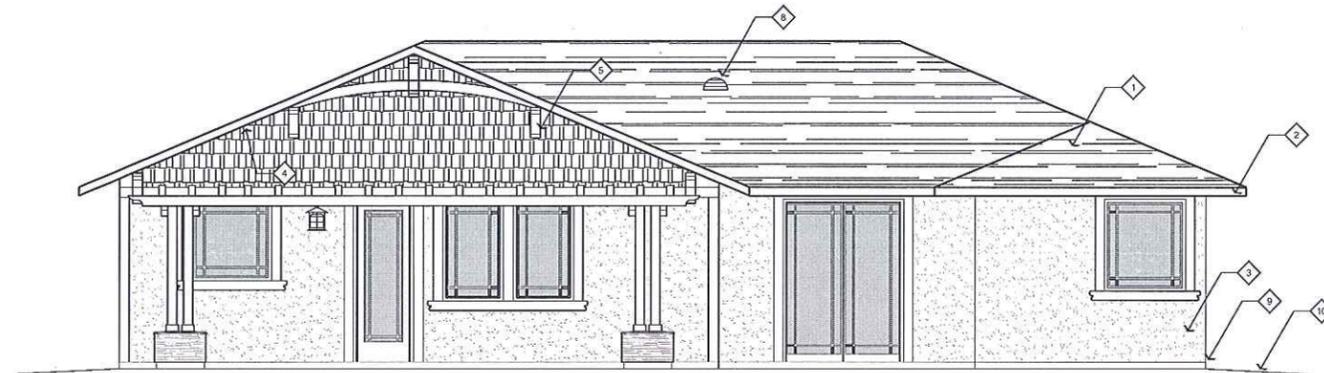
LEFT ELEVATION

1/4" = 1'



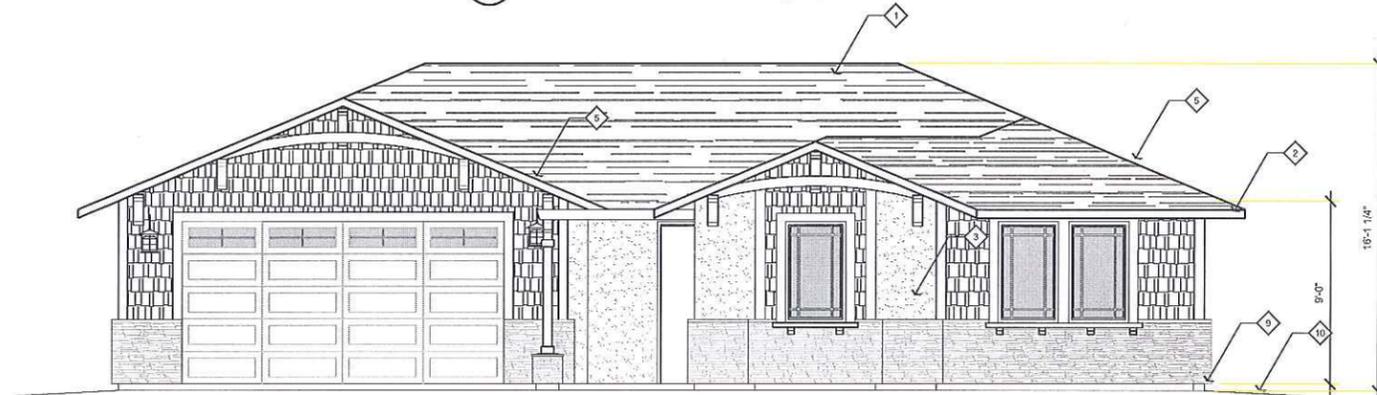
RIGHT ELEVATION

1/4" = 1'



REAR ELEVATION

1/4" = 1'



FRONT ELEVATION

1/4" = 1'

ELEVATION CALLOUTS

1. FLAT TILE ROOFING OVER 3/8" MINIMUM ROOFING FELT (TYP) OVER 5/8" PLYWOOD SHEATHING W/ 8 @ 6'-6"-12" (TYP)
2. 2 X 8 HEM FIR FASCIA (TYP)
3. 7/8" CEMENT PLASTER O/ 3/4" RIBBED LATH AND APPROVED BUILDING PAPER O/ 5/8" PLYWOOD SHEATHING W/ 8 @ 6'-9"-12" ON HOR. SURFACE OF EXTERIOR (TYP)
4. NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL ON EXPOSED UNDERSIDE. WHERE EXPOSED, WOOD SHALL BE FIRE RETARDANT-TREATED
5. VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.016" (NO. 76 GAI V. SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT OF 1 LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF VALLEY
6. 24 GAUGE GI FLASHING @ ALL ROOF TO WALL CONNECTIONS (TYP)
7. CHIMNEY CAP AND SPARK ARRESTOR PER CBC 2802. ICBO APPROVED CHIMNEY CAP/SHROUD. SUBMIT APPROVED DOCUMENTATION TO ARCHITECTURAL DESIGNER AND BUILDING OFFICIALS FOR APPROVAL PRIOR TO INSTALLATION
8. ATTIC VENTILATION CALCULATIONS: HOUSE ATTIC AREA = 1632 SQ FT
REQUIRED ATTIC VENTILATION = 1632 / 300 = 5.44 SQ. FT. = 784 SQ. IN.
USE 20 LINEAL FEET OF COR-A-VENT V600 (OR EQUAL) (NFVA = 20) = 400 SQ. IN.
USE (18) 22"x3.5" UNDER EAVE VENTS (NEVA = 22) = 405 SQ. IN.
USE BRANDGUARD VENTS OR APPROVED EQUAL TO RESIST INTRUSION OF FLAME & EMBER INTO ATTIC AREA.
9. 24 GA. WEEP SCREED FLASHING AT BASE OF CEMENT PLASTER AND INSTALLED PER CBC2512.1.2. WEEP SCREED SHALL BE CORROSION RESISTANT WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2" AND SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE. THE SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE THE EARTH GRADE AND 2" MINIMUM ABOVE PAVED SURFACE
10. SLOPE AWAY FROM BUILDING 5% FOR 10'-0" MINIMUM (TYP)

SECTION NOTES

BUILDING INSULATION:	
EXTERIOR WALL:	R-21 MINIMUM(TYP)
CEILING:	R-38 MINIMUM(TYP)
INTERIOR FINISH MATERIAL:	
FLOOR:	1/2" GYPSUM BOARD
CEILING:	5/8" GYPSUM BOARD (GARAGE WALLS & CEILING USE 5/8" TYPE "X" BOARD AND FOR USABLE AREA UNDER STAIRS)
WALL FRAMING:	
EXTERIOR WALLS:	2X6 STUD WALLS @ 16" O/C
INTERIOR WALLS:	2X4 STUD WALLS @ 16" O/C



DRAFTING & DESIGN
CAD DESIGN - AS BUILTS
RESIDENTIAL PLANS
610 10TH ST. SUITE "D"
PASO ROBLES, CA
93446
BUS. # (805) 237-0850
FAX # (805) 237-0480

PLAN PREPARED FOR:

BARKER RESIDENCE

REVISION LOG

REV.	DESCRIPTION	DATE

These drawings are the exclusive property of J.B. drafting and design and shall be used solely for the purpose of this project on this site. Any use other than the project upon which it is intended for without the written consent of J.B. drafting and design and John M. Butler II is prohibited.

PROJECT NO. —
FILE NAME: A-3.1 ELEVATIONS.DWG
DRAWN BY: JJK
DATE: 3/31/2017 10:18 AM

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:

A-3.1

EXHIBIT B



STREET VIEW RENDERING - CORAL AVE

RECEIVED

APR 08 2017

City of Morro Bay
Community Development Dept.



EXHIBIT B

STREET VIEW RENDERING - EMERALD CIR

ELDORADO STONE

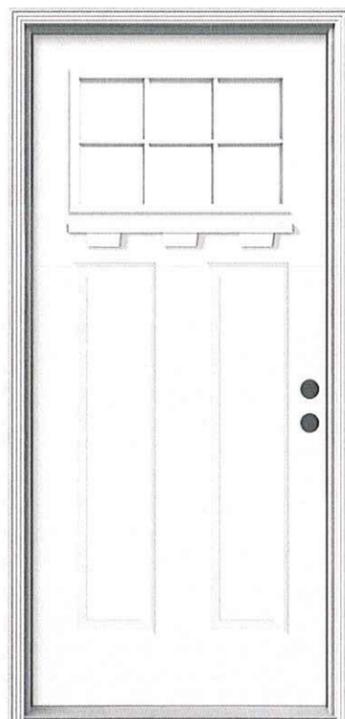
Home » Products » Stone » Cliffstone®

CLIFFSTONE®



Explore countless design options with this contemporary, versatile profile that gracefully complements a variety of modern looks with refined, flat-planned faces and distinctive textural details.

LEDGE STONE



DOOR STYLE



DIMENSIONAL SHINGLE ROOFING MATERIAL



Home Decorators Collection
Brimfield 1-Light Aged Iron
Outdoor Wall Lantern

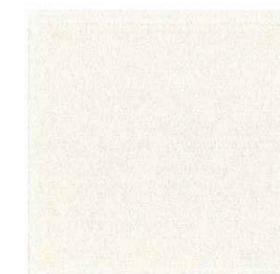
LIGHTING STYLE



HardieShingle® Siding
STRAIGHT EDGE PANEL



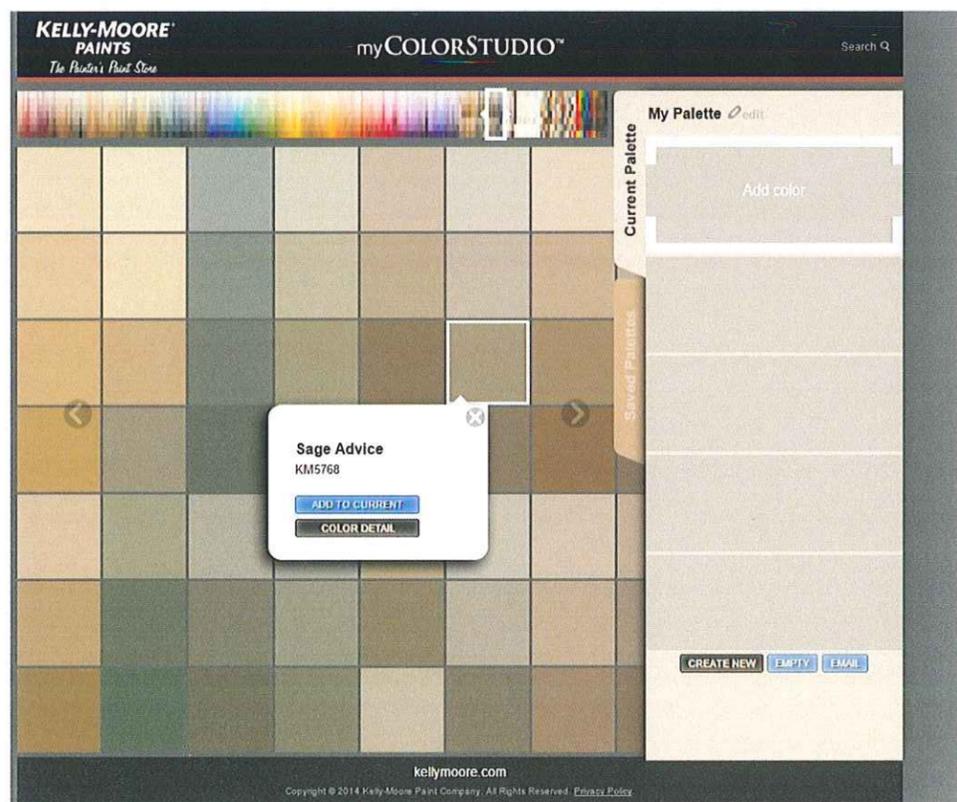
SIDING STYLE



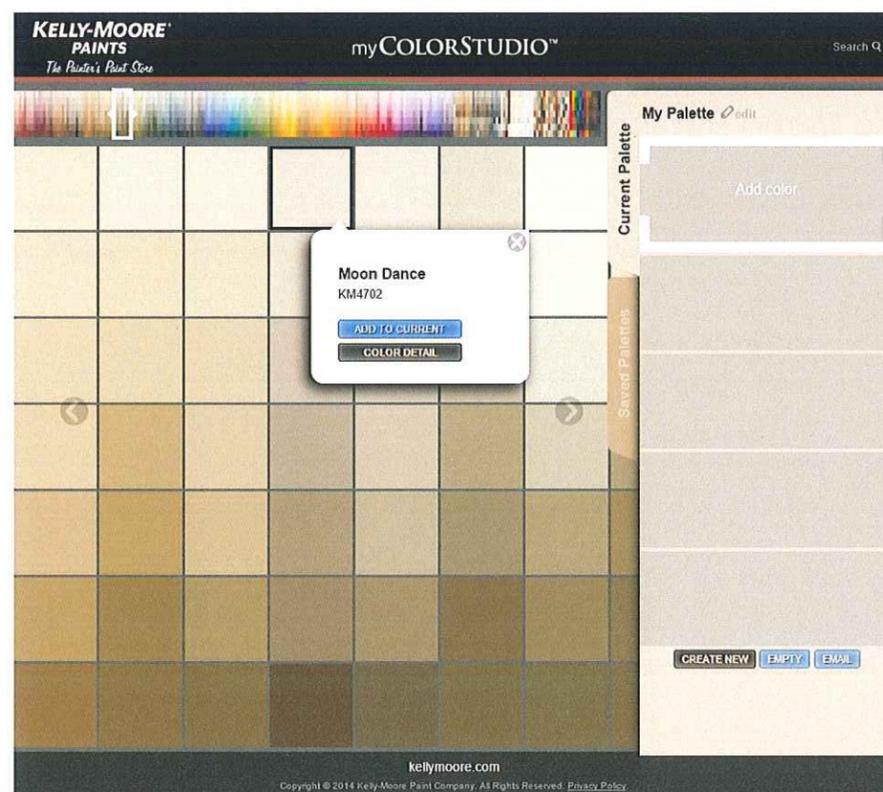
Mesa Verde
215 (48)
Base 200

LaHabra® STUCCO SOLUTIONS FROM SCRATCH TO FINISH

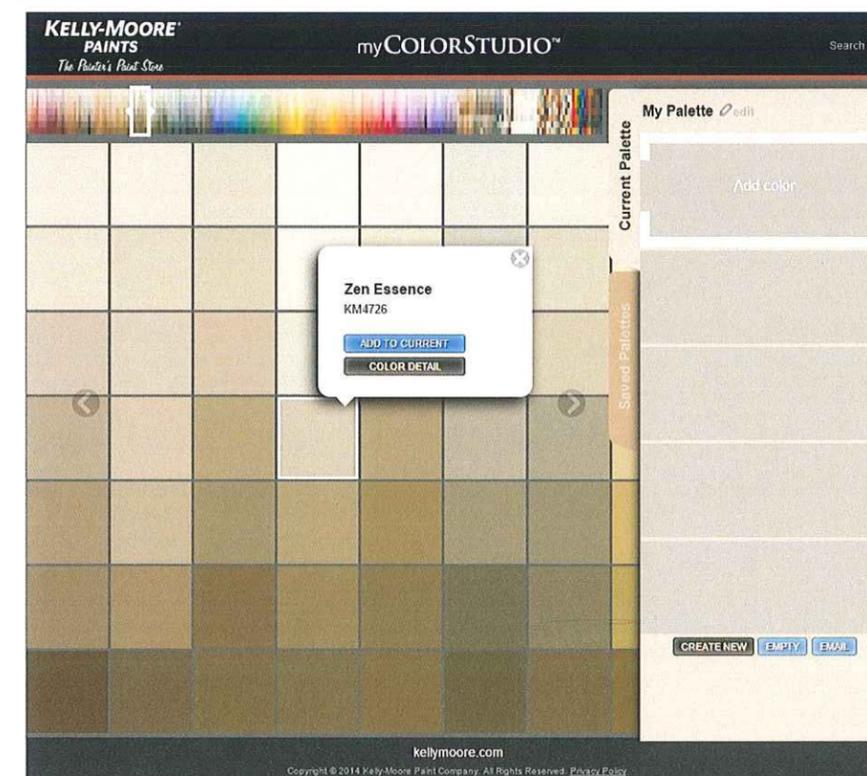
STUCCO COLOR



TRIM COLOR - KM5768



ACCENT COLOR - KM4702



STUCCO AND SIDING COLOR - KM4726

Cloisters Architectural Review Committee

February 20, 2017

Bill and Donna Barker
391 Sequoia St., Apt. 9
Morro Bay, CA. 93442

RECEIVED

APR 03 2017

City of Morro Bay
Community Development Dept.

**RE: New Single Family Residence
2214 Coral Ave.
The Cloistes of Morro Bay
Morro Bay, CA. 93442**

Dear Mr. and Mrs. Barker

Please accept this letter as notification for the approval of the revised plans and exhibits of the proposed new single family residence at 2214 Coral Ave., at the Cloisters of Morro Bay.

We have reviewed the revised plans developed by Engineering Design Professional, Inc., dated 1/16/2017, and have found that the proposed design revisions are in satisfactory compliance to the standing and approved Cloisters Design Guidelines. This approval also states the following as conditions of approval to the proposed and submitted design:

1. That the architectural review committee be notified at the time of final occupancy to verify that the completed project complies with the approved plans.
2. That the proposed design, to include the recent revisions, be constructed in accordance to the approved plans.
3. That the architectural review committee be notified of any modifications or revisions to the approved plans, prior to any installation or construction of the same.

Should you have any questions, regarding this review or approval, please contact me at your convenience.

Sincerely,

Craig R. Smith

Craig R. Smith, AIA
Architectural Design Consultant to the Cloisters Architectural Review Committee
c/o CRSA Architecture
890 Monterey Street, Suite A, San Luis Obispo, CA. 93401
805 544-3380 x 202 | crsa@craigsmithaia.com



AGENDA NO: C-1

MEETING DATE: June 6, 2017

Staff Report

TO: Planning Commission **DATE:** May 31, 2017
FROM: Rob Livick, PE/PLS – Public Works Director/City Engineer
Damaris Hanson, Environmental Program Manager
SUBJECT: 2016 Annual Water Report and recommendation for allocation of Water Equivalency Units (WEUs) for 2017

RECOMMENDATION

Staff recommends the Commission receive and provide comments on the presentation summarizing the annual water report and allocation of the 2017 Water Equivalency Units:

1. Review the updated City water supply portfolio and provide input for the 2017 WEU allocation and off-set programs. Staff recommends the two-to-one offset for a WEU be suspended due to the City receiving its full allocation of State Water Supply and the Governor rescinding the emergency drought declaration.
2. Provide recommendation to City Council to allocate the 73 Water Equivalency Units (WEUs) for 2017
3. Provide a recommendation to City Council to modify water conservation requirements to moderately restricted from severely restricted supply conditions.

ALTERNATIVES

As an alternative to authorizing development that creates new WEUs, Council could place a moratorium on the establishment of any new WEU until such time the City develops a new WEU program based on current water supplies.

FISCAL IMPACT

There are no fiscal impacts directly associated with the allocation of the WEUs. Staff prepares the annual water report and makes the recommendation on the authorization of WEUs as a routine annual task. Although, a moratorium on new WEUs would reduce the amount of revenue the City receives through building and planning fees, property taxes, sales taxes, and other property related revenues.

BACKGROUND

Pursuant to Morro Bay Municipal Code (MBMC) Section 13.20.060, the Annual Water Report has been prepared by the Public Works Department and forwarded to the Public Works Advisory Board and Planning Commission for review and consideration. This report describes the uses that have received water equivalency allocations in 2016 (Table 1) as indicated by City Council Resolution No. 06-16. That Resolution indicates the City Council

Prepared By: DH

Dept Review: RL

would continue to set an annual limit on residential units and their mix as set forth in Ordinance 266 (Attachment 7). In addition, the report provides a snapshot of the City’s population and remaining WEU allocations (Table 2) *Note: the population used in this report and for water conservation differ due to the different ways the regulating agencies require the reporting*, water production (Table 3), per capita water use trends (Table 4), and water loss estimates (Tables 5 & 6).

DISCUSSION

Water Conservation

Statewide Conservation Requirements: In 2014, Governor Jerry Brown declared an emergency due to drought conditions. That declaration called for a voluntary 20-percent reduction in water consumption. In May 2015, the State imposed additional water conservation requirements. The statewide conservation goal was to reduce water production 25-percent over 2013 values. That 25-percent requirement was tiered based on existing water usage. The tiers ranged from a low of 8-percent to a high of 36-percent reduction. Morro Bay was required to reduce water production by 12-percent. On May 18, 2016, the State Water Board adopted a statewide water conservation approach that allowed urban water suppliers to replace their prior state-assigned percentage target reduction with a localized “stress test” approach based on a showing of whether the urban water supplier has at least three-years of water supply under extended drought conditions.

On April 7, 2017 Governor Jerry Brown lifted the drought emergency. The State Water Resources Control Board will continue to require reporting requirements and prohibitions on wasteful practices such as watering during or after rainfall, hosing off sidewalks and irrigating ornamental turf on public street medians. Governor Brown has stated “Conservation must remain a way of life”.

Local Conservation Requirements: In January 2014, the City implemented Mandatory Water Conservation Requirements for Severely Restricted Water Supply Conditions. In 2015, the City reduced its overall water consumption to 92 gallons per person per day. That is an overall consumption rate that amalgamates the total City’s water consumption divided by the total population. In June 2016, Morro Bay completed the “stress test” and reduced our mandatory water conservation requirements from 12% to 0%. Over 83% of the State had 0% conservation after the stress test was completed. From 2014 to the present the City’s water conservation rate has continue to decrease.

Year	% Reduction Compared to 2013
2014	8%
2015	13.50%
2016	21%

Water Supply Options

In April, the California Department of Water Resources (DWR) informed the State Water Project (SWP) contractors the allocation for 2017 would be 85-percent of the contracted

amount. This allocation in combination with the drought buffer is available to make up the difference between delivery requests and demand. Therefore, the City will be receiving 100-percent of the State water Requested for 2017 (1040 ac-ft).

The City's other sources of water are constrained, by a variety of water quality, and permitting issues. To use the Chorro Valley wells stream flows in Chorro Creek must exceed 1.4 cfs per the City's water rights license/permit; additionally, water pumped from those wells are high in nitrates and cannot be used without treatment or blending. The City would need to perform upgrades to the water system in order to treat this water from the Chorro Valley. The Morro Valley wells are also high in nitrates and are treated at the City's Water Treatment Plant (Brackish Water Reverse Osmosis (BWRO) to remove nitrates. The sea water wells, outfall and associated piping components were recently re-permitted with a permanent Coastal Development Permit after the previous permit expired. This permit only allows the City to use the Salt water wells, associated pumping and outfall on an emergency basis and only up to 645 ac-ft per year, typically that emergency occurs when State Water is not available.

Water Management Planning

The next update of the City's Water Management Plan will occur over the next 9-12 months in order to inform the General Plan and Local Coastal Plan regarding the availability of resources needed to build out and through the Council approved contract to prepare a OneWater Plan. The OneWater concept is to view all the City's water resources (Potable, Waste and Storm) holistically so the community can understand the complete water resources picture. The plan will use the so called triple bottom line approach so all three aspects (social, environmental and financial) of water resources planning are addressed. The OneWater plan will also reevaluate and assess the WEU program based on our current and projected water supply conditions.

Potable Water Production Data

As shown in Table 3, for calendar year 2016 no water was extracted from City's Chorro and Morro Basins for direct distribution into the water supply, 958 acre-feet were delivered from the State Water Project (SWP), and 36 acre-feet of treated Morro Basin well water from the BWRO treatment plant. Table 3 shows the total water production for this year was 1018 acre-feet, which is a reduction of 94 acre feet from 2015, and a 757 acre-foot per year reduction from a high of 1751 acre-feet in 1980.

Table 4 provides an historical record of water production and use from 1960 through 2016. Beginning in 1997, per capita water use has been re-calculated, based upon the amount of water delivered to customers (metered/sold) rather than gross production, to closely reflect actual community consumption practices.

Table 5 shows the calculations for each year's un-metered and unaccounted water loss. The City's water loss for 2016 is 1.8%. Table 6 provides the history of unaccounted water loss from 1985 through 2016. Due to the City's proactive maintenance, including a proactive leak detection and repair program, unaccounted water loss continues to be less than five percent.

History of the WEUs allocation

A WEU is defined as a unit of measure for water use equal to the average amount of water used by a single-family residence over the period of one year. Starting in 1977 one WEU was equal to 10,780 cubic feet of water or 166 GPCD per year. In 2016 this was updated to 8,732 cubic feet of water or 90 GPCD due to the historical trend of lower water use compared to past years.

The intent of the WEU allocations is to regulate the addition of new water users to the City's water system and to ensure the demand for water shall not exceed available water supply. The current WEU allocation program was developed in 1984 with the passage of Measure F. Measure F set the number of residential units to 70 WEUs with a maximum variation in the number of units constructed in any one year which cannot exceed 10 percent or 77 WEUs for residential units. Measure F also set a population limit of 12,200. This WEU allocation program and its methodology was based on the water supplies the City had and was planning for at that time: i.e. groundwater and the planned use of treated surface water from Whale Rock reservoir. Today the city's water supply consists of very little groundwater and the City chose not to participate in the Whale Rock reservoir project. Therefore, the OneWater plan will reevaluate the City's water portfolio and WEU allocation program according to the Cities current and projected water supplies and provide for an updated methodology consistent with City Ordinance 266.

Water Allocation Mix:

WEUs are allocated each year for residential, commercial, and industrial uses. Tables 1 shows historically the majority of residential permits issued have been single-family units. The ordinance required allocation mix, (60% SFR and 40% MFR) provides sufficient allocations for the single-family development while providing sufficient multiple-family allocations to encourage and facilitate their development.

Summary of 2015 activity:

The Council authorized 115 WEUs for 2016 with 60 percent (50 WEU) to be used for single-family dwellings and 40 percent for multiple-family dwellings with no rollovers. Those WEUs were allocated on a first-come, first-served basis. The tracking of the WEUs utilized in 2016 indicates 12.15 of the 115 WEUs allocated were used as follows:

- 0.15 Commercial – Hofbrau addition
- 12 Single-Family
- No Multi-Family

This is not a comprehensive list of all building activity, but rather a list of those activities which required a WEU allocation.

For 2017, staff is recommending allocating the remaining 73 WEUs. While it appears, on face value, the City has used up all of the water available to allocate. Actual water use and population of the City tell a different story. The City uses only approximately seventy-six

percent of its available State Water and almost none of the groundwater that is available. Additionally, the City's population is far below the cap of 12,200 as stipulated in Ordinance 266. The plan for next year is to come back with the completion of the OneWater plan including a revised WEU program that better reflects the City's current water portfolio.

Current WEU Off-Set Program:

The 2016 WEU program required each new WEU resulting from development in 2016 to be offset on a two-to-one basis by providing retrofits to existing uses or, if retrofit is shown to be infeasible, then by paying in-lieu fees in the amount of \$6,032 per each new WEU created. Given the water availability and Statewide drought status, staff will be recommending that City Council suspend this WEU offset requirement.

Conclusion:

Staff recommends the City Council allocate the remaining 73 WEU for 2017 and the allocation and off-set program be reevaluated with the OneWater plan to better represent the City's current water supply. Staff also recommends modifying the water conservation requirements to "moderately restricted" from "severely restricted" water supply due to the City receiving our full requested amount of State Water for 2017 and Governor Brown rescinding the drought emergency.

ATTACHMENTS

1. Table 1: Distribution of Water Equivalency Units
2. Table 2: Measure F Population and WEU allocations
3. Table 3: Water Production
4. Table 4: Per Capita Water Use
5. Table 5: Unaccounted for Water Loss for 2014
6. Table 6: Historical Unaccounted for Water Loss
7. Ordinance 266 Measure F

Table 1
HISTORIC TRACKING OF ALLOCATIONS

Allocations tracked on a calendar year basis

Allocation Year (January 1-December 31)	Total WEU Available	Number of Residential WEUs available	Single Family Residential WEUs allocated	Number of SFR Units	Multiple Family Residential WEUs allocated	Number of Multiple Family Units	Number of Commercial/Industrial WEU available	Commercial "A"	Commercial "B"	Industrial	Total WEU Allocated
2016	115	50	12	12	0	0	65	0.15	0	0	12.15
2015	115	50	18	18	1.62	3	65	0.3	0	0	19.92
2014	115	50	8	8	11.34	21	65	4.03	0	0	23.37
2013	115	50	20.54	20.54	0	0	65	0	0.37	0	20.91
2012	115	50	7	7	0	0	65	0	7.13	0	14.13
2011	115	50	4.54	5	0	0	65	3.85	0	0	8.85
2010	115	50	9.54	10	0	0	65	0.74	0	0	10.28
2009	115	50	2.62	5	2.62	0	65	0	0	0	2.62
2008	115	50	6.54	7	1.6	1	65	3.97	0	0	12.11
2007	115	50	25.7	28	10.2	18	65	1.15	0	0	37.44
2006	230	100	35.62	37	5.76	8	130	3	3.84	0	48.22
2005	230	100	40.48	46	6.17	10	130	15.5	1.63	0	63.78
2004	230	100	28	28	11.42	19	130	0	2.44	0	41.86
2003	262	100	54	54	8.86	15	130	7.56	0	0	70.42
2002	160	69.52	28	28	5.24	8	90	6.1	9.3	0	48.64
2001	160	69.52	63	63	6.89	11	90	4.77	0	0	74.66
2000	160	69.52	68	68	4.86	9	90	9.39	0	0	82.25
1999	160	69.52	53	53	1.32	2	90	0	0	0	54.38
1998	156	68	56.62	66	6.48	18	90	1.38	0	0	64.48

Allocations tracked on a fiscal year basis.

Allocation Year (July 1 of previous year to June 30 of the year shown)	Total WEU Available	Number of Residential WEUs available	Single Family Residential WEUs allocated	Multiple Family Residential WEUs allocated	Number of Commercial A WEU available	Commercial "A" allocated	Number of Commercial B WEU available	Commercial "B" allocated	Number of Industrial WEU available	Industrial allocated	Total WEU Allocated
1997	153.13	66.12	7.54	0.36	62.37	0.05	0.05	11.71	12.93	0	7.95
1996	153.13	66.12	23	0	62.37	62.37	11.71	2.63	12.93	0	88.00
1995	146.65	63.74	29.44	0	60.11	19.15	11.29	4.06	12.46	0	52.83
1994	147.6	63.74	29	0.36	60.11	0	11.29	0	12.46	0	29.36
1993	149.55	64.58	43	1.56	60.9	9.54	11.44	0.57	12.63	0	54.67
1992	149.55	64.58	46	10.25	60.9	0	11.44	8.07	12.63	0.43	64.75

Notes:

In 2003 there was a one time allocation for Colmer Tract 2285

In 1998, 2000, 2001 & 2002 there were residential rollover of WEUs

Commercial "A" (Commercial fishing/Agriculture, coastal dependent uses, coastal related, public, quasi-public and institutional uses, visitor accommodations, campgrounds)

Commercial "B" (Visitor-serving uses except visitor accommodations)

**TABLE 2
PROJECTED GROWTH RATES VERSUS ACTUAL POPULATION INCREASES**

Year	Population		Housing	
	Population Per Ord. 266/LCP ¹	Actual Population ²	Units Per Ord. 266 Projections	Actual No. Of Housing Units ³
1980	9425	9064	N/A	5180
1981	9705	9206	N/A	5298
1982	9998	9297	N/A	5302
1983	10298	9435	N/A	5326
1984	10400	9599	N/A	5363
1985	10505	9747	5440	5403
1986	10610	9881	5517	5473
1987	10716	9819	5594	5548
1988	10823	9975	5671	5638
1989	10931	10133	5748	5647
1990	11040	9664	5825	5694
1991	11150	9806	5902	5760
1992	11262	9736	5979	5760
1993	11489	9979	6056	5845
1994	11489	10071	6133	5877
1995	11604	9518	6210	5888
1996	11720	9687	6287	5922
1997	11837	9696	6364	5960
1998	11955	9845	6441	6005
1999	12123	9871	6518	6048
2000	12196	9981	6595	6104
2000	12196	10410 *	6595	6104
2001	12200 ⁴	10486	6672 ⁴	6178
2002	12200 ⁴	10510	6672 ⁴	6220
2003	12200 ⁴	10510	6672 ⁴	6289
2004	12200 ⁴	10522	6672 ⁴	6336
2005	12200 ⁴	10270	6672 ⁴	6392
2006	12200 ⁴	10491	6672 ⁴	6437
2007	12200 ⁴	10436	6672 ⁴	6483
2008	12200 ⁴	10506	6672 ⁴	6492
2009	12200 ⁴	10555	6672 ⁴	6496
2010	12200 ⁴	10608	6672 ⁴	6506
2010	12200 ⁴	10234*	6672 ⁴	6506
2011	12200 ⁴	10296	6672 ⁴	6511
2012	12200 ⁴	10331	6672 ⁴	6518
2013	12200 ⁴	10427	6672 ⁴	6538
2014	12200 ⁴	10547	6672 ⁴	6566
2015	12200 ⁴	10601	6672 ⁴	6587
2016	12200 ⁴	10714	6672 ⁴	6599

¹ This column represents population based on Ordinance 266's projected growth of 77 units per year. These figures indicate that the City's growth rate is behind the Ordinance 266 schedule.

² Actual population figures are taken from the California Department of Finance "Housing Estimates" report. The 1990 decennial census is the benchmark for the estimates prior to 2000. After 2000 the 2000 decennial census is used and a second entrée for 2000 shows the adjustment for the new census. Again the 2010 Census adjusts the population figure for 2010. The figures represent totals as of January 1st of each year indicated. The population figure includes an estimated 21% vacancy rate. A lower vacancy rate would result in a higher population.

³ The total number of Housing units includes the addition of all new residential units to the City's Housing Stock, as well as the deduction of all units lost through demolition, removal, or change of use from residential to non-residential.

⁴ This is the maximum population or housing under Ordinance 266 without an election to allow further building.

TABLE 3

WATER PRODUCTION DATA 1980 - 2015
(Acre Feet - AF)

Year	Chorro Basin	Morro Basin	** R/O Plant	State Water	TOTAL (AF)
1980	1079	672	*	*	1751
1981	1143	584	*	*	1727
1982	1061	526	*	*	1587
1983	995	537	*	*	1532
1984	1097	572	*	*	1669
1985	1108	582	*	*	1690
1986	1059	552	*	*	1611
1987	1124	531	*	*	1655
1988	1120	528	*	*	1648
1989	1047	512	*	*	1559
1990	963	564	*	*	1527
1991	808	449	*	*	1257
1992	1049	270	*	*	1319
1993	994	397	*	*	1391
1994	954	460	*	*	1414
1995	986	420	*	*	1406
1996	1261	240	*	*	1501
1997	985	249	*	301	1535
1998	38	*	*	1288	1326
1999	34	*	*	1359	1393
2000	4	*	*	1396	1400
2001	11	*	*	1399	1410
2002	1	32	48	1373	1454
2003	1	28	13	1379	1421
2004	49	213	10	1205	1477
2005	204	150	0	1007	1361
2006	257	80	25	1009	1371
2007	276	35	19	1116	1446
2008	184	52	28	1175	1439
2009	235	80	64	1069	1448
2010	74	54	258	873	1259
2011	14	0.5	84	1144	1243
2012	0	3.9	70	1129	1203
2013	0	27	107	1137	1271
2014	0	0	41	1141	1183
2015	0	0	138	952	1088
2016	0	0	36	958	994

** R/O Plant Production numbers include both Morro Groundwater treated via Brackish Water Reverse Osmosis (BWRO) as well as Sea Water Reverse Osmosis (SWRO).

TABLE 4

TOTAL HISTORIC WATER PRODUCTION & RAINFALL
FOR THE CITY OF MORRO BAY

Year	Rainfall	City Population	Production in acre feet	Production in millions of gallons	Average daily production in millions of gallons	Average use in gallons per capita per day
1960	10.48	5,599	894	291	0.8	142
1961	8.6	*	842	274	0.75	*
1962	17.22	*	999	326	0.89	*
1963	18.52	*	840	274	0.75	*
1964	11.26	*	881	287	0.79	*
1965	16.08	6,400	1000	326	0.89	140
1966	11.24	6,500	1188	387	1.06	163
1967	20.09	6,600	1194	389	1.07	161
1968	9.64	6,750	1298	423	1.16	172
1969	28.74	6,900	1255	409	1.12	162
1970	9.84	7,109	1534	500	1.37	193
1971	14.2	7,450	1533	500	1.37	184
1972	7.41	7,517	1547	504	1.38	184
1973	27.51	7,725	1424	464	1.27	165
1974	22.35	7,942	1482	483	1.38	167
1975	14.43	8,165	1510	492	1.35	165
1976	11.38	8,394	1574	513	1.41	167
1977	8.35	8,525	1249	407	1.12	131
1978	29.68	8,625	1430	466	1.28	148
1979	17.06	9,150	1614	526	1.44	157
1980	20.99	9,064	1651	538	1.47	162
1981	13.11	9,206	1727	563	1.54	168
1982	20.01	9,297	1586	517	1.42	152
1983	35.01	9,435	1534	500	1.37	145
1984	10.08	9,599	1669	544	1.49	155
1985	10.02	9,747	1691	551	1.51	155
1986	17.17	9,881	1614	526	1.44	146
1987	12.29	9,819	1655	539	1.48	150
1988	15.01	9,975	1648	537	1.47	147
1989	10.88	10,133	1559	508	1.39	113
1990	8.78	9,664	1527	498	1.36	113
1991	16.01	9,806	1256	410	1.12	114
1992	19.63	9,736	1319	430	1.18	121
1993	24.21	9,979	1391	452	1.24	124
1994	11.05	10,071	1414	462	1.26	126
1995	40.01	9,518	1418	462	1.27	133
1996	15.47	9,687	1501	462	1.34	138
1997	18.56	9,696	1535	489	1.37	141
1998	18.01	9,845	1326	432	1.18	120
1999	13.11	9,871	1393	454	1.24	126
2000	19.63	10,410	1400	456	1.25	120
2001	16.04	10,486	1410	459	1.26	118
2002	9.36	10,510	1454	474	1.3	123
2003	13.75	10,485	1421	466	1.28	122
2004	9.48	10,522	1477	481	1.32	125
2005	30.19	10,270	1361	444	1.22	118
2006	18.9	10,491	1371	447	1.23	117
2007	7.24	10,436	1446	471	1.29	118
2008	13.34	10,548	1439	469	1.23	122
2009	12.25	10,555	1448	472	1.29	120
2010	17.26	10,608	1259	410	1.12	106
2011	12.99	10,234	1243	405	1.11	108
2012	10.16	10,327	1203	392	1.07	105
2013	4.05	10,370	1349	440	1.21	117
2014	12.62	10,234	1183	385	1.05	103
2015	8.55	10,544	1088	354	0.97	92
2016	18.79	10,284	994	324	0.88	86

a: [average] determined from metered water sold, not water produced

TABLE 5

<p>COMPUTATIONS: UNACCOUNTED FOR WATER LOSS TABLE - 2016 ACRE FEET (AF)</p>

	AF
<u>WATER PRODUCED</u>	
From the City of Morro Bay Public Services	994
<u>WATER SOLD</u>	
From the City of Morro Bay Finance Department	1,002
<u>DIFFERENCE</u>	-8
<u>CITY WATER USE/LOSS (Unmetered & Estimated)</u>	
Fire Training	0.4
Sweeper	0.3
Non-potable irrigation water (Lila Keiser Park and High School irrigation)	24.5
Dead End Flushing, Water Leaks, Fire Hydrant/Line Breaks	1
TOTAL	26.2
<u>UNACCOUNTED FOR WATER LOSS</u>	18
<u>LOSS AS PERCENT OF PRODUCTION</u>	1.8%

TABLE 6

UNACCOUNTED FOR WATER LOSS (Acre Feet - AF)						
Year	Water Produced	Water Sold	Difference	City Water Use/Loss	Unaccounted for Water Loss	Percent of Production
1985	1690	1411	280	73	207	12.2%
1986	1610	1330	281	69	212	13.1%
1987	1655	1370	259	70	189	11.4%
1988	1641	1386	255	71	184	11.2%
1989	1559	1343	216	47	170	10.9%
1990	1527	1249	279	47	232	15.2%
1991	1256	1008	248	45	203	16.2%
1992	1319	1068	250	36	215	16.3%
1993	1391	1178	213	0.8	213	15.3%
1994	1414	1194	220	33	187	13.2%
1995	1418	1173	245	60	184	13.0%
1996	1501	1194	307	33	274	18.2%
1997	1535	1247	288	49	239	15.6%
1998	1326	1131	195	17	178	13.4%
1999	1393	1185	208	17	191	13.7%
2000	1400	1206	194	27	167	11.9%
2001	1410	1251	159	29	130	9.2%
2002	1453	1267	186	24	162	11.2%
2003	1428	1267	162	25	137	9.6%
2004	1477	1260	217	26	192	13.0%
2005	1362	1214	147	22	125	9.2%
2006	1371	1219	152	19.2	133	9.7%
2007	1410	1276	135	21.6	113	8.0%
2008	1386	1306	80	67.3	13	0.9%
2009	1373	1253	120	84.9	35	2.5%
2010	1252	1255	-3	1.4	-5	-0.4%
2011	1243	1167	76	1.7	74	6.0%
2012	1204	1163	40.97	1.4	39.57	3.3%
2013	1273	1186	86.93	1.7	85.23	6.7%
2014	1181	1137	44.23	2.1	42.13	3.6%
2015	1088	1037	51	1.7	49.3	4.6%
2016	994	1002	-8	26.2	18	1.8%

Statewide unaccounted for water loss in municipal systems varies between 1 to 20 percent. The median is 10 to 15 percent.

ATTACHMENT 7

ORDINANCE NO. 266

AN ORDINANCE ESTABLISHING A GROWTH MANAGEMENT PROCEDURE WHICH WILL ALLOW FAIR DISTRIBUTION OF OUR SCARCE WATER RESOURCES AND PROTECT THE SMALL TOWN CHARACTER AND SURROUNDING OPEN SPACE OF THE CITY

Be it ordained by the people of the City of Morro Bay as follows:

SECTION 1. Both the Coastal Commission certified Land Use Plan and the Morro Bay city council-adopted Water Management Plan allow for a city residential population to grow from present 9600 to 12,200 by the year 2000 IF ADDITIONAL WATER RESOURCES OF ADEQUATE QUALITY AND QUANTITY ARE MADE AVAILABLE THROUGH IMPLEMENTATION OF THE WATER MANAGEMENT PLAN. In order to insure even and balanced growth during the 16 year period from January 1, 1985 through December 31, 2000, building permits will be limited to a number permitting an annual increase in population which would achieve the 12,200 person goal by the year 2000. No further residential building will be permitted after a population of 12,200 has been reached unless an increase has been approved by a majority vote at a regular or special election.

SECTION 2. If water and wastewater treatment capacities become available allowing for a population increase beyond 12,200, the growth management procedures of this ordinance may be altered ONLY BY A MAJORITY VOTE OF THE PEOPLE AT A REGULAR OR SPECIAL ELECTION.

SECTION 3. Residential building permits in 1985 will be limited to 70 residential units. The city council, with advice of the planning commission, will determine by January 15 of each calendar year thereafter the mix of multi-unit and single family residential units for that calendar year. The 70 unit ceiling may be increased or decreased by a factor not exceeding 10 percent if necessary to achieve the allotted annual population growth target. The determination of the mix will be based on a study of the historical building permit pattern for the decade prior to 1977 and the years since 1982, plus an estimate of population increase of the previous year. Final adjustment of the building permit limit in each year will be made by the city council after a public hearing.

SECTION 4. In any calendar year the commercial and industrial building permits issued shall not require more than 130% of the water allocated to residential units that year.

SECTION 5. Residential building permit approval will follow Coastal Act priorities for water allocation required by Coastal Development Permit 4-81-309A or as revised after the Coastal Commission review scheduled for December 1984. These priorities shall be reviewed again when the pipe replacement program is completed and necessary amendments submitted to the Coastal Commission.

SECTION 6. For purposes of awarding building permits, only those development proposals which meet the definition of infill now in use for water allocations may be approved. This definition was approved by city council resolution No. 26-84 on March 12, 1984.

Ordinance No. 266

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SECTION 7. Land Use Plan policies 6.01 through 6.08 have been designed to preserve open space and agricultural land within the city limits. These policies and the zoning ordinances which now implement them may be amended or repealed ONLY BY A MAJORITY VOTE OF THE PEOPLE AT A REGULAR OR SPECIAL ELECTION held after final approval of an amendment or repeal by the city council and prior to submission to the Coastal Commission.

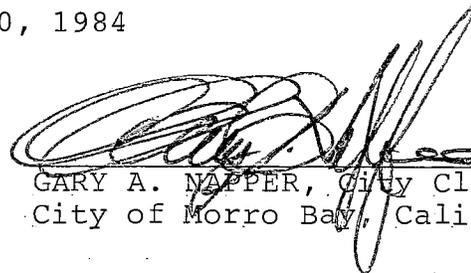
SECTION 8. Nonprofit public facilities (e.g. public buildings, libraries, senior centers, etc.) supported in whole or in part by public funds are exempted from the permit limitations in sections 3 and 4.

SECTION 9. Severance. If any portion of this ordinance is held invalid for any reason by a decision of a court of competent jurisdiction, such portion shall be deemed a separate, distinct and severable portion thereof and such decision shall not affect the validity of the remaining portions.

SECTION 10. This ordinance shall supersede all other ordinances in conflict herewith.

I, GARY A. NAPPER, City Clerk of the City of Morro Bay, do hereby certify that the foregoing is a true and correct copy of an ordinance adopted by a majority vote of the electors voting in the general municipal election held in the City of Morro bay on the 6th day of November, 1984.

Dated: November 30, 1984


GARY A. NAPPER, City Clerk
City of Morro Bay, California