



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.

**Regular Meeting - Tuesday, March 6, 2018
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Gerald Luhr

Vice-Chairperson Michael Lucas
Commissioner Jesse Barron

Commissioner Richard Sadowski
Commissioner Joseph Ingrassia

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. For Public Hearing, New Business, and Unfinished Business items, additional opportunities for public comment will be provided following the Staff Report for each such item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS - NONE

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 **Case No.:** UP0-480 and CP0-543

Site Location: 301 Sea Shell Cove, Morro Bay, CA

Project Description: The project is a request for Coastal Development Permit and Conditional Use Permit approval for the construction of a new 2,118 sq. ft. single-family residence with 336 sq.ft. of covered outdoor areas, and a 580 sq. ft. garage located within the R-A/PD zoning district and within the Coastal Commission Appeal Jurisdiction. Project was previously heard at the 12-19-17 Planning Commission meeting and continued to a date uncertain.

CEQA Determination: Categorically exempt Section 15303, Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Cindy Jacinth, Senior Planner (805) 772-6577

B-2 **Case No.:** Amendment (A00-052) to CUP #16-92

Site Location: 885 Embarcadero, Morro Bay, CA

Proposal: Request for Amendment of Conditional Use Permit # CUP 16-92 for renovation of existing commercial restaurant, including interior improvements, enclosing existing 157sf outdoor patio area to interior dining area, proposed roofing and exterior façade changes. Proposed project also includes repair of existing piers and concrete deck, replacement and relocation of existing floating dock with expansion of water lease. This project is located within the WF/PD/S.4 zoning district and within the original jurisdiction of the California Coastal Commission.

CEQA Determination: Categorically Exempt, Section 15301, Class 1

Staff Recommendation: Conditionally approve

Staff Contact: Cindy Jacinth, Senior Planner, (805) 772-6577

B-3 **Case No.:** UP0-487/AD0-129

Site Location: 2770 Elm Street, Morro Bay, CA

Project Description: Conditional Use Permit and Parking Exception for an addition to an existing single-family residence with a nonconforming side-yard setback, building separation, and parking situation. Specifically, the Applicant proposes to add a 461 sq. ft. single-story addition to an existing 896 sq. ft. residence located in within the R-1/S.2 zoning district and outside of the Coastal Commission Appeal Jurisdiction. The parking exception is to allow for a one-car garage and one required parking space to be located in tandem in the driveway.

CEQA Determination: Categorically exempt Section 15303, Class 3.

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Assistant Planner, (805) 772-6270

C. NEW BUSINESS

C-1 Review of Harbor Advisory Board and Planning Commission subcommittee meeting summary for Measure D and Working Waterfront held January 11, 2018.

Staff Recommendation: Review material and provide input to staff.

Staff Contact: Scot Graham, Community Development Director

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on March 20, 2018 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill’s/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morrobayca.gov/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City’s website. To subscribe, go to www.morrobayca.gov/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in

written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions

New Planning items or items recently updated are highlighted in yellow.

Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date March 6, 2018

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	Ferrin	2770 Elm	7/7/17	CP0-550/UP0-487	Coastal Development and Conditional Use Permit for a 752 sq. ft. 2nd story addition and garage expansion	Under Initial Review. Correction letter sent. Waiting for resubmittal. Resubmittal Rcv'd 1/4. Requires a parking exception application		PN- Conditionally approved 8/10/2017		ig
2	Teresa Drive Estates, LLC	301 Sea Shell Cove	5/11/17	CP0-543 & UP0-480	Coastal Development Permit & Conditional Use Permit for new SFR on Lot 1. 2220sf living, 580sf garage, 336sf covered patio & decks.	Under Review. Correction memo sent to applicant 6-19-17. Applicant resubmitted 10-2017. PC hearing 12-19-17. Project continued to a date uncertain with direction regarding development limit line encroachment. Potential PC hearing date of 2/6/18 - waiting on resubmittal.. Agendized for 3/6/18.		PN- Conditionally Approved 6/7/17		cj
3	Branch	885 Embarcadero	1/8/18	A00-052	CUP Amendment of #CUP16-92 Major Mod. Proposed work includes interior & exterior remodel of Otter Rock building, deck repair, and relocation of floating dock.	Under Initial Review. Correction letter sent 2/9/18. Tentatively agendized for 3/6/18 PC meeting				cj
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
4	Scott	2940 Hemlock	2/23/18	CP0-567	New 1,266 sq. ft. single-family residence	Under Initial Review				ig
5	Frye	3400 Toro	2/21/18	CP0-566	New single-family residence with an attached accessory dwelling unit	Under Initial Review				ig
6	Matson Bay	787 Main Street & 280 Morro Bay Blvd	1/17/18	S00-130	Lot Line Adjustment	Under initial review. Deemed incomplete, letter sent to applicant 2/16/18				nh
7	Matson Bay	271 Pacific	1/17/18	S00-131	Cert of Compliance	Under initial review. Approved, recording documents in process.				nh
8	Matson Bay	767 Main Street	1/17/18	S00-132	Cert of Compliance	Under initial review. Approved, recording documents in process.				nh

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9	Kitzman	355 Quintana Place	1/26/18	A00-000-053	Lot Tie and modification to parking lot for Culligan Water	Under initial review. Deemed incomplete, letter sent to applicant 2/21/18				nh
10	Reeves	1169 West	2/9/18	UP0-514/CP0-565	New 3,901 sq. ft. single-family residence with detached 980 sq.ft. garage	Under Initial Review				nh
11	Borchard	508 Blanca	2/9/18	CP0-564	New 1,800 sq. ft. single-family residence with 453 sq. ft. garage and 364 sq. ft deck	Under Initial Review				jg
12	Van Buerden	701 Embarcadero	2/6/18	UP0-513	Minor Use Permit for a change to the existing signage program	Correction Letter sent 1/18				jg
13	Van Buerden	945 Embarcadero	5/24/16	UP0-446	Conditional Use Permit for House of JuJu restaurant remodel, and City Park improvements	Incomplete letter sent 6-23-16 to Applicant and Applicant Representative. Cj. Resubmitted revised plans 6-5-17. Project reviewed and discussed with Consultant. PC hearing date is 9-5-17. Conditionally approved via Favorable Recommendation to City Council for approval. Council reviewed on 10-10-17 and continued project to 11-14-17.. Resubmitted 2/5/18.		Conditionally approved 6/14/16		cj
14	DeGarimore	1001 Front St.	1/29/18	A00-054	Amendment to CUP to modify project description to remove proposed new awning and allow for seasonal operation of kiosk for Virg's Landing.	Under initial review.				cj
15	Kisinger	220/222 Main Street	1/23/18	UP0-512/AD0-130	CUP - One time addition of less than 10% to an existing structure with a nonconforming use (duplex in R-1) and a parking exception	Under Initial Review. Correction letter sent. Waiting for resubmittal. Requires a parking exception. Resubmittal Rcv'd 2/26				jg
16	Wright	2996 Alder Ave	1/18/18	CP0-562	3 story, 3 unit apartment building in the R-4/SP zone	Under initial review. Deemed incomplete, letter sent to applicant 2/20/18.				nh
17	Johnson	128 Rennell	1/10/18	CP0-561	Demo/reconstruct 1,362 sq. ft. SFR with 496 sq. ft. garage, and 240 sq. ft. covered front porch	Incomplete letter mailed 2-9-18				nh
18	Stollmeyer	3310 Main	12/19/17	UP0-508	Conceptual review of residential development in the MCR/R-4/SP. Two SFRs with attached ADUs on two adjacent parcels	Under initial review. Pc review of concept plan at 1/16 PC hearing. After Action Letter sent 1/18. Waiting on full formal application submittal				jg
19	Branch	885 Embarcadero	1/8/18	UP0-511	Minor Use Permit to recognize allowable uses per Master Lease Agreement for City lease site	Under Initial Review. Correction letter sent 2/9/18. Resubmitted 2/13/18.				cj
20	TLC Family Enterprises	833 Embarcadero	1/2/18	UP0-509	Demo/reconstruction of existing Off the Hook Building.	Under Initial Review. Correction letter sent 2/13/18				cj

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21	Osborne	450 Piney	11/16/17	CP0-556	Administrative Coastal Development Permit for demolition of existing single family residence, construct new 3,008SFR, 460 sf garage, 214sf decks, 58sf porch	Under Intial Review. Correction Letter sent 12/14. Resubmittal rcv'd 2/1/18				jg
22	Madding	458 Dunes St	11/7/17	UP0-503	Remodel & addition to existing single family home; addition is 373sf.	Under Intial Review. Correction letter sent 12/13.				cj
23	Di Benedetto	235 Marina	11/1/17	CP0-555/UP0-495	Coastal Development Permit & CUP for Demo/Reconstruct	Under initial Review. Correction Letter sent 11/13				jg
24	Kwai	2780 Main	9/15/17	UP0-493	Minor Use permit for reduction in commercial use to limit commercial use to the first floor and expansion of residential use to limit residential use to second floor. No additional square footage is proposed	Under Initial Review. Correction Letter sent 10/17. Resubmittal rcv'd 1/5. Requires a parking exception. Application received 2/5. Minor corrections emailed to Agent 2/23				jg
2	Taverner	335 Piney	6/15/17	CP0-547	Coastal Development Permit for the construction of a detached 624 sq. ft. accessory dwelling unit	Under Initial Review. Correction Letter sent 7/11/2017. Resubmittal received 9/28. Performed Site Visit. Waiting on confirmation of the removal of second kitchen area on lower floor. Letter sent 12/14 regarding required information submittal not rcv'd to date. Applicant must remove cooking facilities in lower portion of existing SFR. Has not yet complied to date (2/13) Another Letter sent 2/26		PN- Conditionally approved 7/17/2017		jg
3	Guesno	210 Atascadero	6/1/17	CP0-544 / UP0-481	Coastal Development Permit and Conditional Use Permit for commercial change in use			PN- Disapproved 7/5/17		nh
4	Morgan	101 Fig St.	4/12/17	UP0-476	Conceptual Review of New SFR with accessory unit. Existing historical structure on lower level.	PC Conceptual Review 5/16/17. Applicant evaluating whether to pursue project.		PN-Conditionally approved 5/11/17		nh
5	Huber	2783 Coral Ave	2/24/17	CP0-530, UP0-470, S00-127	Proposed 6 lot residential subdivision (Tentative Tract Map, CDP, and CUP application). Property located at corner of San Jacinto & Coral Ave.	Under Initial Review. Resubmitted 11-2017. RFP released for preparation of environmental (IS/MND). MND update in process.		PN- Not Approved per memo dated 3/16/17		nh

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6	Eisemann	535 Atascadero	10/12/15	CP0-490 & S00-125	Parcel map application & CDP to split 1 R-4 zoned lot in to two lots.	Incomplete letter sent 11-5-15. Received revised plans and communicated via email to applicant regarding plan corrections. Resubmittal under review. Correction letter sent 2/18/16 with Public Works comments. Received revised info from Applicant 3-3-16. Correction sent and resubmitted 4-8-16. Met w/ Architect to discuss intent to include development of 4-plex apartments. Resubmittal rcv'd 5/10. Correction letter sent 6/14/16. Spoke with architect 8/9/2016. Resubmittal rcv'd 8/17/2016. Correction letter sent 10/13/2016. <i>Applicant now wants to remove development from proposal and process the parcel map independently of any development.</i> Waiting on updated map (4/7/2017) Rcv'd 4/17. Correction letter sent 5/30/2017. Resubmittal Received 7/10/17. Correction Letter sent 8/22. Resubmittal rcv'd 10/18/17. Applicant has chosen to again change the project. Permit expired. Applicant directed to resubmit application at meeting 12/14. Subdivision Review Committee tentatively scheduled for 1/30/18. Correction Letter sent 2/22		PN- Disapproved per Memo dated 8/10/2017		jg
2	Gambril	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports. Resubmittal received 8/11/15. Incomplete letter sent 9/4/15. Resubmitted 2/13/18. Under Review.		PN-Plans Disapproved. Req. Stormwater & plan update-8/24/15		nh
Planning Commission Continued projects:										
3	Erlendson	299 Sienna	9/1/17	UP0-491/AD0-123-CP0-560	Application altered. Applicant now requests Coastal Development Permit for a secondary dwelling unit to be located within the existing 2-car garage.	Under review. Correction letter sent 9/13/17. PC hearing 10/3/2017. Continued to a date uncertain with direction to work with staff prior to resubmittal. Applicant must resubmit. Under Review. Correction Letter sent 1/24/18				jg
4	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UP0-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cj

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5	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		cj

Projects Appealed or Forwarded to City Council:

6	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission reviewed 5/17/2010. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. PC reviewed 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11 .City Council 12/13/11. Continued to 1/10/12 CC meeting. PC reviewed 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13 & 7/3/13. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. Business workshops held fall/winter 13/14. Result of sign workshops discussed at 11-3-15 PC mtg. Revised Public Draft of Sign Ordinance posted to City website on July 6, 2017	No review performed.	N/R		sg
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Environmental Review

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
7	Rhine LP & Morro 94, LLC	3300 Panorama	2/24/16	CP0-500 & UP0-440	Coastal Development Permit & Conditional Use Permit for Demolition of 3 existing tanks, related pumps and concrete	Under review. Correction letter sent 5-10-16. Environmental review complete and to be routed 7-28-16 for required 30 day period. PC 9/6/16 hearing. Reviewed and PC continued hearing to 10/4/16. Project continued to 12/6 PC meeting. Project reviewed at 1/3/17 PC hearing and continued to a date uncertain. Revised MND in progress. Draft MND available for public comment 2/28/18 to 3/30/18.		PN- Conditionally approved per memo dated 7/26/16		ng
8	Bay Pines/Shorebreak Energy	1501 Quintana	11/29/16	UP0-463/CP0-525	Coastal development permit & Conditional Use Permit for Bay Pines Solar Project.	Under Initial Review. Bio Report and Phase 1 Arch report rcv'd. Waiting for preliminary title report. Rcv'd 3/15. Sent to PW: Under Review. Correction letter sent 4/12/2017. Rcv'd email resubmittal 5/5, resubmittal under review. Requires Initial Study		PN- Conditionally Approved, 6/5/17		cg
9	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cg

Final Map Under Review Projects:

10	Tract 2812	2400 Main St / Morro Mist	6/13/16	Map	Final Map - Tract 2812 / 23 lot subdivision and 1 common lot	Initial submittal for final map processing received 6-13-16. Correction letter sent 7-6-16. Draft CC&Rs received. Resubmittal received 1/5/17. Corrections sent 4-7-17. Resubmittal received 6-16-17 and 9-5-17. CC&Rs approved. Draft affordable housing documents prepared and sent to Applicant 11-28-17		PN- Approved Public Imp. On 1/9/2018. Waiting on Final Map resubmittal/		cg
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Projects requiring coordination with another jurisdiction:

11	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
12	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.		

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Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing:										
13	City of Morro Bay	Citywide			Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. General Plan Advisory Committee meetings ongoing. For more information or to get involved, visit www.morrobayca.gov/planmb . Project to be complete with documents ready for adoption and certification by end of 2018.				
14	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation will force additional changes.	No review performed.			wm
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:										
15	Verizon / Knight	184 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		jg

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
16	T-Mobile	1478 Quintana		1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG. Partial resubmittal rcv'd via email 9/18		JW approved		jg
Grants											
17	California Coastal Commission, California Ocean Protection Council	City-wide		4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17.	No review performed.	N/A		sg
18	City of Morro Bay	City-wide				Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. Final 2016 funding recommendations reviewed by Council on 3-8-16. 2016 Subrecipient Agreement executed and Council approved 2018-2020 Cooperation Agreement with County on 6-13-17.	No review performed.	N/R		cj
19	City of Morro Bay	City-wide				Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
Projects in Building Plan Check:											
1	LaPlante	3093	Beachcomber	4/24/17	B-31487	New SFR: 3,495sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	Sent memo correction 6-15-17. Disapproved by cj on 10-16-17.	Approved by cdl on 5-10-17	Disapproved by jb (see memo) on 10-3-17	Emailed comments on 10-20-17.	
2	Hauck	206	Bradley Ave	1/5/18	B-31835	Remodel garage, frame new ceiling, drywall ceiling & walls, replace 8' x 6' 8"	Approved by jg on 1-26-18	Disapproved by hb on 1-17-18		2-5-18 - Emailed comments to property owner. PB	
3	MMbs Llc	1215	Embarcadero	12/9/16	B-31326	Demo existing Dockside 3 and Morro Bay Landing to replace with 2 story new structure	Disapproved with plan corrections 1-5-17. CJ. Approved 11-27-17. CJ Fire: Approved by mv on 1-22-18	Plans sent to Ca, Code Check 1-5-17. Sent CA code check 11/14/17.	PN- Disapproved per memo dated 1/18/17	1-17-18 - Received resubmittal and routed to BLDG (CA Code Ck), PW & FIRE. PB	
4	Bulatov	2980	Hemlock	9/11/17	B-31651	Remodel existing SFR, new 1st, & 2nd floor addition(1444sq.ft.) new 310 sf deck above	Disapproved by jg on 9-8-17.	Disapproved by cdl on 9-18-17.	Disapproved by jb on 9-15-17.	1-24-18 - Received submittal & routed to BLDG (w/ soils), PLAN, PW. & FIRE (route when one is back). PB	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
5	Warmerdam	2901 Juniper	12/15/17	B-31812	Single Family Alteration Remodel of existing home	Diapproved by jg 12-27-17	BLDG - CA Code Ck Disapproved on 1-16-18	PW- Disapproved by jb on 12/21/17.	1-16-18 Emailed all plan review comments & (waiver request on 1-19-18) to Trevor Miller PB	
6	Linkwiller/Balch	535 Kern Ave	5/10/17	B-31504	118sq.ft. 1st. Floor addition new bathroom & porch 102 sq. ft. second floor addition new observation room decrease size of existing bathroom & deck.	Approved by rr (constitutes the one time addition to a non conforming structure) 11/20/17 PZ	Disapproved by CA Code Ck on 12-27-17 PB	Conditional Approval (see memo) on 11/22/17. PZ	Resubmitted on 11-17-17. 1-3-8 - Emailed comments to Agent (Cody @ Ferriera)	
7	Goldstein	142 Kodiak	1/3/18	B-31817	Addition & Remodel	Disapproved by jg on 1-12-18	Disapproved by CA Code Ck (see memo) on 1-12-18	Disapproved by jbon 12-2-17	1-17-18 - Emailed all plan review comments to Architect (Goldstein) & advised of plans for p/u. PB	
8	Wright	520 LaJolla	7/21/17	B-31595	Enclose 10'x20' carport for single car garage	Disapproved by rr on 7-26-17.	Disapproved by cdl on 8/11/17.	N/A		
9	Cole	1030 Las Tunas	1/30/18	B-31852	Single Family Addition Permit	Disapproved with correction memo by nh on 2/1/18.	BLDG - Disapproved by hb on 2-1-18			
10	Sterkel	1115 Las Tunas	1/23/18	B-31845	368 sf addition, & 175 sf exterior deck	Disapproved with correction memo by nh on 2/6/18.	Disapproved by hb on 1-24-18			
11	Moss	730 Luisita St	1/29/18	B-31850	Relocate bathroom light & fan switch & reroute same existing wiring to new junction					
12	Boisclair	900 Main	12/19/17	B-31810	Raise existing stage 6" to add additional sound deadning. Create front of stage perimeter		BLDG - Approved by ac on 12-26-17 PB			
13	Olcott	285 Marina	10/27/17	B-31752	ADA Renovation; parking lot	Approved by sg on 11-6-17.	Approved by cdl on 11-14-17.	Disapproved by jb on 11-3-17.	Emailed comments 11/21/17	
14	Henderson	958 Marina	10/18/17	B-31732	Replace interior finish, repair & reinforce existing structure & replace electrical mechan.& plumbing systems on 2ndary unit	Under review Disapproved by rr on 11-1-17. Project requires planning entitlements.	Approved by cdl on 11-3-17.	Approved by jb on 10-23-17.		
15	Robison	1185 Main St.	1/22/18	B-31842	Residential Elevator Installation	Disapproved by sg on 1-29-18	Disapproved by hb on 1-29-18			
16	Kinsinger	222 Main St.	11/22/17	B-31786	149 Sq. Ft. addition & interior remodel of kitchen, bath and living-room.	Disapproved by jg on 1-12-18	Approved by sg on 1-12-18	Approved by jb on 11-22-17.		
17	Millerstein	844 Main St.	11/17/17	B-31781	Com. Alteration Re-enclosed storage area & upgrade to allow for office space in addition to storage upgrade exterior to match surrounding	Approved by rr on 12-8-17	Disapproved by cdl on 11-27-17.	Approved by jb 11/22/17	1-25-18 - Received resubmittal and routed to BLDG ONLY. PB	RR
18	Sonic	1840 Main	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17	California Code Check reviewing for building code.	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
19	Morro Mist LLC	2402-2446 Main	7/5/16	B-31067 through B-31089	Building Permit applications for 23 new town homes in 6 detached building clusters to include 15 one- bedroom units and 8 three bedroom units. 23 separate applications.	Disapproved. Corrections sent 8-3-16. cj. Resubmittal received and disapproved 11-28-17.	Disapproved by cdl on 1-23-17.	PN- Approved waiting for RL sign-off of WEU form.		
20	Lau	2780 Main	9/15/17	B-31680	Remodel existing resteraunt/ apartment. Reduce size of restaurant by 500 sf and add that to the Apartment.	Disapproved by jg 10-18-17.	Disapproved by cdl on 9-22-17	Disapproved by jb on 9-22-17.	Emailed comments on 10/19/17.	
21	Assembly of God Church	615 Monterey	1/24/18	B-31847	Interior remodel, restore converted garage back to original garage, repair framing & floorjoist, floorplan changes, upgrade plumbing & electrical to current code, new roof & exterior.		BLDG - Disapproved by hb on 1-29-18			
22	Swindle	590 Morro	9/25/17	B-31690	Remove and relocate panel antennas to roof top cell site.	Disapproved by wm on 10-18-17. Approved by nh 2-7-18	Approved by cdl on 10-26-17.	Approved by jb on 10-17-17.	Emailed comments on 10/31/17	
23	Rangoussis	655 Morro Bay Blvd	2/2/18	B-31860	Remove deteriorated mansord roof edge from existing roof canopy, and replace with new mansard.	Disapproved by nh on 2-7-18. Approved by planning (nh) 2/20/18.				
24	Crowfoot	416 Napa	3/1/17	B-31417	Convert downstairs closet into kitchen to create secondary dwelling unit (CP0-531)	Approved by rr on 7-31-17.	Approved by cdl on 3-23-17	PN- Disapproved per memo dated 3/29/17		
25		2584 Nutmeg Ave	2/2/18	B-31862	Retaining Wall - Approx 25' in length, staggard heights on slope at the southwest corner of property.					
26		401 Pico St.	12/27/17	B-31821	New single car garage & build addition		BLDG - Approved by ac on 1-3-18 PB	PW - Disapproved by jb (see memo) on 1-9-18 PB 1-22-18 provided comments to owner. PB		
27	Colmer	501 Quinn Ct,	11/16/17	B-31775	SFR- New	Disapproved by cj 12-21-17	Sent to CA code ck. 12-13-17	Approved by jb on 11-30-2017		
28	Colmer	505 Quinn Ct,	11/16/17	B-31774	SFR- New	Disapproved by cj 12-21-17	Sent to CA code ck. 12-13-17	Approved by jb on 11-30-2017		
29	Colmer	557 Quinn Ct,	11/16/17	B-31776	SFR- New	Disapproved by cj 12-21-17	Sent to CA code ck. 12-13-17	Approved by jb on 11-30-2017		
30	Giannini	750 Radcliff	9/15/17	B-31681	Remove & Replace antenna on tower,	Approved by JG ON 10-1-17	Approved by cdl on 9-19- 17. PZ	Approved by jb on 11-13-17		
31	Brisson	341 Sicily	9/12/17	B-31670	Single Family Alteration	Conditional approval 9-27-17. RR	Disapproved by cdl on 9-21-17.	N/A	Emailed comments on 9/28/17	
32	Sotelo	2101 Sunset	10/3/17	B-31698	Proposed detached accessory building 625 sq. ft.	Disapproved by jg on 10-16-17.	Approved by hb, when 3 items are completed (see memo) on 1-18-18	Disapproved by jb (see memo) on 1-23-18 PB	Emailed owner 10/20/17.	
33	Forde	564 Zanzibar	1/16/18	B-31837	Single Family Alteration	Disapproved by sg on 1-29-18	BLDG - Disapproved by hb on 1-19-18			

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Planning Projects & Permits with Final Action:										
1	MacMillan	590 Morro Bay Blvd	8/17/17	A00-051	Minor modification to UP0-460 for Distasio's restaurant	Under review. Additional minor modification proposed and added to A00-051 8/29/17. Under review. Additional changes submitted 9/5/17. Waiting on corrections. Waiting on submittal of color for approval. Rcv'd 12/2. Changed proposal. Need to modify again based on unpermitted work done in the field. Spoke with Applicant's rep. 1/24. Updated submittal required				ig
2	Gelman	2784 Indigo	12/12/17	CP0-559/UP0-507	CDP and CUP for a new SFR in the Cloisters subdivision	Under Intial Review. Project to be noticed and tentatively schedlued for 2/20 PC Hearing				ig



AGENDA NO: B-1

MEETING DATE: March 6, 2018

Staff Report

TO: Planning Commissioners

DATE: February 28, 2018

FROM: Cindy Jacinth, Senior Planner

SUBJECT: **Continued Public Hearing** - Coastal Development Permit and Conditional Use Permit (CP0-543 & UP0-480) for new construction of a single-family residence on Lot 1 of the Seashell Estates subdivision (Tract 2870) at the corner of Sea Shell Cove and Theresa Drive on the inland side of Highway One. The project site is in an R-A/PD zone within the Coastal Commission appeal jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting a motion including the following action(s):

- A. Adopt Planning Commission Resolution 27-17 which includes the Findings and Conditions of Approval for the project depicted on site development plans date stamped December 1, 2017.

APPLICANT: Al Marshal, Seashell Estates, LLC

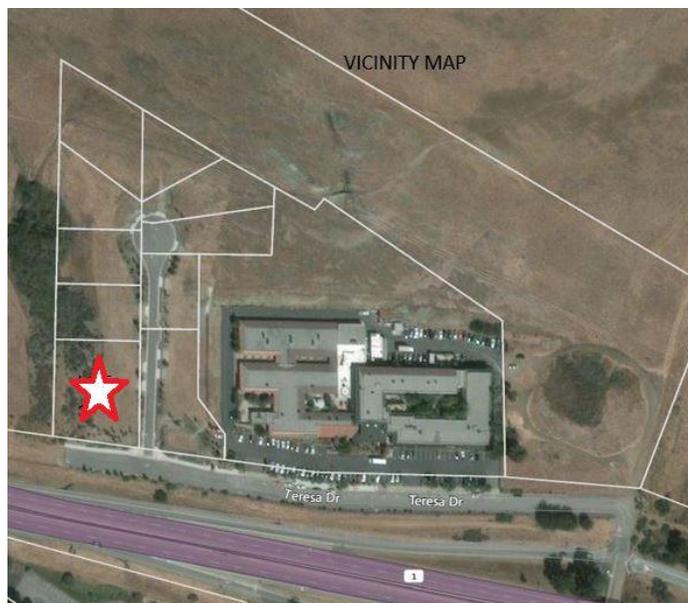
ARCHITECT: Andres Eulate, Pults and Associates

AGENT: Cathy Novak, Novak Consulting

APN: 068-412-001

BACKGROUND:

On December 19, 2017, the Planning Commission reviewed this project and continued the hearing to a date uncertain. The direction by the Planning Commission was to make certain plan revisions regarding building encroachments into the development limit line as well as architectural



Prepared By: ___WM___

Department Review: ___SG___

changes related to the garage, landscaping, and proposed conditions of approval that were presented in the staff resolution for approval (Exhibit B- After Action Letter, 12/28/17).

PROJECT DESCRIPTION:

The revised plans now show a 2,118 square foot single-story home with a 580 square foot garage, 316sf of covered patios and decks, and 3 patio/deck areas, one of which is covered (Exhibit D). Project architecture remains modern and minimalist with design consistent as previously presented during the December 2017 Planning Commission hearing.

After Action Letter:

After the December 19, 2017 Planning Commission hearing, staff sent an action letter with the direction of the Planning Commission (Exhibit B). Each of those direction items is organized below with PC direction and brief discussion of applicant response as follows:

1. Development Limit Line. The project as previously presented encroached four feet into the development limit line. Although it met the minimum front setback, it did not meet the requirement for the development limit line.

Applicant response - The Applicant has submitted revised project plans which remove the previous four foot encroachment into the development limit line (Exhibit D). The front setback is now 24 feet. As a result the proposed home is slightly smaller reduced from 2,772sf to 2,118sf. The revised elevations reflect a minor change to the location of the front door which now faces the street where it was previously perpendicular to the street (Exhibit D).

2. Patio & Deck Roofing / Angled Posts: The Planning Commission was supportive of modifying the patio and deck roofing as well as the angled post design on the south side of the home and the plans remain as previously presented.

Applicant response – no change. Agrees with Planning Commission.

3. Proposed Fence area and walkway. The Planning Commission direction was to revise plans to eliminate the paving and fence located within the open space setback along the north property line.

Applicant response is that project plans have been revised to reflect this change and condition 15 has been deleted.

4. Driveway Width - Planning Commission discussion regarding the driveway accepted the driveway approach as proposed. However, the requirement is a condition of the tract

map approval and cannot be modified without a map amendment. The after action letter directed plan revision to be consistent with the tract and remove the inaccurately shown ADA sidewalk around the curb cut.

Applicant response is that the revised plans have kept the driveway width as proposed at 20 feet to allow for vehicular access and proposes a four foot level sidewalk extension behind the curb to allow for a future sidewalk based on sidewalks allowed pursuant to the Sea Shell Estates Design Manual.

Staff response to this item remains unchanged and is recommending that Planning Commission retain condition 19. Guideline section 6.16 does not allow for modification by owner. It says driveways shall be the same width as the curb openings, not including the transitions unless authorized by the City Engineer, property owner, adjacent property owner and the Community Development Director (aka Public Services Director).

5. Trash Enclosure Although Planning Commission discussion regarding condition 21 was supportive of the trash enclosure, the requirement is to have a minimum 20' x 20' garage area.

Applicant response - The plans now show a clear space of 20' x 20' in the garage area.

6. Green Building. The Planning Commission discussion was that energy efficiency stands shall be at least 25% above Title 24 as required by the subdivision Design Manual, but that the 25% would be tied to the 2016 Building Code.

Applicant response – Applicant accepts the condition. Planning condition 19 in Exhibit A states 25% above the 2016 California Building Code.

7. Applicant proposed condition 25 / Approve with conditions This item was requesting that the Planning Commission approved the project as presented at the December 2017 hearing and is no longer applicable as plans have been revised.

8. ESHA. Provide a 50 foot setback from top of bank.

Applicant response: Plans show the 50 foot setback as determined by Applicant's biologist as of the summer of 2017. The biologist and surveyor will provide a statement that the ESHA line has been accurately mapped.

Staff response: Staff recommends condition 21 remain on the project to ensure certification of

accurate ESHA boundaries.

9. Landscape Plans. The Planning Commission direction was to provide more fully developed landscape plans that incorporate screening of Highway 1 as well as revise plans to tie the plant list to the landscaping site plan.

Applicant response – The Applicant’s response stated the landscape plans have been revised to provide more detail with additional screening and the plan now ties the plant list to the site plan.

Staff response: The landscape plan does not tie the plant list to the site plan. The applicant has been advised of this issue and revised plans will be made available at the PC meeting.

10. Solar – The Planning Commission discussion included adding solar panels on plans as well as reduce glare.

Applicant response – The plans have been revised to add solar panels and now propose anti-reflective glare.

PROJECT ANALYSIS:

The original staff report presented at the December 19, 2017 Planning Commission hearing covered a complete analysis of the project’s approval and consistency /recommended conditions.

That staff report is available online at:

<http://www.morro-bay.ca.us/ArchiveCenter/ViewFile/Item/4453>.

The project as revised addresses the majority of the direction of the Planning Commission. The outstanding items are the issue of the driveway width, maintaining the condition on the ESHA delineation, and revising the landscape plan as noted by the staff response in red font above.

Staff Recommendations:

Driveway: As stated in the December 2017 Planning Commission staff report, per Design Guideline 6.16, staff recommendation was and remains to reduce the driveway width immediately behind the approach because it exceeds the standards and includes curb transitions areas. The driveway should match the curb opening minus the transition areas (approximately 16 feet wide). From there the driveway can widen to the maximum width of 20 feet. The proposed driveway can accommodate parking into the garage or on the driveway width. (Exhibit A

Planning Condition 18.)

ESHA: Consistent with other approved projects where the City's LCP policies on ESHA on or within the project require precise delineation of the ESHA boundaries, staff is recommending that Planning conditions 17 and 20 remain on the project (Exhibit A).

PUBLIC NOTICE:

Notice of a public hearing on this item was posted at the site and published in the Tribune newspaper on February 24, 2018, and mailed directly to all property owners of record and occupants within 500 feet of the subject site. The notices invited the public to attend the hearing and express any concerns they may have regarding the proposed project.

CONCLUSION:

The revised plans reflect the changes as directed by the Planning Commission at its December 2017 public hearing. Conditions are recommended to ensure the project is designed consistent with the Sea Shell Estates Design Manual and applicable conditions of approval for Tract 2870. Construction of a single-family house on a residential lot is consistent with the City's General Plan and Local Coastal Program.

Staff recommends that the Planning Commission conditionally approve the requested Coastal Development Permit and Conditional Use Permit for the proposed new home at 301 Sea Shell Cove via adoption of Resolution 06-18 and retain original conditions proposed for the issues of driveway width and ESHA as discussed in the staff report.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 06-18
- Exhibit B – After Action Letter dated December 28, 2017
- Exhibit C – Applicant Response dated January 10, 2018
- Exhibit D – Graphics/Plan Reductions date-stamped January 10, 2018

EXHIBIT A

RESOLUTION NO. PC 06-18

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING THE COASTAL DEVELOPMENT PERMIT (CP0-453) AND CONDITIONAL USE PERMIT (UP0-480) FOR NEW CONSTRUCTION OF A 2,118 SQUARE FOOT SINGLE FAMILY RESIDENCE WITH 580 SQUARE FOOT GARAGE AND 336 SQUARE FEET OF COVERED DECK AND PATIO SPACE LOCATED AT 301 SEA SHELL COVE ALSO KNOWN AS LOT 1 OF THE SEA SHELL ESTATES SUBDIVISION

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on December 19, 2017, to consider Coastal Development Permit #CP0-543 and Conditional Use Permit #UP0-480 and continued the hearing to a date uncertain; and

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on March 6, 2018, to consider Coastal Development Permit #CP0-543 and Conditional Use Permit #UP0-480; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

1. That for purposes of the California Environmental Quality Act, Cases CP0-543 & UP0-480 are categorically exempt from CEQA pursuant to Class 3, CEQA Guidelines Section 15303 (a), for new construction of small structures such as a single-family residence. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2 apply to the project as further analyzed in the staff report.
2. The project is subject to compliance with applicable mitigation measures adopted with the Negative Declaration for the underlying subdivision, Tract 2870.

Coastal Development Permit Findings

1. The project, as conditioned, is consistent with the applicable provisions of the General Plan and certified Local Coastal Program.

EXHIBIT A

2. The project is in conformance with the applicable conditions of approval for Tract 2870 (Case No. VTTM #S00-062, UP0-183, CP0-207).

Conditional Use Permit Finding

1. The project, as conditioned, will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood because the proposed single-family residence is a permitted use within the RA/PD zoning district and consistent with the General Plan Low-Density Residential designation and applicable conditions of Tract 2870 and City regulations.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit #CP0-543 and Conditional Use Permit #UP0-480 subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated January 18, 2018, for the project at 301 Sea Shell Cove depicted on plans date stamped January 10, 2018 on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for CP0-543 & UP0-480, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

EXHIBIT A

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.
8. Conditions of Approval: The Findings and Conditions of Approval for CP0-543 and UP0-480 as well as for Tract 2870 (Case No. VTTM #S00-062, UP0-183, CP0-207) shall be included as a full-size sheet or sheets in the building permit plans.

Building Conditions:

1. Prior to construction, the applicant shall submit a complete building permit application and obtain the required building permit.

Fire Conditions:

1. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)
2. Automatic fire sprinklers. An automatic fire sprinkler system in accordance with NFPA 13-D, California Fire Code Section 903, California Residential Code Section R313, and Morro Bay Municipal Code Section 14.08.090(L)(1) is required.

EXHIBIT A

3. Fire Safety during Construction. Fire safety during construction shall be in accordance with 2016 California Fire Code Chapter 33, et seq.

Public Works Conditions:

1. Storm water Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Storm water management guidance manual on the City's website www.morro-bay.ca.us/EZmanual. Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. Complete and submit the "SFR Performance Requirement Determination Form". A Final Storm Water Control Plan including drainage analysis, runoff calculations, design and justification of drainage facilities shall be performed by a Registered Civil Engineer and submitted with the building permit application. The responsible Soils engineer shall review all proposed infiltration or storage systems for site suitability.
2. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
3. Water Meter: Indicate and label new or existing water meter on plans.
4. Grading and Drainage: Indicate on plans the existing and updated contours, drainage patterns, spot elevations, finish floor elevation and all existing and proposed drainage pipes and structures.
5. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC.
6. Encroachment Permits: A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.

Add the following Notes to the Plans:

1. No work within nor any use of any public rights of way shall occur without an

EXHIBIT A

encroachment permit. Encroachment permits are available at the City's Public Works Department located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

2. Any damage to any of the City's facilities (such as curb/berm, street, sewer line, water line, or any public improvements) resulting, directly or indirectly from construction operations related to this project shall be repaired at no cost to the City.

Planning Conditions:

1. Nesting Bird Survey. To ensure that the project does not impact nesting migratory birds, special status birds, or ground nesting birds, a qualified biologist shall conduct a pre-construction survey no earlier than 30 days prior to building permit issuance to ensure that birds are not nesting if construction is proposed during the migratory bird season. If special status birds are nesting in the work area, construction shall not start until either the chicks have fledged and left or until nesting season is complete as determined by the approved biologist. The name and contact information of the project biologist shall be included on the title page of the building permit plans.
2. Plant Survey. A pre-construction survey by a qualified biologist/botanist at the appropriate time of year shall be submitted prior to issuance of a building permit to determine if bunchgrass community or special status plant species exist on the property. If bunchgrass community, Blochman's dudleya, Cambria Morning glory, or other special status plant species are determined to be found onsite, then mitigation shall be as follows for any loss of habitat: one to one replacement or preservation of these habitats onsite shall be required according to the approved 2011 Mitigation and Monitoring Program prepared by Althouse & Meade included with the approved Tract CC&R's. The name and contact information of the project biologist shall be included on the title page of the building permit plans.
3. Construction Noise: Project construction within 500 feet of any existing residences shall be limited to the hours of 7 a.m. to 7 p.m. on weekdays and 8 a.m. to 7 p.m. on weekends. All large construction equipment will be equipped with "critical" grade noise mufflers. Engines will be tuned to insure lowest possible noise levels. Back up "beepers" will also be tuned to insure lowest possible noise levels. All necessary measures to muffle, shield or enclose construction equipment shall be implemented in order to insure noise levels at the property line of the nearest parcels do not exceed 75 dBA.
4. Interior Noise: Plans submitted for a building permit shall clearly show and specify construction methods and materials that ensure interior noise levels will not exceed CNEL = 45dBA.
5. Affordable housing in-lieu fees. The Tract 2870 condition for the payment of housing in-lieu fees shall be satisfied by the payment of \$108,000 prior to issuance of the first residential building permit in the subdivision.

EXHIBIT A

6. **Boundaries and Setbacks:** The property owner is responsible for verification of lot boundaries. At the time of foundation inspection, the property owner shall verify lot boundaries and building setbacks to the satisfaction of the City Community Development Director and City Building Official.
7. **Height Certification:** Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the City Community Development Director certifying that the tops of the forms comply with the finish floor elevations and setbacks as shown on approved plans. Prior to either roof nail or framing inspection a licensed surveyor shall measure the height of the structure and submit a letter to the City Planning & Building Director, certifying that the height of the structure is in accordance with the approved set of plans and complies with the height requirements of the Morro Bay, Municipal Code Section 17.12.310.
8. **Dust Control:** That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems, shall be submitted for review and approval by the Building Official. (MBMC Section 17.52.070)
9. **Archaeology:** **In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist, knowledgeable in local indigenous culture, or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation. (MBMC Section 17.48.310)**
10. **Landscape Plan.** **A landscape plan shall be submitted with the building permit application which specifically shows the type, size, location and method of irrigation for all planting proposed for the project. The plan shall include tree species approved as part of the Tract 2870 landscape plan (or other suitable species) in addition to Cercis occidentalis and Fremontodendron (not actually a tree) shown on the plans submitted for CP0-543 and UP0-480 to the satisfaction of the Community Development Director. In addition, the landscape plan submitted shall also tie the plant list to the site plan.**
11. **Replacement Planting.** **The landscape plan submitted with a building permit application shall also show replacement planting for the trees and shrubs planted with subdivision improvements that have since died to the satisfaction of the Community Development Director. All necessary repairs to the irrigation for these plants shall also be made prior to building occupancy. Existing trees near the driveway approach shall be protected at the drip line from construction disturbance to the satisfaction of the Community Development Director.**
12. **Landscaping Timing.** **All project-related landscaping and irrigation shall be installed prior to building occupancy.**

EXHIBIT A

- 13. Construction Disturbance and Restoration: Areas subject to disturbance during construction shall be clearly shown on the plans submitted for a building permit, together with a plan for protection of open space areas and existing vegetation in compliance with Sea Shell Estates Design Manual sections 6.5, 6.8, 6.11, 6.15.2 and 6.15.3. The application for a building permit shall also include a plan for restoration planting of all disturbed areas beyond the building envelope once construction is complete, to the satisfaction of the Community Development Department.**
- 14. Grading Prohibited Outside Building Envelope. Per the Sea Shell Estates Design Manual section 6.5 and Tract 2870 Planning condition of approval 18, no grading shall occur outside of the building envelope with the exception of grading for driveway access. The dimensioned building envelope shall be shown on plans submitted for a building permit. Prior to construction the building envelope shall be clearly delineated to the satisfaction of the City Building Inspector.**
- 15. Building Site Maintenance. Per Section 6.12 of the Sea Shell Estates Design Guidelines, no fill, construction debris, or building materials are to be located on adjacent properties, right-of-way, open space areas, or roadways. The building site shall be kept clean and orderly, and blowing dust and fumes shall be controlled throughout the period of construction.**
- 16. Naturally Occurring Asbestos: The project site is underlain with serpentine rock which contains naturally occurring asbestos. The applicant shall provide a copy of the building plans, including grading plans, for review and comment to the Air Pollution Control District. Written evidence of compliance with APCD rules regarding exposure to NOA during construction shall be submitted with the building permit application. Required conditions for compliance shall be noted on the approved building permit plans.**
- 17. Stream Buffer: The top of bank nearest the building envelope and the required 50-foot buffer from the nearest top of bank shall be surveyed and staked by a licensed land surveyor and shall be shown on construction plans prior to issuance of a building permit. During construction the 50-foot buffer shall be defined with highly visible construction fencing and staking for the benefit of contractors and equipment operators. Signs shall be erected stating that no vehicles or heavy construction equipment shall be allowed within the 50-foot buffer area.**
- 18. Driveway Width and Surface. Per Design Guideline 6.16, reduce the driveway width immediately behind the approach to match the curb opening minus the transition areas (approximately 16 feet wide). From there the driveway can widen to the maximum width of 20 feet. **Driveway surfacing shall be an approved porous material unless the slope or other special conditions require paving per City regulations.****
- 19. Green Building. The project shall include all the project components outlined in the list**

EXHIBIT A

of energy efficiency and green building features submitted by the applicant and included as part of Exhibit C attached to the project staff report dated December 8, 2017. The project shall exceed Title 24 energy efficiency standards by at least 25% above the 2016 California Building Code. The applicant shall submit documentation to this effect to the satisfaction of the City Building Official.

20. Compliance with Easements and approved Setbacks and Building Envelope. Plans submitted for a building permit shall accurately show dimensioned property lines, all easements affecting Lot 1, the surveyed top of bank and 50-foot setback from the top of bank, and the surveyed and dimensioned building envelope.
21. Conservation Open Space Easement and Agreement: Prior to issuance of a building permit, the applicant must submit a conservation open space easement and agreement for Community Development Director approval and recordation, consistent with Tract 2870 conditions. The document shall include a legal description and map exhibit of the exact extent and location of the open space area on Lot 1 and shall specify conservation measures within the open space area.
22. **Inspection: The applicant shall comply with all Planning conditions listed above and obtain a final inspection from the Planning Division at the necessary time in order to ensure all** conditions have been met.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 6th day of March, 2018 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Gerald Luhr, Chairperson

ATTEST:

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 6th day of March, 2018.



CITY OF MORRO BAY
COMMUNITY DEVELOPMENT DEPARTMENT
955 Shasta Avenue
Morro Bay, CA 93442

December 28, 2017

Seashell Estates, LLC
541 Chapman Ave. Suite E
Orange, CA 92866
Attention: Al Marshall

SUBJECT: 301 Sea Shell Cove Use Permit and Coastal Development Permit Application
(UP0-480 & CP0-543) – After-Action Letter

Dear Mr. Marshall,

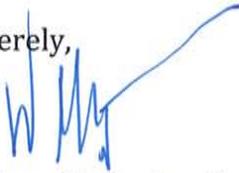
On December 19, 2017, the Planning Commission held a public hearing to consider the above referenced planning permits and continued the hearing to a date uncertain. The discussion of the Planning Commission included feedback for your project as noted below which will be necessary to address prior to rescheduling for a new public hearing:

1. Development Limit Line. The building encroaches 4 feet into the development limit line on the east side of the property (front yard). At the meeting, your representative, Cathy Novak, proposed that this be addressed via a certificate of correction although it is uncertain whether this would be the correct mechanism to address the tract map versus tract conditions issue. Please submit a copy of the tentative map approved for this subdivision so staff can better evaluate possible solutions. Your surveyor, Above Grade Engineering, also may propose an approach and submit to the City for evaluation.
2. Patio & Deck Roofing/ Angled posts: On condition 14, the Planning Commission was okay with modifying patio and deck roofing condition as requested by applicant.
3. Proposed fence area & walkway: On condition 15. The condition may be altered if the plans are revised to eliminate the paving and fence located within the open space setback area along the north property line.
4. Driveway width: As explained by staff, although the Planning Commission was okay with the driveway approach as shown, and was also okay with the driveway widening out to 20 feet from the curb transition, the requirement is a condition of approval of the map and cannot be modified without a map amendment. Also, the plans are inaccurately drawn in that they show a ADA sidewalk extending around the curb cut on sheet A-1.
5. Trash enclosure: Regarding condition 21, the Planning Commission was okay with the condition in that the condition does not require you to move the trash enclosure outside, but rather that the trash enclosure/receptacles and any other improvements cannot be within the required minimum 20' x 20' garage area. Also,

Planning Commission direction appeared to reflect concurrence with removal of the requirement to add additional natural light in the garage.

6. Green Building: The Planning Commission agreed that the condition for Title 24 energy efficiency standards to be at least 25% above Title 24 would remain, but the consensus was that the +25% requirement would be tied to the 2016 California Building Code, and not less than subsequent building code amendments.
7. Applicant proposed Condition 25. The Planning Commission did not support or provide direction to staff to add a new condition regarding building envelope lines that would have allowed the project to be approved at the meeting by conditioning the front and rear building envelope lines to be adjusted prior to issuance of a building permit.
8. ESHA: The consensus of the Planning Commission was that the 50-foot setback from top of bank should be enforced with accurate mapping of the ESHA.
9. Landscape Plans: Provide more fully developed landscape plans that incorporate better screening of Highway 1. Also, revise landscape plans to tie the plant list to the landscape site plan.
10. Solar: Show solar panels on plans. Reduce glare of rooftop solar panels to mitigate impact of glare to Highway 1 traffic.

Sincerely,



Whitney McIlvaine, Contract Planner
for Cindy Jacinth, Senior Planner

Cc via email:

Cathy Novak Consulting

Andres Eulate, Pults and Associates

Enc: Applicant requested modifications to conditions, submitted at the 12-19-17 PC hearing



Exhibit C

RECEIVED

JAN 10 2018

City of Morro Bay
Community Development Dept.

Date: January 10, 2018

To: Ms. Cindy Jacinth
City of Morro Bay Community Development Department
955 Shasta Street
Morro Bay, CA 93442

Re: RE: 301 Sea Shell Cove Use Permit
and Coastal Development Permit Application
(UP0-480 & CP0-543) -After-action Letter response

Dear Cindy,

This letter is in regards to your letter dated December 28, 2017 for the after action items that are needed to address to reschedule the Planning Commission meeting. I am responding in the same order as your letter for ease of review and consistency.

1. *Development Limit Line.* Above Grade Engineering has prepared a letter of explanation that the Additional Map is included with the Final Map for informational purposes only and that the conditions of approval for the Map should be used to set the actual location of the front development limit line. It further offers, if necessary, that a certificate of correction can be done to the additional map sheet to correct the number and graphic representation. For further information on additional map sheets, please refer to the Subdivision Map Act Section 66434.2. Second, you requested a copy of the Tentative Map however since the Map has been recorded, we are providing a copy of the recorded Final Map. The Above Grade Engineering letter, SMA section and Final Map are attached for your review.
2. *Patio & Deck Roofing/ Angled posts.* This is confirmation regarding condition #14 and no action is necessary on our part.
3. *Proposed fence area & walkway.* The plans have been revised to eliminate the paving and fence located within the open space setback area along the north property line.
4. *Driveway width.* The plan as proposed has kept the driveway width at 20 feet to allow for vehicular access without driving over dirt or landscaped area as well as, a 4ft level sidewalk extension behind the curb cut designed per City Public Works Standard B-6. The extension was planned to allow for a future sidewalk or walkway along the road edge if the owners desire. The driveway width and location is not graphically represented on the Final Map and also is not a condition of approval but rather a Design Manual section. The Design Manual section 6.16 allows for modifications when approved by the owner and City. Therefore it is not necessary to amend the Final Map.

Architecture, Planning Graphics
3592 Sacramento Dr – Suite 140
San Luis Obispo, CA 93401
(805) 541-5604



1. *Trash enclosure.* The water heater has been relocated and the plans now show there is a 20' x 20' clear space in the garage as required by the City.
2. *Green Building.* The applicant is OK with the condition for Title 24 energy efficiency standards to be at least 25% above Title 24. For clarification purposes we understand this condition to mean that the project will meet a 25% above base standard when calculated from the 2016 California Building Code. In addition any future building code standards will also need to be met and those standards can be used as a part of the 25% requirement, if they were not part of the 2016 building code.
3. *Applicant proposed Condition 25.* The project remains as originally proposed with the front and rear development limit lines. Since the applicant has provided a letter from Above Grade Engineering stating the front development limit line is consistent with the conditions of approval at 20' from back of pavement and also that the Final Map is consistent with the SMA, we are requesting that the Planning Commission approve the project as presented. If the City determines that the project is consistent with the conditions of approval but feels that a certificate of correction is necessary to adjust the front and rear building envelope lines, we respectfully request that, as a part of the condition, it read "prior to issuance of a building permit".
4. *ESHA.* The project as presented shows a 50' setback from top of bank as determined by the biologist in the summer of 2017. The applicant will provide a statement from the biologist and project surveyor that the ESHA line has been accurately mapped.
5. *Landscape Plans.* The landscape plan has been revised to "more fully" develop the plan with better screening of Highway 1. In addition the landscape plan has been revised to tie the plant list to the landscape site plan.
6. *Solar.* The plans have been revised to show the solar panels. The potential solar panel glare will be mitigated by the selection of a non-reflective panel surface.

Thank you for your time and consideration in this matter. Please let me know if you have any additional questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Andres Eulate", with a long horizontal flourish extending to the right.

Andres Eulate
Project architect

cc:

Kevin Zinngabe
Al Marshall
Cathy Novak



Attachments:

- Above Grade Engineering letter
- Subdivision Map Act Section 66434.2
- Final Map
- Revised plan set
- List of modifications for plan sheets



SEA SHELL ESTATES

LOT 1

301 SEA SHELL COVE MORRO BAY, CA

Architecture, Planning & Graphics
3592 Sacramento Dr., Suite 140
San Luis Obispo, California 93401
805/541-5604 voice

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Project:

**SEA SHELL
ESTATES
LOT 1**

301 SEA SHELL COVE
MORRO BAY
CA 93442

Owner:
**TERESA
DRIVE
ESTATES, LLC**

541 E. CHAPMAN AVE. STE E
ORANGE CA, 92866
(949) 645 - 1000

Sheet Contents:

TITLE SHEET



Date: **10 MAY 2017**
Revised:
10 OCT 2017
1 DEC 2017
9 JAN 2018
5 FEB 2018

Job No: **1716**

Sheet:

T - 1

VICINITY MAP



DIRECTORY

ARCHITECT
FULTS & ASSOCIATES, LLP
3592 SACRAMENTO DRIVE, SUITE 140
SAN LUIS OBISPO, CA 93401
(805) 541-5604

GEOTECHNICAL
G.S.I. (GEO SOURCE)
1411 SUBURBAN ROAD
SAN LUIS OBISPO, CA 93401
(805) 543-5493

CIVIL ENGINEER - SURVEY
ABOVE GRADE ENGINEERING
1304 BROAD STREET
SAN LUIS OBISPO, CA 93401
(805) 540-5115

CIVIL ENGINEER - GRADING
ABOVE GRADE ENGINEERING
1304 BROAD STREET
SAN LUIS OBISPO, CA 93401
(805) 540-5115

LANDSCAPE ARCHITECT
SUMMERS MURPHY & PARTNERS
979 OSOS STREET, SUITE B6
SAN LUIS OBISPO, CA 93401
(805) 439-3209

GENERAL NOTES

- The General Contractor shall be responsible for verifying all existing conditions before commencing with any work.
- All work shall comply with all current codes, ordinances & regulations of applicable administrative authorities; 2016 CBC, GMC, GFC, CEC, CENC and CALGreen, City of Morro Bay, including the 2006 Public Works Department Engineering Standards.
- The building described on the following pages is equipped with a fire sprinkler system. Shop drawings shall be submitted and approved by the City Building and Fire Departments prior to fabrication and installation of the system. System design shall meet all requirements of State Fire Marshall, NFPA, and City regulations.

PROJECT SUMMARY

LEGAL:	TRACT 2070 SEA SHELL ESTATES LOT 1	
ZONING:	R-A/PD	
APN:	068-412-004	
LOT AREA:	.69 ACRES (30,038 SF)	
SETBACKS:	ALLOWED	PROPOSED
FRONT:	24 FT	24 FT 3 IN
NORTH SIDE:	5 FT	6 FT
SOUTH SIDE:	varies	49 FT 10 IN
REAR:	50 FT	50 FT 9 IN
	to top of bank	
BUILDING:		
HOUSE		2,118 SF
GARAGE		580 SF
COVERED PATIOS & DECKS		316 SF
TOTAL		3,014 SF
DRIVEWAY	1,200 SF	752 SF
FENCED YARD	1,000 SF	560 SF
LOT COVERAGE:	15%	
PERMEABLE SURFACE:	76%	
MAX HEIGHT:	ALLOWED: 18'-6" ABOVE NATURAL GRADE	PROPOSED: LESS THAN 18'-6"
CONST TYPE:	V-B	
OCCUPANCY:	R3	

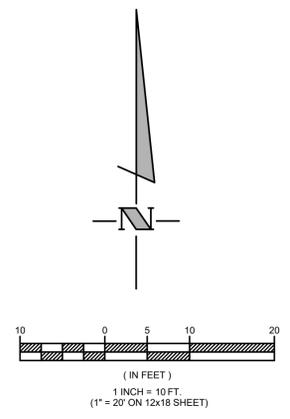
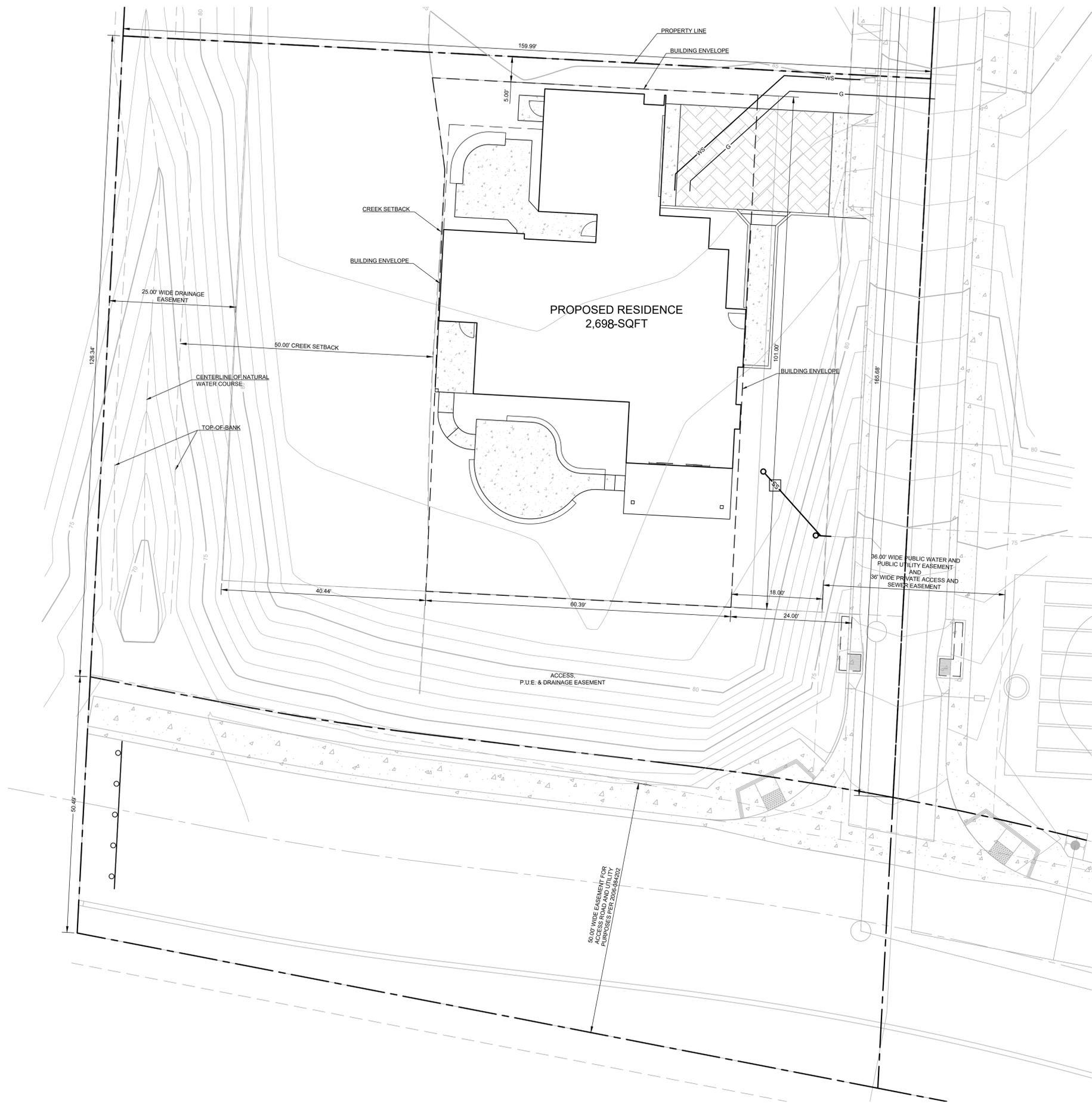
SHEET INDEX

T - 1	TITLE SHEET	
T - 2	CONDITIONS OF APPROVAL	
CIVIL		
C - 1	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN	
C - 2	SETBACKS & LOT DIMENSIONS	
LANDSCAPE		
L - 1	PLANTING PLAN	
ARCHITECTURAL		
AC - 1	SITE PLAN	
A - 1	FLOOR PLAN	
A - 2	EXTERIOR ELEVATIONS	
A - 3	EXTERIOR ELEVATIONS	
A - 4	SITE SECTION	
A - 5	DOOR & WINDOW SCHEDULES	
AE - 1	EXTERIOR LIGHTING PLAN	
	TOTAL	12 SHEETS

SYMBOLS

- ① — DIMENSIONAL GRID LINE
- ⊙ — DOOR MARK
REFER TO DOOR SCHEDULE
- ⊕ — WINDOW MARK
REFER TO WINDOW SCHEDULE
- ⊕ — WINDOW ABOVE
REFER TO WINDOW SCHEDULE
- — REFERENCE NOTE
- ① — DETAIL NUMBER
SHEET SHOWN ON
- ⊕ — SECTION
SHEET SHOWN ON

PLOT BY: AGE03 PLOT DATE: Feb 06, 2018 - 3:02pm Drawing name: N:\2017\17022-Seashell-Lot-1\Engineering\Condos\Sheettiles-Civil\17022-C101-GD.dwg



ABOVE GRADE ENGINEERING
 1304 Broad Street
 San Luis Obispo, CA 93401
 phone: (805) 540-5115
 fax: (805) 540-5116
A California Corporation
 State License # 92255

SEASHELL ESTATES LOT 1
PROPERTY SETBACKS AND LOT DIMENSIONS

NO.	REVISION	DATE

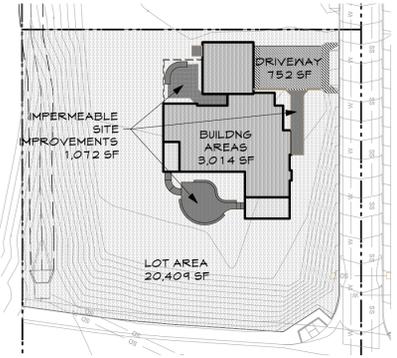
DESIGNED: SJS
 DRAWN: DLL
 JOB NUMBER: 17022
 SHEET:
C-2
 DATE: FEBRUARY 6, 2018



SITE PLAN AREA NOTES

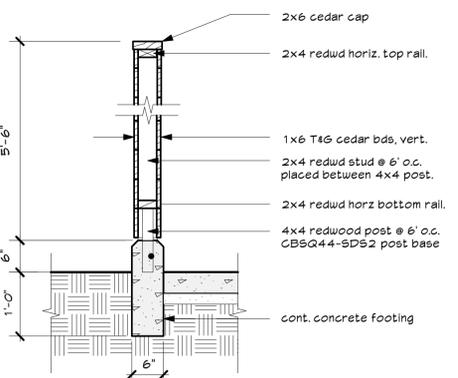
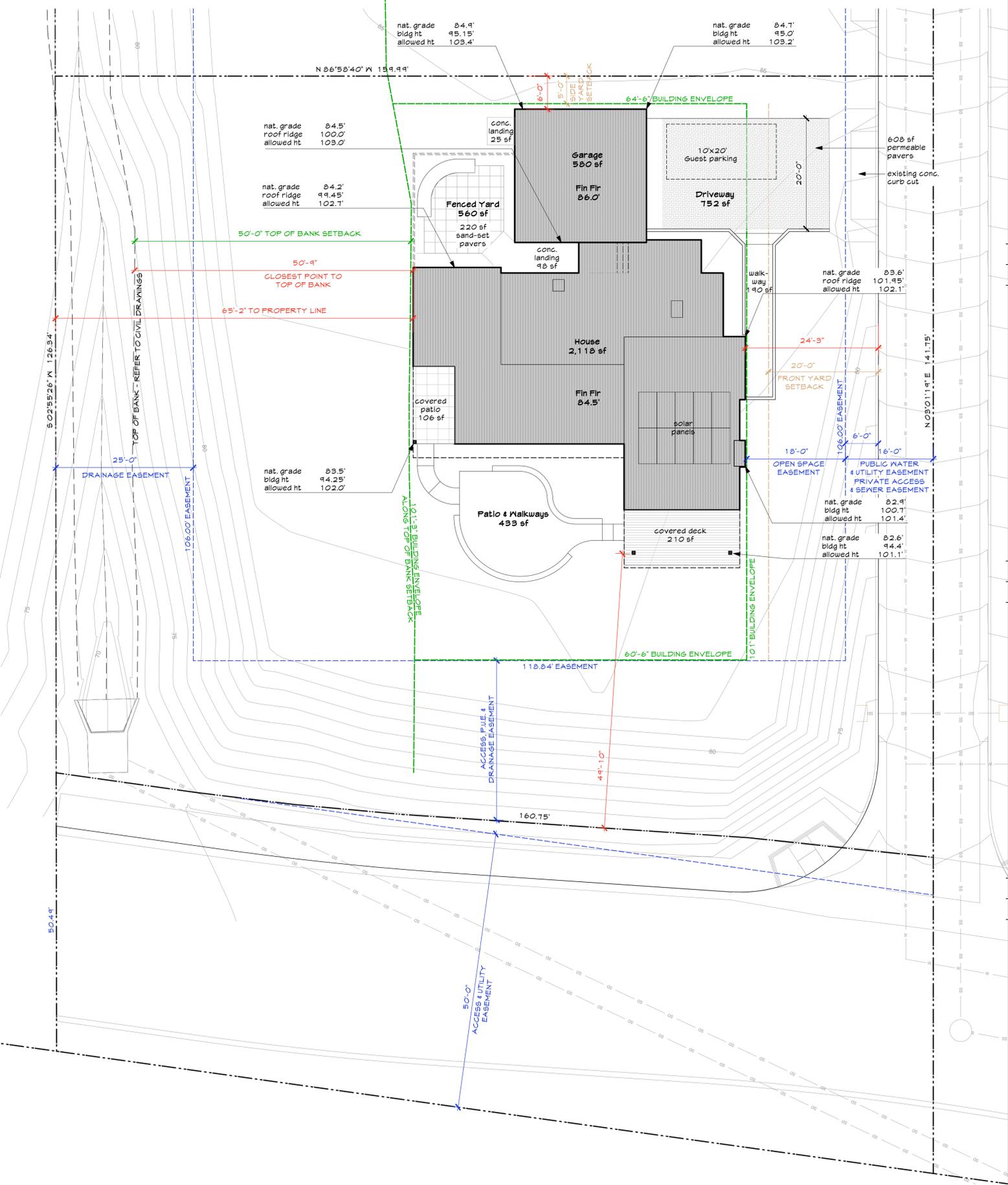
	PROPOSED	ALLOWED
1. SITE IMPROVEMENTS (Including patios under 30', planters, stairs & retaining walls)	910 sq.ft.	2,000 sq.ft.
2. PRIVATE FENCED YARD	560 sq.ft.	1,000 sq.ft.
3. BUILDING FOOTPRINT House Garage Covered Patios & Decks Total	2,118 sq.ft. 580 sq.ft. 316 sq.ft. 3,014 sq.ft.	3,600 sq.ft.
4. DRIVEWAY (Not including existing curb cut)	770 sq.ft.	1,200 sq.ft.
5. PERMEABLE SURFACE CALCULATION Lot Area **** Impermeable Areas Building & Covered Areas Impermeable site imprcvts Driveway (w/600 sf pavers) Total Impermeable Areas Permeable Area Percentage	20,409 sq.ft. 3,014 sq.ft. 3,014 sq.ft. 1,072 sq.ft. 752 sq.ft. 4,836 sq.ft. 76%	min 20%
6. LOT COVERAGE Lot Area **** Building Footprint Lot Coverage	20,409 sq.ft. 3,014 sq.ft. 15%	45%
7. LANDSCAPED AREA	3,289 sq.ft.	
8. AREA OF SITE DISTURBANCE	0.25 acres	
9. SETBACKS/BUILDING ENVELOPE LIMITS FRONT YARD* SIDE YARD NORTH SIDE YARD SOUTH** REAR YARD**	24 ft 3 in 6 ft 49 ft 10 in 50 ft 3 in to top of bank	24 ft 5 ft varies 50 ft to top of bank

* Public water and utility easement measures 16' from property line. Open space easement measures 18' beyond public water and utility easement.
** Top of bank setback established per Environmental Condition, Biological Resources #4b.
*** FUE and drainage easement boundary is parallel to and 106.00 ft south of northern property line.
**** Lot Area for permeable surface calculation and lot coverage was measured from the back of curb and sidewalk at street sides and to property lines on north and west sides. See diagram on 51/AC-1.



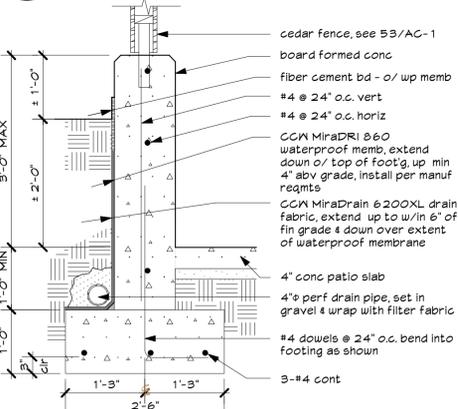
51 AREA DIAGRAM

1" = 40' - 0"



53 FENCE

3/4" = 1'-0"



54 RETAINING WALL

3/4" = 1'-0"

CONCEPTUAL SITE PLAN

1" = 10' - 0"

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San Luis Obispo, California 93401
805/541-5604 voice

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Project:

SEA SHELL ESTATES LOT 1

301 SEA SHELL COVE
MORRO BAY
CA 93442

Owner:
TERESA DRIVE ESTATES, LLC

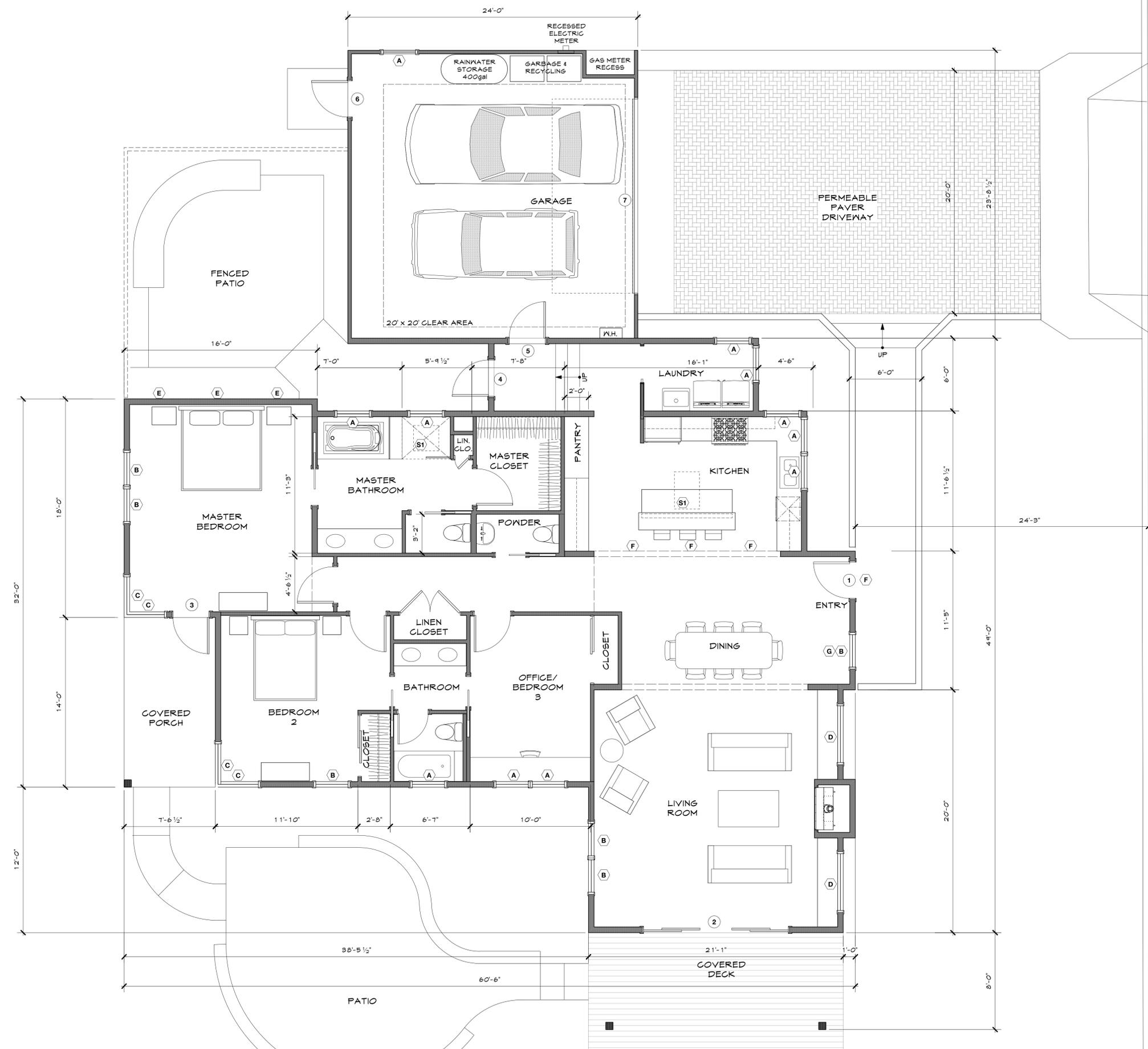
541 E. CHAPMAN AVE. STE E
ORANGE CA, 92866
(949) 645 - 1000

Sheet Contents:
FLOOR PLAN

Date: 10 MAY 2017
Revised: 27 NOV 2017
1 DEC 2017
9 JAN 2018
5 FEB 18

Job No: 1716

Sheet:



FLOOR PLAN
1/4" = 1' - 0"

Architecture, Planning & Graphics
3592 Sacramento Dr. Suite 140
San Luis Obispo, California 93401
805/541-5604 voice

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Project:

SEA SHELL ESTATES LOT 1

301 SEA SHELL COVE
MORRO BAY
CA 93442

Client:
THERESA DRIVE ESTATES, LLC

541 E. CHAPMAN AVE.
SUITE E
ORANGE CA, 92866
(949) 645 - 1000

Sheet Contents:
EXTERIOR ELEVATIONS



Date: 31 AUG 16
Revised: 9 JAN 2018
5 FEB 2018

Job No: 1628

Sheet:



SOUTH



EAST

GARAGE

Architecture, Planning & Graphics
3592 Sacramento Dr. Suite 140
San Luis Obispo, California 93401
805/541-5604 voice
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Project:
SEA SHELL ESTATES LOT 1
301 SEA SHELL COVE
MORRO BAY
CA 93442

Client:
THERESA DRIVE ESTATES, LLC
541 E. CHAPMAN AVE.
SUITE E
ORANGE CA, 92866
(949) 645 - 1000

Sheet Contents:
EXTERIOR ELEVATIONS



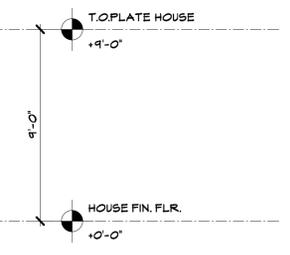
Date: 31 AUG 16
Revised: 4 JAN 2018
5 FEB 2018

Job No: 1628

Sheet:



NORTH

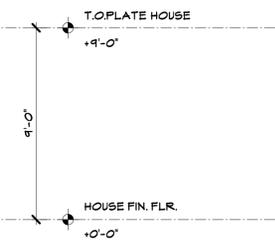


6 FT FENCE

18'-6"
HEIGHT LIMIT



WEST





Architecture, Planning & Graphics
3592 Sacramento Dr., Suite 140
San Luis Obispo, California 93401
805/541-5604 voice

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Project:

**SEA SHELL
ESTATES
LOT 1**

301 SEA SHELL COVE
MORRO BAY
CA 93442

Owner:

**TERESA
DRIVE
ESTATES, LLC**

541 E. CHAPMAN AVE. STE E
ORANGE CA, 92866
(949) 645 - 1000

Sheet Contents:

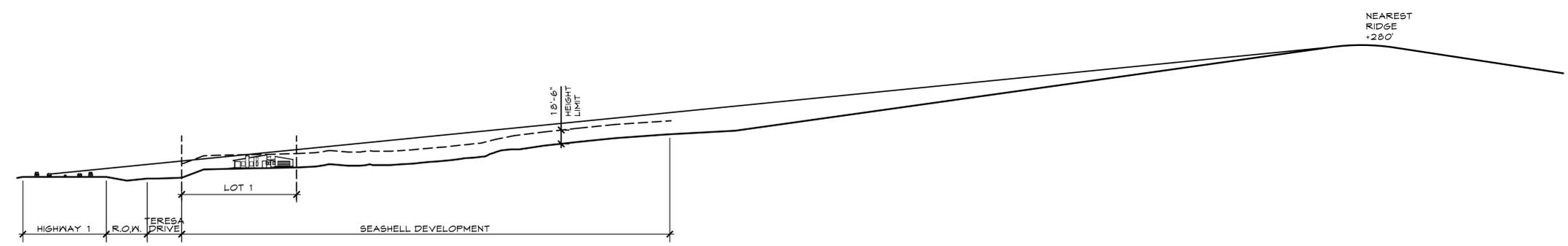
**LINE OF SIGHT
STUDY**



Date: 10 MAY 2011
Revised: 4 JAN 2018

Job No: 1716

Sheet:



SITE SECTION SHOWING LINE OF SIGHT TO NEAREST RIDGE
1:1,000

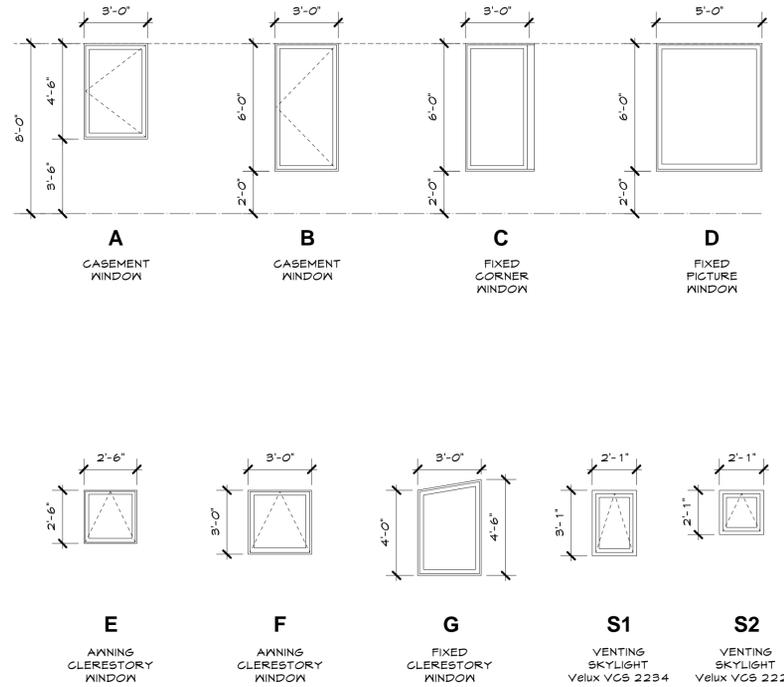
WINDOW SCHEDULE

SYM	SIZE		FRAME	TYPE	REMARKS
	WIDTH	HEIGHT			
A	3'-0"	4'-6"	ALUM GLAD WOOD	CASEMENT	
B	3'-0"	6'-0"	ALUM GLAD WOOD	CASEMENT	
C	3'-0"	6'-0"	ALUM GLAD WOOD	PICTURE	CORNER WINDOW
D	5'-0"	6'-0"	ALUM GLAD WOOD	PICTURE	
E	2'-6"	2'-6"	ALUM GLAD WOOD	AWNING	
F	3'-0"	3'-0"	ALUM GLAD WOOD	AWNING	
G	3'-0"	4'-6"	ALUM GLAD WOOD	PICTURE	

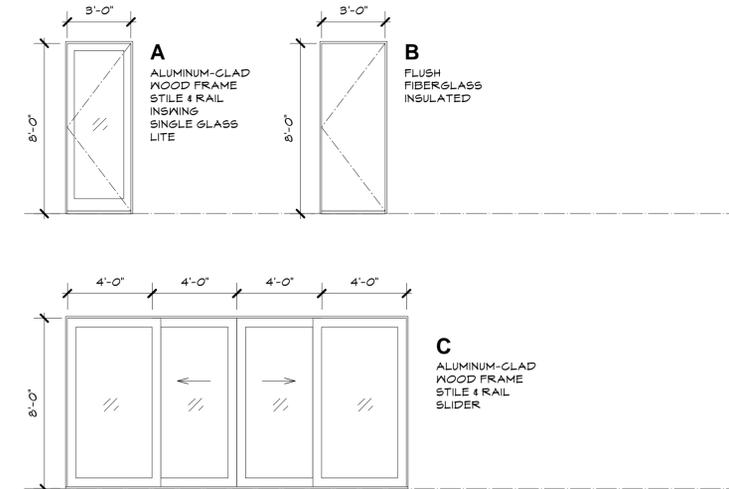
DOOR SCHEDULE

DOOR NO	TYPE	FRAME TYPE	DIMENSION			LOCKSET	REMARKS
			WIDTH	HEIGHT	THK		
1	A	ALUM GLAD WOOD	3'-0"	8'-0"	1-3/4"		FRONT DOOR
2	C	ALUM GLAD WOOD	16'-0"	8'-0"	1-3/4"		LIVING ROOM SLIDER
3	A	ALUM GLAD WOOD	3'-0"	8'-0"	1-3/4"		BEDROOM
4	A	ALUM GLAD WOOD	3'-0"	8'-0"	1-3/4"		BACK DOOR
5	B	FIBERGLASS/INSUL'D	3'-0"	8'-0"	1-3/4"		GARAGE INTERIOR
6	B	FIBERGLASS/INSUL'D	3'-0"	8'-0"	1-3/4"		GARAGE EXTERIOR
7	A	FIBERGLASS/INSUL'D	16'-0"	7'-0"	1-3/4"		ROLL-UP GARAGE DOOR

WINDOW TYPES



DOOR TYPES



Architecture, Planning & Graphics
 3592 Sacramento Dr., Suite 140
 San Luis Obispo, California 93401
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 ORANGE CA, 92866
 (949) 645 - 1000

Sheet Contents:

WINDOW SCHEDULE



Date: 1 DEC 2017
 Revised: 4 JAN 2018

Job No: 1716

Sheet:

A - 5

Architecture, Planning & Graphics
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CA 93442

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ORANGE CA, 92866
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Sheet Contents:

EXTERIOR LIGHTING PLAN



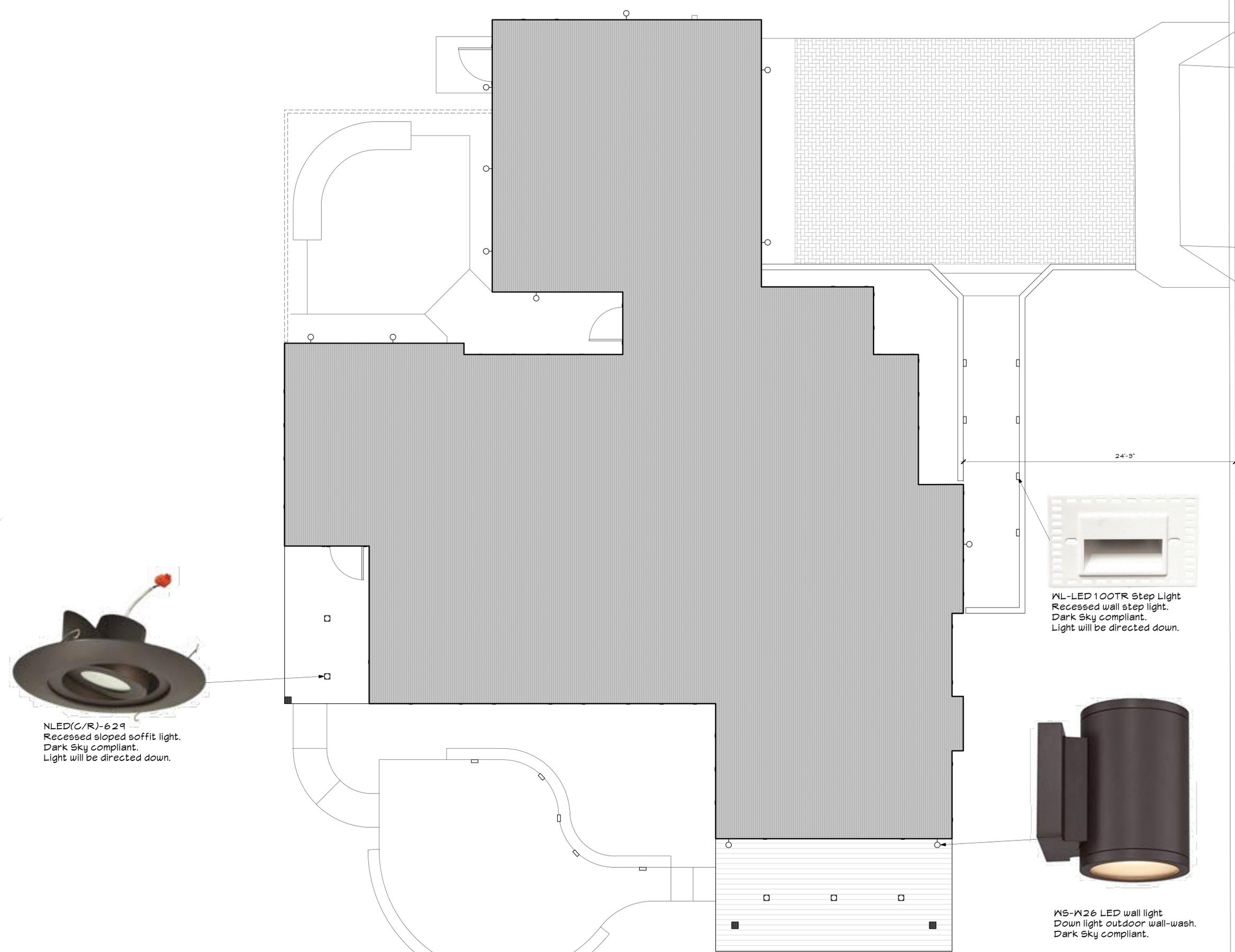
Date: 10 MAY 2017

Revised: 5 FEB 2018

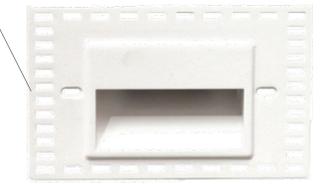
Job No: 1716

Sheet:

AE - 1



NLED(C/R)-629
Recessed sloped soffit light.
Dark Sky compliant.
Light will be directed down.



WL-LED100TR Step Light
Recessed wall step light.
Dark Sky compliant.
Light will be directed down.



WS-W26 LED wall light
Down light outdoor wall-wash.
Dark Sky compliant.



AGENDA NO: B-2

MEETING DATE: March 6, 2018

Staff Report

TO: Planning Commissioners

DATE: February 28, 2018

FROM: Cindy Jacinth, Associate Planner

SUBJECT: 885 Embarcadero - Request for Amendment (#A00-052) of Conditional Use Permit # CUP 16-92 for renovation of existing commercial restaurant, enclosing existing 157sf outdoor rear patio area, an addition of 327sf at building front, proposed roofing, façade changes. Proposed project also includes deck repair, replacement and relocation of existing floating dock with expansion of water lease. This project is located within the WF/PD/S.4 zoning district and within the original jurisdiction of the California Coastal Commission.

RECOMMENDATION:

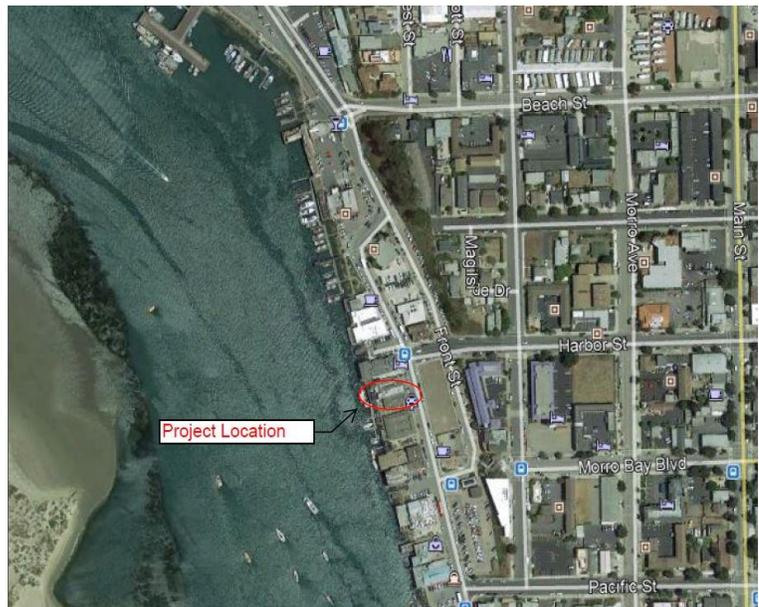
CONDITIONALLY APPROVE THE PROJECT by adopting a motion including the following action(s):

Adopt Planning Commission Resolution 05-18 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated December 22, 2017 (Exhibit D).

APPLICANT/AGENT: Cliff Branch / Cathy Novak Consulting

LEGAL DESCRIPTION/APN:
City lease sites 90 and 90W / 066-352-054

PROJECT SUMMARY: The Applicant is seeking an Amendment to Conditional Use Permit #CUP 16-92 to allow renovation of the existing Otter Rock restaurant



Prepared By: CJ

Department Review: _____

with both interior and exterior changes as well as bayside deck repairs and replacement and relocation of an existing floating dock system.

PROJECT DESCRIPTION DETAILS:

The Applicant has provided a detailed project description (Exhibit B) which itemizes the complete scope of work relative to the interior remodel of the building, roofing changes, front façade changes, as well as deck repair work, dock reconstruction/relocation, and pile work. The project description also includes construction details, method of construction along with general housekeeping Best Management practices (BMP).

Interior Renovation

Plans show the existing front of the building will be expanded by 327 sf to accommodate a new hostess area and customer reception area and improve building circulation (elevations, plan sheet P3.1). The outdoor waterwheel feature will be removed and the trash enclosure will be relocated outside from its current indoor location (floor plan sheet P2.1).

At the rear of the building, an existing 157sf of outdoor patio area will be enclosed to add new interior customer dining. The wall will be reconstructed with windows along the west elevation to improve bay views. In addition at the rear of the restaurant, an existing canvas covered dining area will be enclosed with a new wall and windows on the west side of the building. The roof will be redesigned to extend over the dining areas and tie into the existing restaurant portion of the building. These two areas of expansion total an addition of 484 square feet to the existing building.

In addition, other interior renovations include expanded customer dining, new restaurant hostess reception, bathroom remodel, HVAC equipment. (Exhibit B – Applicant Project Description).

Deck Repair & Dock Relocation

As shown on plan sheet P5.0, the existing concrete deck and support components are proposed for repair. The project also includes reconstruction and relocation of an existing 6' x 60' floating dock. The new location would be moved westward approximately 23 feet and is proposed as 6' x 42' in length. The relocation is proposed in order to tie into the Boatyard dock replacement project previously approved by the Planning Commission in May 2017. Two existing piles are proposed for removal and one new 18" steel pile is proposed to support the dock in its new proposed location. As part of the dock reconstruction, the water lease line boundary will be expanded westward to add 2250sf to the water lease area aligning with the water lease line

boundary to the south. The Harbor Department has reviewed the proposed lease line amendment request and has conditioned the project accordingly (Harbor condition 1).

The goal of the new dock project is to enable a more functional layout of the existing floating dock system which is accessed from the neighboring lease site to the south (the Boatyard project).



PROJECT SETTING:

The location is a City lease site (90/90W), occupied by a single-story commercial building containing the Otter Rock Restaurant and a gift shop. This lease site also has an existing floating dock.

<u>Adjacent Zoning/Land Use</u>			
North :	Waterfront (WF/PD, S.4) visitor-serving, commercial,	South	Waterfront (WF/PD, S.4) visitor-serving commercial and fishing dock
East:	Commercial Visitor-Serving(C-VS, PD/S.4), Commercial, vacant lot	West:	Harbor

Site Characteristics

Overall Site Area	Land lease: 4,774sf Water lease: 2,530sf (project includes water lease site (#90W) expansion to 4,805sf).
Existing Use	City land and water lease – Existing use is visitor-serving restaurant and retail space. Existing floating dock.
Terrain	Land portion previously developed and paved surface
Vegetation/Wildlife	No eelgrass within lease site area.
Access	Embarcadero
Archaeological Resources	No known resources.

General Plan, Zoning Ordinance & Local Coastal Plan Designations

General Plan/Coastal Plan Land Use Designation	Coastal dependent
Base Zone District	WF, Waterfront Zoning district
Coastal Land Use Plan	Planning Area 6 - Bayfront
Zoning Overlay District	PD, Planned Development overlay
Special Treatment Area	S.4
Combining District/Spec. Plan	N/A
Coastal Zone	Coastal Commission original jurisdiction. Applicant required to obtain Coastal Development permit from Coastal Commission prior to issuance of any building permit.
Parking Requirements	Docks: 1 space per 35 lineal feet. Passenger for hire vessels are 1 space per 6.5 lineal feet of boat length (Plan sheet P0.0 incorrectly states 1 space per 6 feet of boat length). Restaurant: 1 space per 60 square feet of customer dining area. Retail: 1 space per 300 square feet (no change proposed) The proposed expansion of dining area will result in additional parking spaces required as calculated on plan sheet P0.0. Under the City Council parking in-lieu Resolution 54-16, parking in-lieu fees for the first 4 required spaces can be waived, and in-lieu fees reduced to only \$500 for the remainder of the required spaces. Applicant has been conditioned accordingly. (Planning condition 13). Also, see parking analysis discussion

below.

PROJECT BACKGROUND:

The original permit #16-92 was approved by the City as a Concept and Precise Plan approvals in 1992/1993 and then subsequently amended twice as detailed below.

CUP 16-92

CUP 16-92 was approved by the Planning Commission and City Council in December 1992 and April 1993 to allow the demolition of a former marine/abalone facility and construction of a retail store and take-out restaurant.

1994 Minor Amendment

The Precise Plan CUP was amended by Planning Commission on 2-7-1994 to allow construction of glass doors on the street side of the building just behind the existing water wheel. This amendment was for the purpose of the glass doors to act as a windscreen.

1995 and 1996 Major Amendment

The Precise Plan CUP was amended by Planning Commission in both 1995 and 1996. In 1995, the amendment allowed for conversion of the rear deck areas to outdoor seating. In the 1996 amendment, the Planning Commission amended the CUP to modify the original approval of a take out restaurant to a full service restaurant.

The proposed renovation would update the existing restaurant's interior space with a more functional restaurant layout, while also taking advantage of bayside views with creation of a wall of windows along the entire west side of the building to improve customer dining experience. The rear outdoor dining area adjacent to the rear exit would be enclosed with the wall reconstructed to enhance views of the bay.

WATERFRONT MASTER PLAN

Public Access

The project has an existing 10 foot lateral accessway. No changes are proposed which would narrow the width of this access. A lease site of this size would ordinarily require a portion of the width to be vertical access, but the previous 1996 approval waived the vertical access requirement (Finding #5 of Exhibit C) based on the existence of vertical access within 100 feet of the proposed project.

The proposed repair work will require the closure of the public bayside lateral access

area located directly behind the Otter Rock building for a period of 45 days, based on the need to reconstruct the existing floating dock (Planning condition 11). Plan sheet P1.2 depicts the areas proposed to be temporarily closed off during construction. During the 45 day closure, vertical public access to the bay (on the north and south sides of the building will still be available, but the lateral access walkway immediately west of the Otter Rock will be closed during construction. A visual simulation of the existing and proposed building façades is shown on plan sheet 4.0.

Plan sheet P1.1 shows a proposed interpretive sign to be installed. Similar to recent waterfront projects, the Applicant is proposing to develop the interpretive sign content through coordination with the Historical Society. The final form and content of the sign has been conditioned to be subject to review and approval by the Community Development Director (Planning condition 12). Proposed public coastal access signage is shown on the plans at the northwest (proposed) and southwest (existing) corners of the building. The new sign proposed at the northwest locations will be similar in design to the existing sign (plan sheet 4.4).

Height

The building height is existing at 17 feet. The portions of new roofing are proposed at no higher than 14 feet consistent with the Waterfront Master Plan. Therefore, it meets the requirements for both height and sloping roof treatment as shown on plans.

Planned Development Overlay

Pursuant to the City's Planned Development overlay requirements (MBMC 17.40.030), the Applicant has submitted proposed color and materials for the project (plan sheet P4.1 of Exhibit D) and as shown below. The intent of the renovation is to retain the original building character with the rock façade, existing yellow paint color to remain, with rear color repainted to match the front. The new roof material finish is proposed to match existing and the new wall along the west elevation is proposed with white aluminum clad windows and white hardie board trim. The front elevation of the building is proposed to change with the removal of the existing waterwheel feature in order to accommodate an expanded customer reception area, with a proposed white solid wood/window store front system, and gray composite fencing. Existing and proposed simulations are on plan sheet P4.0.

The restaurant's current trash enclosure is located just inside the restaurant. The renovation would remove this from the inside by constructing a screened trash enclosure with 6 foot wall and gate outside the restaurant to the right of the front doors as shown below in the simulations and also shown on the plan elevations (P3.1 and P4.0, P 4.1 of Exhibit D). The existing landscaping is proposed to remain, as identified

on the site plan, plan sheet P1.1.

In addition, the applicant is proposing no changes to the existing signage. The plan sheet elevations (sheet P3.0) indicate the existing 7-square foot Otter Rock sign, above the restaurant front door, will be relocated above the new door location in the expanded restaurant reception area at the front of the building.

Parking

The Applicant has provided a parking analysis of existing and proposed parking requirements based on all uses at this lease site. Although the floating dock to be reconstructed will be slightly smaller, the increased dining area triggers the need for additional parking spaces based on the City's Zoning Code requirement (MBMC 17.44.030) and as noted in the table above. In addition, the previous CUP 16-92 reviewed the parking requirement comparing the difference in use between indoor and outdoor dining requirements and conditioned the project to pay parking in lieu fees for 6.0 parking spaces. Due to the many amendments to this CUP over the years, City records do not indicate payment of the 6 parking inlieu spaces so the 1996 inlieu requirement for 6 spaces has been carried forward and included in the calculations for this project. If the Applicant is able to provide evidence of payment for these 6 spaces, the requirement could be deemed satisfied, otherwise Planning condition 13 reflects the parking in lieu requirement based on the previous 6 required space plus the requirement for the proposed project now.

Note that the plans incorrectly calculate the parking calculation for floating dock with passengers. MBMC 17.44.020.3m requires for passenger for hire vessels, one space for each six and one-half lineal feet of boat length, not one space per 6.0 lineal feet of boat length as identified on the plans. Based on this error, and the above discussion the net required parking would be 12 parking spaces not 11.4 spaces.

Pursuant to City Council resolution 54-16 which allows for parking in-lieu fees to be waived for the first four parking spaces, the remaining additional parking requirement of 8 spaces would be conditioned at \$500 per spaces, not 7.4 spaces as shown on the plans) The project has been conditioned accordingly for this parking in-lieu fee. (Planning condition 13).



ENVIRONMENTAL:

An eelgrass survey was performed by Tenera Environmental on October 12, 2017 and found no eelgrass within the project area. The applicant has included with the project description a description of BMPs to ensure that the project is consistent with the California Eelgrass Mitigation Policy (CEMP), as administered by the National Marine Fisheries Service (NMFS). In the event that eelgrass is found prior to the piling and dock work, in order to avoid potential impacts, the Applicant is proposing a pre-construction survey to be performed and the project has been conditioned accordingly to implement this Best Management Practice (BMP). (Planning condition 14).

Under the California Environment Quality Act (CEQA), the project based on size has been determined to be eligible for a categorical exemption pursuant to CEQA Exemption, Class 15301, Class 1e which allows for existing facilities where the addition to existing structures is not more than 2500sf and the new dock would not result in an increase of more than 50 percent or 10,000 square feet.

PUBLIC NOTICE:

Notice of a public hearing on this item was posted at the site and published in the Tribune newspaper on February 24, 2018, and mailed directly to all property owners and occupants of record within 500 feet of the subject site. The notices invited the public to attend the hearing and express any concerns they may have regarding the

proposed project.

CONCLUSION:

The project amendment would renovate an existing waterfront restaurant and floating dock system at a City lease site. The proposed renovations are intended to increase the aesthetics and customer dining experience by allowing for additional dining, and better facing views of the bay along the west elevation. The existing building has been incrementally remodeled over the years so that there are multiple rooflines that do not provide a unified roofing system as well as different paint schemes on the different elevations. The proposed project resolves this and streamlines the exterior façade and finishes while retaining the original building character. In addition, the reconstruction of the floating dock system will be phased to be constructed with the previously permitted Boatyard floating dock reconstruction. The expansion of the water lease site allows for the design of the Otter Rock floating dock to be integrated in design with the approved Boatyard floating dock system.

The project as proposed improves an existing visitor-serving use on the waterfront, maintains the existing 10 foot bayside lateral access and adds to the overall ambiance of the waterfront area. As conditioned, it would be consistent with the Waterfront Master Plan, the City's General Plan and Local Coastal Program (LCP) and the project amendment request is consistent with CUP 16-92. Staff recommends that the Planning Commission conditionally approve the amendment (#A00-052) to Conditional Use Permit #CUP16-92.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 05-18
- Exhibit B – Applicant's Project Description dated January 2018.
- Exhibit C – Conditional Use Permit #CUP16-92
- Exhibit D – Plans/ Reductions received December 22, 2017

EXHIBIT A

RESOLUTION NO. PC 05-18

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING AN AMENDMENT (CASE #A00-052) TO CONDITIONAL USE PERMIT (#CUP16-92) FOR RENOVATION OF THE EXISTING OTTER ROCK RESTAURANT, ENCLOSING 157SF REAR PATIO AREA, AN ADDITION OF 327 SF AT BUILDING FRONT, PROPOSED ROOFING AND FAÇADE CHANGES AS WELL AS PROPOSED DECK REPAIR, PILING REMOVAL, INSTALLATION OF 1 NEW PILE, AND REMOVAL AND RECONSTRUCTION OF EXISTING FLOATING DOCK AT 885 EMBARCADERO.

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on March 6, 2018, for the purpose of considering an amendment (#A00-052) to Conditional Use Permit #CUP 16-92; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

A. That for purposes of the California Environmental Quality Act, Case No. A00-052 is categorically exempt under Class 1e, Section 15301 for existing facilities which allows for additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet and where the new dock would not result in an increase of more than 50 percent of existing, and where the surrounding area is not environmentally sensitive based on the eelgrass planning survey prepared by Tenera Environmental dated October 12, 2017 which found no eelgrass within the project area. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

A. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that the restaurant

EXHIBIT A

renovation, new commercial square footage of 484square feet, roofing, and facing changes, deck repair, reconstruction of floating dock and new pile at 885 Embarcadero are designed to enhance an existing visitor-serving and water recreation facility, that as designed will provide additional waterfront amenities, an enhanced customer dining experience with improved interior views of the bay, meets the maximum height requirement, all of which project components are permitted uses within the zoning district and said structures comply with all applicable project conditions and City regulations and is consistent with the City's Local Coastal Program.

- B. The project will not be injurious or detrimental to property and improvements in the neighborhood and the general welfare of the City in that the proposed restaurant remodel and reconstructed floating dock and deck repair in tandem with the work proposed by the same Applicant at the neighboring lease site to the south known as the Boatyard seeks to provide a permanent structural solution to the seawall which previously received emergency repairs in 2016 and the commercial remodel of the restaurant will not increase height or impair views as all proposed roofing changes as well as interior changes are proposed to provide a visitor-serving dining experience to provide additional benefit and improvement to a visitor-serving commercial use and is consistent with the character of the existing development.

Waterfront Master Plan Findings

- A. The proposed project makes a positive contribution to the visual and public accessibility to the bay while increasing and maintaining commercial fishing industry:
- a. Meets the Waterfront plan height limit and maximum building coverage, bulk, and scale requirements in that the proposed project does not exceed development standards.
 - b. The proposed project provides the amenities identified in the WF Plan, facilitates pedestrian visual and physical access to the waterfront, and takes advantage of outward views and characteristics of the topography in that the restaurant renovation reconstructs the wall and windows along the west elevation and orients the interior floor plan to improve bay views and enjoyment. It preserves and enhances the views as seen from street-ends and around the building in that the proposed work does not increase height nor decrease from the existing 10 foot lateral accessway so that no views are obstructed.
 - c. The proposed project makes a positive contribution to the working fishing village character and quality of the Embarcadero area in that the new project will reconstruct and lengthen the existing floating dock designed to connect with the 5-2-2017 approved dock project at 845 Embarcadero also known as

EXHIBIT A

Planning Commission Resolution #05-18

Amendment #A00-052 to #CUP16-92

Page 3

the Boatyard and allows for recreational or commercial boat rental which will maintain and enhance views of the bay and will not cause view obstructions.

- d. The proposed project recognizes the pedestrian orientation of the Embarcadero by maintaining the existing 10 foot bayside lateral access and provides an interesting and varied frontage that will enhance the pedestrian experience along the waterfront in that the project will assist in the Harborwalk plan to continue public access along the waterfront and consistent with the character of the existing development.
- e. The project contains the elements of harmony, continuity, proportion, simplicity, and balance, and its appearance matches its function and the uses proposed in that the new dock slip, repaired seawall and public lateral access will be accessible to the public and also in that the modified dock system will more squarely align with the landside building and Harborwalk provides articulation that is consistent with the character of the existing development.
- f. The proposed project does not diminish, either directly or by cumulative impact of several similar projects, the use, enjoyment, or attractiveness of adjacent buildings and provides a visual and pedestrian transition to its immediate neighbor in that the project of the renovated restaurant, deck repair and dock reconstruction is consistent with the existing development and no changes to harborwalk lateral access orientation are proposed; and designed to blend in with existing development with the dock connecting to the adjacent lease site to the south also known as the Boatyard and is in keeping with the architectural style, massing, materials, scale, and use of its surroundings.

Architectural Consideration

- A. As required by Ordinance Section 17.48.200 the Planning Commission finds that the architectural treatment and general appearance of all proposed structures and open areas are in keeping with the character of the surrounding areas, are compatible with any design themes adopted by the city, and are not detrimental to the orderly and harmonious development; of the city or to the desirability of investment of occupation in the area.

Section 2. Action. The Planning Commission does hereby approve an amendment (#A00-52) to Conditional Use Permit #CUP16-92 subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated February 28, 2018, for the project at 885 Embarcadero depicted on plans dated December 22, 2017, on file with the Community Development Department, as modified by these

EXHIBIT A

conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for case #A00-052, unless otherwise specified herein.

2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the

EXHIBIT A

discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.

7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.
8. Conditions of Approval: The Findings and Conditions of Approval shall be included as a full-size sheet in the Building Plans.

Building Conditions:

Prior to issuance of a building permit:

1. The title sheet of the plans shall include:
 - a. Street address, lot, block, track and Assessor Parcel Number.
 - b. Description of use.
 - c. Type of construction.
 - d. Height of the building.
 - e. Floor area of the building(s).
 - f. Vicinity map.

All construction will conform to the 2016 California Building Code (CBC), 2016 California Residential Code (CRC), 2016 California Fire Code (IFC), 2016 California Mechanical Code (CMC), 2016 California Plumbing Code (CPC), 2016 California Electrical Code (CEC), 2016 California Energy Code, 2016 California Green Code (CGBC), and Accessibility Standards where applicable and all City codes as they apply to this project.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

2. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
3. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.

EXHIBIT A

4. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
5. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
6. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.

Conditions to be met during construction:

7. SITE MAINTENANCE. During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.

Conditions to be met prior to final inspection and issuance of certificate of occupancy:

8. Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.
9. A licensed surveyor or engineer shall verify roof elevations, prior to roof sheeting inspection, when determined necessary by the Planning Division.

Fire Conditions:

1. Fire Safety. during Construction and Demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Automatic Fire Sprinklers. The applicant shall provide fire sprinkler protection of all cantilevered water side elements, restaurant space, retail structure, and trash

EXHIBIT A

Planning Commission Resolution #05-18

Amendment #A00-052 to #CUP16-92

Page 7

area, in accordance with Morro Bay Municipal Code (Section 14.08.090(L)) and 2016 California Fire Code (Section 903).

3. Standpipes. Marinas and boatyards shall be equipped throughout with standpipe systems in accordance with NFPA 303. Systems shall be provided with hose connections located such that no point on the pier or float system exceeds 150 feet from the standpipe hose connection. (CFC 3604.2, 905, and MBMC 14.52.060)
4. Knox key box. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location (CFC 506). Provide a Knox Box on exterior of the structure, in an approved location. Please obtain a Knox application from Morro Bay Fire Department during business hours.
5. Fire extinguishers. One Provide one wall mounted 2A:10-B:C fire extinguisher, and approved signage, for each 3,000 square feet of light hazard fuel load, Travel distance shall not in accordance with California Code of Regulations, Title 19, Division 1.
6. Carbon monoxide. alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2).

Public Works Conditions:

The following Public Works conditions shall be satisfied with the Building Plan submittal:

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website. Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. Complete and submit with the building permit submittal the "SFR Performance Requirement Determination Form".
2. Construction: Locations of staging area and construction corridors shall be noted. Show plans to protect public from construction.
3. Frontage Improvements: Per MBMC 14.44.030, frontage improvements are required whenever the value of the proposed on-site improvements is greater

EXHIBIT A

than fifty percent of the value of the existing structure as determined by the City Engineer.

4. Sewer Lateral: Indicate and label new or existing sewer lateral and connection. If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit issuance. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans. A sewer backwater valve and downstream cleanout, extended to grade, shall be installed on the sewer lateral.
5. Sewer Backwater Valve: Indicate and label sewer backwater valve on plan. A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070).
6. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area. Show locations and types of BMP's to be installed.
7. Erosion and Sediment Control Plan: Note the beginning and end termini of the Floating Debris Barrier on Construction Plans. Silt screens and/ or straw waddles shall be needed to prevent demolition debris and sediments from entering the bay in the area of the relocated floating dock. The location of floating turbidity barriers shall be shown on construction plans. Location of construction fencing in this area should also be noted on the plans. All construction shall occur within the project footprint.
8. Fuels, oils and lubricants used in the course of construction are hazardous materials and appropriate Best Management Practices (BMPs) must be noted on the construction plans and used by your contractors. We would like to emphasize that these BMPs are conditions of the permit and apply to all construction areas. A designated material mixing, refuelling and equipment maintenance point should be designated on the Construction Plans and appropriate BMPs to control spills and runoff from storms or equipment washdown should be noted. The construction plans shall include a note to this effect that directs contractors and subcontractors to comply with all conditions of the permit throughout construction of this project.
9. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all construction underground service entrances per the CBC.

EXHIBIT A

Planning Commission Resolution #05-18

Amendment #A00-052 to #CUP16-92

Page 9

10. Encroachment Permits: A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.

Add the following Items/Notes to the Plans submitted for Building Permit Approval:

11. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Department located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.
12. Any damage to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
13. Due to mandatory water conservation requirements and stormwater requirements no pressure washing is allowed unless it is directly due to professional preparation of exterior painting of property. No discharge of non-stormwater is allowed into the municipal storm drain system and contractor must provide measures to prevent any discharge for entering the stormwater system.

Planning Conditions:

1. A Coastal Development Permit shall be submitted to the Community Development Department prior to issuance of a building permit.
2. Inspection: The applicant shall comply with all City conditions of approval and conditions imposed by the California Coastal Commission and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.
3. Floating dock. The floating dock shall be publicly available for general public pedestrian access and either short-term or long-term use by recreational or commercial boats. Signs discouraging the public from walking on the docks during daylight hours are prohibited. The docks shall be open to the general public during at least daylight hours (i.e. one hour before sunrise to one hour after sunset). Signage shall be provided on the floating dock and shown on the building plans submitted for approval stating that docks are available to the public for general pedestrian public access.

EXHIBIT A

Planning Commission Resolution #05-18

Amendment #A00-052 to #CUP16-92

Page 10

4. Prior to issuance of a building permit, the Applicant shall either acquire all required regulatory permits and authorizations (i.e. U.S. Army Corps of Engineers, Regional Water Quality Control Board, California Department of Fish and Wildlife), or submit documentation that such permits are not required.
5. Eelgrass – Applicant shall submit a pre-construction survey as required by the California Eelgrass Mitigation Policy (CEMP) to be completed within 30-60 days prior to issuance of a building permit. Post-construction survey shall be submitted if required by CEMP protocols. Any change in eelgrass extent shall be documented and reported to the Community Development Director. If the report identifies a reduction in eelgrass coverage then a plan shall be prepared to identify the appropriate mitigations necessary and in line with the specifications for mitigation of eelgrass habitat as provided for in the California Eelgrass Mitigation Policy, dated October 2014
6. A Marine Wildlife Contingency Plan shall be developed and approved by the City of Morro Bay prior to the initiation of pile driving activities. This plan shall describe specific methods that will be used to reduce pile-driving noise. Power to the pile driver shall be ramped up to allow marine wildlife to detect a lower sound level and depart the area before full-power noise levels are produced. The plan shall identify a USFWS-approved biologist to monitor all construction within the water-lease area who shall be retained by the applicant. The plan shall describe on-site marine wildlife monitoring and reporting requirements as well as identify specific conditions when the biological monitor shall be allowed to stop work, such as observance of a marine mammal within 100 feet of the project area. The biologist shall be responsible to monitor for compliance with all environmental mitigation measures, and regulatory permit conditions (as applicable). The approved biological monitor shall be present onsite during construction and shall have the authority to stop construction if any individuals of southern sea otter are seen within 100 feet of the project area. Construction will be allowed to resume after sighted otters have left the 100-foot radius of the project area. The species shall not be disturbed or forced from the project site by equipment, noise, or other disruptive activity. The monitor will have discretionary authority to temporarily halt the project if it is determined that the otter, or other marine mammal, could be affected by the project, even if the animal is beyond the 100-foot boundary. All construction crew employees shall be informed on the requirements of this condition.
7. A project-specific Oil Spill Response and Recovery Plan that includes specifics on reporting and response procedures, available on-site equipment and contracted services, and responsibilities shall be completed and approved prior to the initiation of construction activities. Specifically, the project shall include the following Best Management Practices (BMPs) and shall be included on building plans submitted for approval:

EXHIBIT A

Planning Commission Resolution #05-18

Amendment #A00-052 to #CUP16-92

Page 11

- a. No refueling of equipment without adequate containment and spill response equipment. The barge shall have only double contained fuel storage below decks, with the spill containment and clean up kits on-site and easily accessible. Spill containment and clean up kits shall include the following:
 - b. 150 feet Absorbent Boom 200 square feet Absorbent Tarp (for use during pile driving operations)
 - c. Barrel Absorbent Pads
 - d. Container Absorbent Granules
 - e. Rainwater runoff pollution from equipment stored on deck shall be prevented through ongoing equipment maintenance and appropriate double containment.
 - f. The work area shall be contained within a boom to prevent debris from falling into the water.
 - g. All equipment fueling shall take place on the barge, with containment in-place. No refueling between vessels shall occur.
 - h. An Absorption Tarp shall be placed underneath any portable equipment while in use.
 - i. No equipment shall be permitted to enter the water with any petroleum products.
 - j. All equipment used during pile driving operations shall be in good condition without fuel or oil leakage.
 - k. Should any equipment begin to leak, that equipment shall be removed immediately from the barge and repaired or replaced.
 - l. All vessels shall have portable, regularly serviced sanitation equipment. No overboard discharge is permitted.

8. Prior to issuance of a building permit, a pile driving plan and hydroacoustical noise mitigation plan shall be submitted to the Community Development Director to ensure that underwater noise generated by pile driving activities is minimized to the maximum extent feasible and does not exceed: (1) an accumulated 187 dB SEL as measured 5 meters from the source; and (2) peak dB above 208 dB as measured 10 meters from the source as determined by the Fisheries Hydroacoustic Working Group. In the instance anything other than a vibratory hammer is to be used for pile driving activities, the plan shall provide for a hydroacoustical monitor to ensure that underwater noise generated by pile driving activities does not exceed such limits. The plan shall identify the type of method used to install pilings. Vibratory hammers shall be used where feasible; if another method is used, a bubble curtain shall be employed to contain both noise and sediment. The plan shall also provide for additional acoustical BMPs to be applied if monitoring shows underwater noise above such limits (including, but not limited to, alternative pile driving methods (press-in pile placement, drilling, dewatered isolation casings, etc.) and additional noise dampening measures (sound shielding and other noise attenuation devices).

EXHIBIT A

9. Netting or fencing around and underneath the project site shall be installed to catch and remove debris released during and after construction.
10. To reduce potential turbidity-associated impacts, silt screens should be used when and where they will be effective. The relatively high tidal currents within Morro Bay could reduce the effectiveness of silt screens and should be considered prior to placing of these screens.
11. The public access closure shall be limited to no more than 45 days. Any extension of public access closure beyond 45 days shall be subject to review and approval by the Community Development Director.
12. An interpretive sign with content relating to the historical nature of Morro Bay shall be submitted for review and approval by the Community Development Director and shall be installed along the Harborwalk lateral access prior to final occupancy of the building permit.
13. Applicant shall contribute to the parking in-lieu fund for the required eight parking spaces generated by the addition of customer dining area as required by the City's Parking Ordinance. The required parking is calculated at 8 in lieu spaces which includes a previous requirement of 6 in lieu spaces from CUP16-92 approved on 4-15-1996 as condition 7 unless the Applicant provides evidence of having satisfied the 6 in lieu spaces, in which case the in lieu parking requirement would be reduced to 2 spaces. Pursuant to the City Council resolution 54-26 dated June 28, 2016, the amount of the parking spaces shall be calculated as: fees for the first four parking spaces are waived with the balance of required in lieu parking spaces calculated at \$500 each. The parking in-lieu requirement shall be paid prior to issuance of a building permit.

Harbor Department Condition:

1. Prior to issuance of a building permit, Applicant shall request in writing to the City to adjust the water lease lines boundary as described in the 3-6-2018 Planning Commission meeting staff report for purposes of the dock relocation project.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 6th day of March, 2018 _____ on the following vote:

AYES:

NOES:

EXHIBIT A

Planning Commission Resolution #05-18
Amendment #A00-052 to #CUP16-92
Page 13

ABSENT:
ABSTAIN:

Chairperson Gerald Luhr

ATTEST:

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 6th day of March, 2018.

**Project Description
Otter Rock Café Renovation and Deck Repair
Conditional Use Permit
January 2018**

Setting

The project site, 845 Embarcadero Road, is approximately 7,266 square feet (land lease is approximately 4,766 sq. ft. and water lease is approximately 2,500 sq. ft.). The property is located on the western side of Embarcadero Road and adjacent to the Anderson Inn, Galley and retail shop on the north and the Boatyard to the south. It is zoned WF/H (PD/S.4). The site currently has a one story building (restaurant and retail uses, the Harborwalk and floating docks.

Project Description

Summary: This site has an existing retail shop, restaurant/bar and floating dock. The proposed project is as follows:

1. Renovate the customer service area and provide ADA complaint restrooms.
2. Enclose the canvas covered restaurant seating area approximately 335 sq. f.t
3. Add an additional restaurant area by enclosing the approximate 157 sq. f.t outdoor patio area within the building footprint.
4. Repair concrete piers/beams/concrete deck under western portion of existing building.
5. Relocate the existing floating dock approximately 23' to the west. Passengers-for-hire vessels are additionally proposed.
6. Expand the existing water lease by approximately 2,250 sq. ft.
7. Relocate existing trash containers to the exterior of the front doors and provide new customer reception area.
8. Remove existing exterior waterwheel and maintain existing landscaping.
9. Removal and redesign existing roof over the dining area to tie in the new wall and window addition on the west side of the building.
10. Extend the design of the roof over the eastern side of the building.
11. Replace HVAC equipment.
12. Repave the existing concrete entry walkway into building to meet ADA standards.

Proposed restaurant/bar renovations: There is currently a canvas shaded dining area approximately 335 sq. f.t and an open air patio that is approximately 157 sq. f.t. The project as proposed will enclose the outdoor patio within the building and a new roof will cover the area. In addition a new customer reception area will provide a friendly entrance to the restaurant and the existing restrooms will be remodeled to

Exhibit B

meet ADA standards. The original building character will remain with the new wall alterations.

Proposed deck repair work: The existing piers, beams and concrete supports are in need of repair. All necessary components will be repaired or replaced where necessary.

Proposed floating dock relocation and pile work: The project as proposed will relocate the existing floating dock westward approximately 23 feet from its present location. In addition the existing dock is approximately 6' wide by 60' in length. The proposed dock will be approximately 6' wide by 42' in length (approximately 6' extends into lease site 89W in order to connect the dock system with the proposed new docks at the Boatyard). Access to this dock is through the gangway located at lease site 89W and remains as such.

There are two existing pilings that support the current dock. These piles will no longer be necessary so therefore the piles will be removed. One new 18" steel pile is proposed at the end of the relocated dock for support.

The floating dock will be used for berthing, boat rentals and passengers-for-hire vessels.

Eelgrass:

As indicated in the Eelgrass Survey report by Tenera report, October 12, 2017, there is no eelgrass present at this site.

In conclusion it is proposed that the project include the following to address any future eelgrass:

1. A pre-construction survey will be performed prior to construction in accordance with the CEMP.
2. The findings will further determine whether future surveys are required for eelgrass in the project area and whether eelgrass could be affected by the dock relocation.
3. If the eelgrass is present measures such as deployment of the buoys, if feasible, prior to construction to delineate the eelgrass patches may be proposed to avoid any patches that are discovered.
4. If eelgrass is present in the area where the dock relocation is proposed, at least one post-construction survey will be done.
5. Any longer-term impact such as a decline from shading by the relocated dock and boats using the relocated dock, could involve multiple post-construction surveys and over a longer time period in accordance with the CEMP.

Proposed water lease boundary line adjustment: The existing water lease is approximately 2,500 sq. ft. and the existing floating dock is within the lease site boundary line. The proposed project will add approximately 2,250 sq. ft. (45' by 50') to the water lease area to accommodate the dock relocation. The dock relocation will

Exhibit B

be approximately 14 feet from the edge of the navigation channel so it will not interfere with the boating traffic.

Project construction work and timing:

The landside of the project will require the temporary closure of the Harborwalk area as defined on plan sheet #P1.2 for the deck repair and other building construction which is estimated to be approximately 45 days. The pedestrian area will be closed up to 45 days and in the event the construction activities have not been completed, the applicant is required to get a time extension from the City for the additional closure. An unobtrusive fence or equivalent measure will delineate the construction areas. Since there is no alternative route for the public pedestrian access along the water side during construction, the public will only be allowed to walk up to the construction fence and then will need to exit via the same path they walked in. Appropriate signage informing the public that the access way is temporary closed for construction will be placed at the northern, southern and eastern entry points.

Project construction method: The project as proposed will utilize a spud barge as the platform for the pile driving work. A vibratory hammer will be used for the pile installation to minimize underwater noise impacts to the greatest extent feasible.

Project construction laydown areas: The materials and other equipment will be stored on the work barge or at Associated Pacific's yard (located at 495 Embarcadero Rd.).

Project construction documents and coordinator: A copy of the construction documents will be maintained in a conspicuous place on the job site at all times and available for public review on request.

The project construction coordinator will be Associated Pacific Constructors. Should any questions arise during construction, an address and phone number (available 24 hours a day) will be posted at the job site so that the contact information is readily visible from a public area. The construction coordinator shall record the name, phone number, and nature of all complaints received regarding the construction, and shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.

Project construction BMP's: The project as proposed includes the following safeguards, mitigation measures, actions, and procedures for the protection of the marine environment:

Standard BMP's:

- I. **Material Containment:** Particular care shall be exercised to prevent foreign materials (e.g. construction scraps, wood preservatives, other chemicals, etc.) from entering harbor or other state waters. Where additional wood preservatives must be applied to cut-wood surfaces, the materials, whenever feasible, shall be treated at an onshore location to preclude the possibility of spills into harbor or other state waters. A containment boom shall be placed

Exhibit B

around all active portions of a construction site where wood scraps or other floatable debris could enter the water. Also, for any work on or beneath fixed decks, heavy-duty mesh containment netting shall be maintained below all work areas where construction discards or other materials could fall into the water. The containment boom and net shall be cleared daily or as often as necessary to prevent accumulation of debris. Contractors shall insure that work crews are carefully briefed on the importance of observing the appropriate precautions and reporting any accidental spills. Construction contracts shall contain appropriate penalty provisions, sufficient to offset the cost of retrieving or cleaning up improperly contained foreign materials.

2. **Construction Plan:** All erosion control/water quality best management practices to be implemented during construction and their location shall be noted on the plan. Silt fences, or equivalent apparatus, shall be installed at the perimeter of the construction site to prevent construction- related runoff and/or sediment from entering into the Pacific Ocean to the maximum extent feasible. The Construction Plan shall, at a minimum, include the following required criteria specified via written notes on the Plan:
 - A. All work shall take place during daylight hours. Lighting of the beach and water area is prohibited.
 - B. All construction materials and equipment placed on the land during daylight construction hours shall be stored beyond the reach of tidal waters. The only exceptions shall be for: (1) erosion and sediment controls (e.g., a silt fence at the base of the piles) as necessary to contain runoff and/or sediments at the construction site, where such controls are placed as close to work area as possible, and minimized in their extent; and (2) storage of larger materials beyond the reach of tidal waters for which moving the materials each day would be extremely difficult.
 - C. Construction (including but not limited to construction activities, and materials and/or equipment storage) is prohibited outside of the defined construction, staging, and storage areas.
 - D. Equipment washing, refueling, and/or servicing shall not take place on the beach or pier.
 - E. All materials shall be properly stored and contained so that these products will not spill or otherwise enter the coastal environment.
 - F. Equipment washing, refueling, and/or servicing shall not take place over the water.
 - G. The construction site shall maintain good construction site housekeeping controls and procedures (e.g., clean up all leaks, drips,

Exhibit B

and other spills immediately; keep materials covered and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly, place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather; remove all construction debris from the beach).

- H. The Coastal Commission's Central Coast District Office shall be notified at least 3 working days in advance of commencement of construction, and immediately upon completion of construction.
3. Contractors shall insure that work crews are carefully briefed on the importance of observing the appropriate precautions and reporting any accidental spills. Construction contracts shall contain appropriate penalty provisions, sufficient to offset the cost of retrieving or cleaning up improperly contained foreign materials.
 4. All construction shall be undertaken in accordance with the approved Construction Plan. Any proposed changes to the approved Construction Plan shall be reported to the Executive Director. No changes to the approved Construction Plan shall occur without a coastal development permit or waiver unless the Executive Director determines that no coastal development permit or waiver is necessary.

Marine pile driving BMP'S: The project contractors will employ all Best Management Practices required to mitigate any spill risks. The contractor will minimize the source of risks and thereby reduce overall spill and pollution risks on this project. Additionally, this project does not involve any land based activities and there are no rainwater pollution issues from disturbed soil or stockpiles.

Specifically the Project spill and pollution risks will limit to the following:

1. No refueling of equipment without adequate containment and spill response equipment. The barge has only double contained fuel storage below decks, in compliance with all regulations.
2. Pollution from rainwater runoff from equipment stored on deck will be prevented by maintaining equipment regularly and having double containment when appropriate.
3. Debris dropped in the water will be contained within boom surrounding our work area.
4. No equipment will be permitted to enter the water with any petroleum products.

Exhibit B

5. Vessel will have portable, regularly serviced sanitation equipment. No overboard discharge is permitted.

Spills from Pile Driving Operations

1. The following measures will be employed to control the risks of fuel or oil spills from equipment during pile driving operations. a. All equipment used on the barge such as the crane, winches, welding machines and pile hammer, will be in good condition with no fuel or oil leakage.
2. Should any equipment begin to leak, that equipment will be removed immediately from the barge and repaired or replaced.
3. A spill kit will be maintained onsite, for use in containing and cleaning up minor equipment spills.
4. All equipment fueling will take on the barge, with containment in place. No refueling between vessels will be carried out on this project. (The barge has fuel tanks, below deck, onboard which is used to refuel all equipment onboard.
5. An absorbent tarp will be placed underneath the any portable equipment used in this operation.

Spill Containment and Cleanup Materials and Equipment Inventory

The contractor will maintain one spill containment and cleanup kits at the site consisting of the following items. The kit will be stored on the deck of the barge or below decks with easy access:

1. 150 feet Absorbent Boom 200 square feet Absorbent Tarp (for use portable during pile driving).
2. Barrel Absorbent Pads
3. Container Absorbent Granules

Preservative-Treated Wood BMP's:

1. **Responsibilities for Use of Preservative-Treated Wood for Piles and Overwater Structures.** The applicant shall comply with the following best management practices for the use of preservative-treated wood ("treated wood") in overwater structures, if utilized:
 - A. The wood preservative selected for use shall minimize the impact on coastal water quality and the aquatic environment.

Exhibit B

- B. Chemically-treated Douglas fir piles shall only be used for repair and replacement, or to visibly blend, and/or structurally integrate with, existing overwater structures.
- C. Decking shall consist of wood-alternative materials or AZCA-preserved lumber sea led with a penetrating coating. Alternatives to preserved woods, such as concrete, steel, fiberglass, or naturally decay resistant wood species, shall be prioritized over the use of chemically-treated wood.
- D. All preserved wood piles, and, where feasible, preserved wood structural members, shall be wrapped in, or coated with, water-tight, UV resistant material to prevent leaching of wood-preservative chemicals into the water column, and to prolong the life of the piles and structural timbers. For piles, protection shall extend two feet below the mudline and two feet above OHW, at a minimum, and wrappings shall be secured with corrosive resistant banding or self-tapping screws. Coatings and/or sealants used shall be products that are inert after they have cured and dried. No coal-tar sealants or coal tar-treated wood shall be used unless coated or wrapped with an inert material or product to isolate it from the marine environment.
- E. Design features, such as a protective wearing surfaces or bumpers, shall be installed on fender piles and floating dock pilings, where appropriate, to resist abrasion and preserve the pile-wrap or coating.
- F. The amount of preservative used for the piles shall be the minimum specified by the American Wood Protection Associate to effectively protect the piles. Wood treated to the standards for a higher Use Category (i.e., with a higher preservative retention level) than is necessary for that component shall not be used.
- G. Treated wood and treated wood debris shall be stored a minimum of 50 feet from coastal waters, drainage courses, and storm drain inlets. The treated wood and treated wood debris shall be stored on impervious pavement or an impervious tarp, and covered during rain events.
- H. If treated wood is sanded or sawcut during demolition, installation, or maintenance, all sawdust and debris generated shall be contained and removed.
- I. In order to minimize water quality impacts, piles shall be driven into the substrate, if feasible. If a water-jetting method must be utilized, silt curtains shall be installed in the work area to protect sensitive resources from turbidity.

2. **Responsibilities for Use of Coatings, Construction and Repair of Bulkheads and Overwater Structures.** The applicant shall comply with the following best management practices for the use of corrosion coatings, and repair of bulkheads and overwater structures:
- A. Coatings and sealants shall be composed of products that are inert after they have cured and dried. Fusion Bonded Epoxy, HDPE, and polyurea products are recommended. No coal tar-based sealants shall be used unless they are themselves coated or wrapped with an inert product to isolate them from the marine environment.
 - B. Installation and application of epoxy, resin, or cementitious grout/fill shall be conducted when predicted weather and ocean conditions allow effective control and full containment and will remain dry until cured, in order to prevent any leaching of uncured treatment materials into coastal waters. It is preferable to perform the work in dry conditions (low tide) or done off-site in a controlled-environment manufacturing facility, wherever feasible.
 - C. All cleaning and preparation of surfaces shall be done using wet vacuum techniques, containment booms or heavy mesh containment netting so that any debris, chips, dust, dirt, and fine particles are collected and disposed of in a location where they will not enter coastal waters.
 - D. Preparation of corroded concrete by chipping, v-notching, or demolition shall be conducted while using a wet vacuum or similar technique so that any debris, dust, and fine particles are collected and disposed of in a location where they will not enter coastal waters. Dip nets shall be on-site and used to retrieve debris if it accidentally falls into the water.
 - E. Methods to contain any leaks or spills of treatment materials during application shall be planned in advance, and any necessary equipment or supplies shall be readily accessible onsite. Any leaks or spills of anti-corrosion coatings, epoxy fillers, and waterproofing sealants shall be immediately cleaned up.
 - F. All pressure-injection and gravity-feed applications of epoxy, resin, or cementitious materials shall be closely monitored visually to ensure that these materials do not leak or spill into coastal waters during application.
 - G. Coatings and waterproofing sealants used in the field shall be carefully applied by brush or roller to limit application to the immediate surfaces intended for protection, and to prevent drips or spills into coastal waters.
 - H. All anti-corrosion coatings, epoxy fillers, and waterproofing sealants shall be properly stored and contained so that these products will not leak or spill, or otherwise enter the coastal environment.

Exhibit B

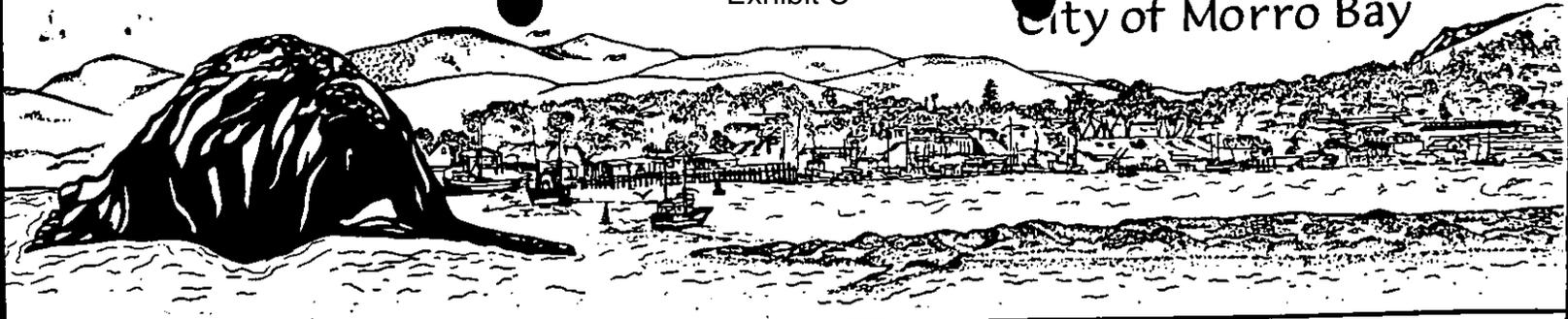
- I. Piles shall be driven into the substrate, if feasible, in order to minimize water quality impacts. If a water-jetting method must be utilized, silt curtains shall be installed in the work area to contain turbidity where coastal resources, such as benthic communities or eelgrass, may be at risk.
3. **Responsibilities for Building Concrete Foundations: Piles and Bulkheads.** The applicant shall comply with the following best management practices for constructing poured-in-place piles or constructing concrete foundations underwater, if utilized:
 - A. If feasible, the pour location shall be dewatered using a caisson or other barrier. The site shall remain dewatered until the concrete is sufficiently cured to prevent any significant increase in the pH of adjacent waters.
 - B. The tremie method may be used to construct concrete structures in-water or underwater. This method uses forms to receive wet concrete under water by inserting a plastic pipe down to the bottom of the form and pumping concrete into the form so that the water is displaced towards the top of the form. Displaced waters shall be pumped off and collected in a holding tank. The collected waters shall then be tested for pH. If the pH is greater than 8.5, the water shall be neutralized with sulfuric acid until the pH is between 8.5 and 6.5. This pH-balanced water can then be returned to the sea if allowed by Fish and Game Code, or disposed of offsite per legal requirements. Solids that settle out during the pH balancing process shall not be discharged to the marine environment and must be disposed of offsite per legal requirements.
 4. **Construction Plan.** A Construction Plan shall be provided to the Executive Director that identifies the specific location of all construction areas, all staging areas, all storage areas, all construction access corridors (to the construction sites and staging areas), and all public pedestrian access corridors in site plan view. The Construction Plan shall, at a minimum, include the follow required criteria specified via conspicuous written notes with i n the Plan:
 - A. All areas within which construction activities and/or staging are to take place shall be minimized to the maximum extent feasible in order to minimize construction encroachment on the tidelands and to have the least impact on public access and the marine environment.
 - B. The Plan shall specify all construction methods to be used, including all methods to be used to keep the construction areas separated from beach and other public recreational use areas and shall include a final construction schedule.
 - C. All erosion control/water quality best management practices to be implemented during construction and their location shall be noted. For the land side of a construction site, silt fences, or equivalent measures,

Exhibit B

shall be installed at the site perimeter to prevent construction-related runoff and/or sediment from entering coastal waters. For the water side of a construction site, turbidity curtains shall be used to contain sediment where coastal resources, such as benthic communities or eelgrass, may be at risk.

- D. Floating booms shall be used to contain debris if discharged into coastal waters, and any debris discharged will be removed as soon as possible but no later than the end of each day.
- E. Unless specifically authorized, all work shall take place during daylight hours and lighting of tidelands and water areas is prohibited.
- F. Construction work or equipment operations below the mean high water line shall be minimized to the absolute extent feasible, and, where possible, limited to times when tidal waters have receded from the authorized work areas.
- G. All construction materials shall be properly stored and contained so that these products will not spill or otherwise enter the coastal environment.
- H. Construction (including but not limited to construction activities, and materials and /or equipment storage) is prohibited outside of the defined construction, staging, and storage areas.

Project pile driving and wildlife: The project pile driving activities shall be monitored by a qualified monitor that has sufficient experience and qualifications of the U.S. Fish and Wildlife Service and National Marine Fisheries Service to ensure that impacts to marine mammals are avoided. The approved biological monitor shall be present onsite during piling construction, will keep a constant watch, and shall have the authority to stop the piling construction if any individuals of southern sea otter are seen within 100 feet of the project area and considered distressed.



PLANNING & BUILDING DEPARTMENT • 595 HARBOR STREET, MORRO BAY, CALIFORNIA 93442 • 805-772-6210

**1995 MAJOR MODIFICATION TO
CONDITIONAL USE PERMIT**

CASE NO: CUP 16-92 MAJOR MODIFICATION 1995

THIS PERMIT IS HEREBY APPROVED AND ISSUED FOR:

SITE ADDRESS: 875 Embarcadero

APPLICANT: J. SHIFLETT & SOPHIE HILL

APN/LEGAL: APN 066-322-001, LEASE SITE 90 / 90 W

DATE APPROVED April 15, 1996 APPROVED BY: PLANNING COMMISSION

APPROVED BASED UPON ATTACHED FINDINGS

CEQA DETERMINATION: CATEGORICAL EXEMPTION, CLASS 3

DESCRIPTION OF APPROVAL: Modification of original approval for "Approximately 977 square foot retail space and Take-Out restaurant with outdoor seating for twenty-four persons (4-5 tables and beverage bar)" to "Retail space and full-service restaurant with a maximum posted occupancy of 49."

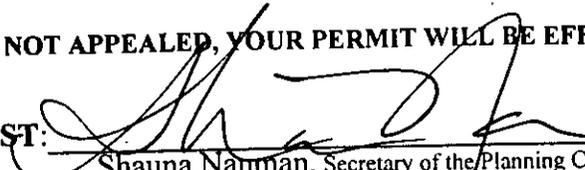
Attachments: *Findings and Conditions of Approval*

THIS APPROVAL IS CONDITIONAL AND IS VALID ONLY IF CONDITIONS (ATTACHED) ARE MET AND ONLY AFTER THE APPLICABLE APPEAL PERIOD. Failure to comply with the conditions of this permit shall, at the discretion of the Planning & Building Director pursuant to Municipal Code Section 17.60.150, render this entitlement null and void. - PERMIT EFFECTIVE DATE & INFORMATION APPLICABLE TO YOUR PROJECT IS OUTLINED

FOLLOWING THE BOX CHECKED BELOW:

AFTER APPROVAL BY THE PLANNING COMMISSION, THERE IS AN APPEAL PERIOD OF TEN (10) Calendar days, WITHIN WHICH TIME YOUR PERMIT IS APPEALABLE TO THE CITY COUNCIL.

IF NOT APPEALED, YOUR PERMIT WILL BE EFFECTIVE: April 26, 1996

ATTEST:  Shauna Nauman, Secretary of the Planning Commission

DATE: 4/16/96

**THIS IS A DISCRETIONARY APPROVAL AND
DOES NOT CONSTITUTE A BUILDING PERMIT**

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FINDINGS

CASE NO. CUP 16-92 MAJ MOD (1995)
875 Embarcadero

1. The project amendment will not be detrimental to the health, safety, comfort, and general welfare of the persons residing or working in the neighborhood; and
2. The project amendment will not be injurious or detrimental to property and improvements in the neighborhood; and
3. The project amendment will not be injurious or detrimental to the general welfare of the City; and
4. The project amendment is in conformance with the General Plan and the certified Local Coastal Program Land Use Plan (LCP) and Zoning Ordinance; and
5. Because adequate vertical access exists for the benefit of the public at the Harbor Street stub which is within 100 feet of the proposed project, the vertical access requirement can be waived in accordance with Morro Bay Municipal Code Section 17.48.280C. The provision for lateral access is maintained in accordance with the conditions of approval. As conditioned, the project is in conformance with the coastal access policies of Chapter 3 of the Coastal Act.
5. For the purposes of the California Environmental Quality Act, the project has been determined categorically exempt.
6. In addition to conditions modified for this approval, the original conditions of approval, as incorporated and as applicable, are still in effect for the project site.
7. Due to the special circumstances of approximately one-half of the project being open to the air, the Planning Commission finds the calculations for determining required parking in-lieu fees and water equivalencies may be reduced by half, for one-half of the project, and that this reduction does not constitute a grant of special privileges inconsistent with the requirements for other properties with similar uses.

CONDITIONS OF APPROVAL
CASE NO. CUP 16-92 MAJ MOD (1995)
875 Embarcadero

SC. STANDARD CONDITIONS

1. Permit: This permit is granted for the land described in the application and any attachments thereto, and as shown on Exhibit(s), and on file with the Planning and Building Department. The locations of all buildings and other features shall be located and designed substantially as shown on the aforementioned exhibit, unless otherwise specified herein.
2. Changes: Any minor change may be approved by the Planning and Building Director. Any substantial change will require the filing of an application for an amendment to be considered by the Planning Commission.
3. Compliance with Law: All requirements of any law, ordinance or regulation of the State of California, City of Morro Bay, and any other governmental entity shall be complied with in the exercise of this approval.
4. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. This condition and agreement shall be binding on all successors and assigns.
5. Compliance with Conditions: Compliance with and execution of all conditions listed hereon shall be necessary, unless otherwise specified, prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Planning and Building Director and/or as authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement null and void. Continuation of the use without a valid entitlement will constitute a violation of the Morro Bay Municipal Code and is a misdemeanor.
6. Acceptance of Conditions: Prior to obtaining a building permit and within thirty (30) days hereof, the applicant shall file with the Director of Planning and Building written acceptance of the conditions stated herein.

PB. BUILDING & SITE CONDITIONS

1. Modified Use Approval: The original approval is modified from "Approximately 977 square foot retail space and Take-Out restaurant with outdoor seating for twenty-four persons (4-5 tables and beverage bar)" to "**Retail space and full service restaurant with a maximum posted occupancy of 49**".
2. Previous Approvals: All conditions of approval for Precise Plan CUP 16-93 as approved on April 5, 1993 and amended on February 7, 1994 (Minor Modification) shall continue to be effective as applicable.

Conditions of Approval
Case No. CUP 16-92 MajMod (1995)

3. Coastal Commission Approval: It is the responsibility of the applicant to obtain any additional approvals and/or permits required by the California Coastal Commission. If required, a copy of any additional approval shall be submitted to the Planning and Building Department.
4. Coastal Access: In accordance with MBMC Section 17.48.280C., vertical access has been waived for the project. To preserve the availability for future lateral access along the western edge of the site, the applicant, and successor in interest, agrees that within two (2) years of the completion of any adjoining lateral access construction across either of the adjacent lease sites, the applicant shall construct connecting lateral access, a minimum of eight (8) feet in width across the lease site.
 - a. Condition No. 3 of the Minor Modification granted on February 7, 1994 stating "the doors shall remain open at all times and shall be made without locks" is hereby modified to allow the doors to be locked during non-business hours.
5. Occupancy Posting: As sign shall be posted at the location shown on the approved site plan dated November 29, 1995, and shall remain in place at all times during open business hours, stating the following maximum occupancy:

"**Maximum Occupancy - 49**: Table configuration shown is a general location format. Seating arrangement and table locations may vary within the designated Dining Area. At no time shall there be more than 49 seats or occupants. All other applicable codes shall be maintained at all times."
6. Water Equivalencies: Within 60 days of approval, the applicant shall obtain the additional water equivalency units required for the project at a 2:1 off-site ratio based on 24.5 seats at full ratio and 24.5 seats at a one-half ratio. A retrofit application shall be submitted for the remaining WEUs needed for the project.
 - a. The Planning and Building Director shall verify that the necessary water equivalencies have been met for the nature of the proposed occupancy.
 - b. If a water equivalency has been allocated to the project by the City of Morro Bay, the applicant shall abide by MBMC Section 13.20 pertaining to Water Equivalencies.
7. In Lieu Parking Fees: Within 60 days of approval, the applicant shall amend the existing, or enter into a new, Parking In-Lieu Payment Schedule to include payment of an additional \$24,000 in-lieu parking fee for the additional six (6) required parking spaces (\$4000 per space). Such moneys shall be placed in a special fund to be used for the purpose of public parking improvements.

Project construction BMP's: The project as proposed includes the following safeguards, mitigation measures, actions, and procedures for the protection of the marine environment:

Standard BMP's:

- Material Containment:** Particular care shall be exercised to prevent foreign materials (e.g. construction scraps, wood preservatives, other chemicals, etc.) from entering harbor or other state waters. Where additional wood preservatives must be applied to cut-wood surfaces, the materials, whenever feasible, shall be treated at an onshore location to preclude the possibility of spills into harbor or other state waters. A containment boom shall be placed around all active portions of a construction site where wood scraps or other floatable debris could enter the water. Also, for any work on or beneath fixed decks, heavy-duty mesh containment netting shall be maintained below all work areas where construction discards or other materials could fall into the water. The containment boom and net shall be cleared daily or as often as necessary to prevent accumulation of debris. Contractors shall insure that work crews are carefully briefed on the importance of observing the appropriate precautions and reporting any accidental spills. Construction contracts shall contain appropriate penalty provisions, sufficient to offset the cost of retrieving or cleaning up improperly contained foreign materials.
- Construction Plan:** All erosion control/water quality best management practices to be implemented during construction and their location shall be noted on the plan. Silt fences, or equivalent apparatus, shall be installed at the perimeter of the construction site to prevent construction-related runoff and/or sediment from entering into the Pacific Ocean to the maximum extent feasible. The Construction Plan shall, at a minimum, include the following required criteria specified via written notes on the Plan:
 - All work shall take place during daylight hours. Lighting of the beach and water area is prohibited.
 - All construction materials and equipment placed on the land during daylight construction hours shall be stored beyond the reach of tidal waters. The only exceptions shall be for: (1) erosion and sediment controls (e.g., a silt fence at the base of the piles) as necessary to contain runoff and/or sediments at the construction site, where such controls are placed as close to work area as possible, and minimized in their extent; and (2) storage of larger materials beyond the reach of tidal waters for which moving the materials each day would be extremely difficult.
 - Construction (including but not limited to construction activities, and materials and/or equipment storage) is prohibited outside of the defined construction, staging, and storage areas.
 - Equipment washing, refueling, and/or servicing shall not take place on the beach or pier.
 - All materials shall be properly stored and contained so that these products will not spill or otherwise enter the coastal environment.
 - Equipment washing, refueling, and/or servicing shall not take place over the water.
 - The construction site shall maintain good construction site housekeeping controls and procedures (e.g., clean up all leaks, drips, and other spills immediately; keep materials

- Should any equipment begin to leak, that equipment will be removed immediately from the barge and repaired or replaced.
- A spill kit will be maintained onsite, for use in containing and cleaning up minor equipment spills.
- All equipment fueling will take on the barge, with containment in place. No refueling between vessels will be carried out on this project. (The barge has fuel tanks, below deck, onboard which is used to refuel all equipment onboard.
- An absorbent tarp will be placed underneath the any portable equipment used in this operation.

Spill Containment and Cleanup Materials and Equipment Inventory

The contractor will maintain one spill containment and cleanup kits at the site consisting of the following items. The kit will be stored on the deck of the barge or below decks with easy access:

- 150 feet Absorbent Boom 200 square feet Absorbent Tarp (for use portable during pile driving.
- Barrel Absorbent Pads
- Container Absorbent Granules

Preservative-Treated Wood BMP's:

Responsibilities for Use of Preservative-Treated Wood for Piles and Overwater Structures.

- The applicant shall comply with the following best management practices for the use of preservative-treated wood ("treated wood") in overwater structures:
- The wood preservative selected for use shall minimize the impact on coastal water quality and the aquatic environment.
 - Chemically-treated Douglas fir piles shall only be used for repair and replacement, or to visibly blend, and/or structurally integrate with, existing overwater structures.
 - Decking shall consist of wood-alternative materials or AZCA-preserved lumber sea led with a penetrating coating. Alternatives to preserved woods, such as concrete, steel, fiberglass, or naturally decay resistant wood species, shall be prioritized over the use of chemically-treated wood.
 - All preserved wood piles, and, where feasible, preserved wood structural members, shall be wrapped in, or coated with, water-tight, UV resistant material to prevent leaching of wood-preservative chemicals into the water column, and to prolong the life of the piles and structural timbers. For piles, protection shall extend two feet below the mudline and two feet above OHW, at a minimum, and wrappings shall be secured with corrosive resistant banding or self-tapping screws. Coatings and/or sealants used shall be products that are inert after they have cured and dried. No coal-tar sealants or coal tar-treated wood shall be used unless coated or wrapped with an inert material or product to isolate it from the marine environment.

- onsite. Any leaks or spills of anti-corrosion coatings, epoxy fillers, and waterproofing sealants shall be immediately cleaned up.
- All pressure-injection and gravity-feed applications of epoxy, resin, or cementitious materials shall be closely monitored visually to ensure that these materials do not leak or spill into coastal waters during application.
 - Coatings and waterproofing sealants used in the field shall be carefully applied by brush or roller to limit application to the immediate surfaces intended for protection, and to prevent drips or spills into coastal waters.
 - All anti-corrosion coatings, epoxy fillers, and waterproofing sealants shall be properly stored and contained so that these products will not leak or spill, or otherwise enter the coastal environment.

- Piles shall be driven into the substrate, if feasible, in order to minimize water quality impacts. If a water-jetting method must be utilized, silt curtains shall be installed in the work area to contain turbidity where coastal resources, such as benthic communities or eelgrass, may be at risk.
- Responsibilities for Building Concrete Foundations: Piles and Bulkheads.** The applicant shall comply with the following best management practices for constructing poured-in-place piles or constructing concrete foundations underwater:
 - If feasible, the pour location shall be dewatered using a caisson or other barrier. The site shall remain dewatered until the concrete is sufficiently cured to prevent any significant increase in the pH of adjacent waters.
 - The tremie method may be used to construct concrete structures in n-water or underwater. This method uses forms to receive wet concrete under water by inserting a plastic pipe down to the bottom of the form and pumping concrete into the form so that the water is displaced towards the top of the form. Displaced waters shall be pumped off and collected in a holding tank. The collected waters shall then be tested for pH. If the pH is greater than 8.5, the water shall be neutralized with sulfuric acid until the pH is between 8.5 and 6.5. This pH-balanced water can then be returned to the sea if allowed by Fish and Game Code, or disposed of offsite per legal requirements. Solids that settle out during the pH balancing process shall not be discharged to the marine environment and must be disposed of offsite per legal requirements.
- Construction Plan. A Construction Plan shall be provided to the Executive Director that identifies the specific location of all construction areas, all staging areas, all storage areas, all construction access corridors (to the construction sites and staging areas), and all public pedestrian access corridors in site plan view. The Construction Plan shall, at a minimum, include the follow required criteria specified via conspicuous written notes with i n the Plan:
 - All areas within which construction activities and/or staging are to take place shall be minimized to the maximum extent feasible in order to minimize construction encroachment on the tidelands and to have the least impact on public access and the marine environment.
 - The Plan shall specify all construction methods to be used, including all methods to be used to keep the construction areas separated from beach and other public recreational use areas and shall include a final construction schedule.

- Equipment washing, refueling, and/or servicing shall not take place on the tidelands or overwater structures to eliminate the possibility that pollutants may enter coastal waters.
- For bulkhead and overwater construction projects that will use heavy equipment for more than 30 days, use biodegradable hydraulic fluid and biodiesel as an alternative to petroleum products.
- The construction site shall maintain good construction site housekeeping controls and procedures (e.g., clean up all leaks, drips, and other spills immediately; keep materials covered and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly, place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather, remove all construction debris from the tidelands).
- A construction coordinator shall be designated to be contacted during construction should questions arise regarding the construction (in case of both regular inquiries and emergencies), and their contact information (i.e., address, phone numbers, etc.) including, at a minimum, a telephone number that will be made available 24 hours a day for the duration of construction, shall be conspicuously posted at the job site where such contact information is readily visible from public viewing areas, along with indication that the construction coordinator should be contacted in the case of questions regarding the construction (in case of both regular inquiries and emergencies). The construction coordinator shall record the name, phone number, and nature of all complaints received regarding the construction, and shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.
- A copy of the approved Construction Plan shall be kept at the construction job site at all times and all persons involved with the construction shall be briefed on its content and meaning prior to commencement of construction.
- The Coastal Commission's District Office shall be notified at least 3 working days in advance of commencement of construction, and immediately upon completion of construction.

All construction shall be undertaken in accordance with the approved Construction Plan. Any proposed changes to the approved Construction Plan shall be reported to the Executive Director. No changes to the approved Construction Plan shall occur without a coastal development permit or waiver unless the Executive Director determines that no coastal Development permit or waiver is necessary.

covered and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly, place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather, remove all construction debris from the beach).

- The Coastal Commission's Central Coast District Office shall be notified at least 3 working days in advance of commencement of construction, and immediately upon completion of construction.
- Contractors shall insure that work crews are carefully briefed on the importance of observing the appropriate precautions and reporting any accidental spills. Construction contracts shall contain appropriate penalty provisions, sufficient to offset the cost of retrieving or cleaning up improperly contained foreign materials.
- All construction shall be undertaken in accordance with the approved Construction Plan. Any proposed changes to the approved Construction Plan shall be reported to the Executive Director. No changes to the approved Construction Plan shall occur without a coastal development permit or waiver unless the Executive Director determines that no coastal development permit or waiver is necessary.

Marine pile driving BMP'S: The project contractors will employ all Best Management Practices required to mitigate any spill risks. The contractor will minimize the source of risks and thereby reduce overall spill and pollution risks on this project. Additionally, this project does not involve any land based activities and there are no rainwater pollution issues from disturbed soil or stockpiles.

Specifically the Project spill and pollution risks will limit to the following:

- No refueling of equipment without adequate containment and spill response equipment. The barge has only double contained fuel storage below decks, in compliance with all regulations.
- Pollution from rainwater runoff from equipment stored on deck will be prevented by maintaining equipment regularly and having double containment when appropriate.
- Debris dropped in the water will be contained within boom surrounding our work area.
- No equipment will be permitted to enter the water with any petroleum products.
- Vessel will have portable, regularly serviced sanitation equipment. No overboard discharge is permitted.

Spills from Pile Driving Operations

- The following measures will be employed to control the risks of fuel or oil spills from equipment during pile driving operations. a. All equipment used on the barge such as the crane, winches, welding machines and pile hammer, will be in good condition with no fuel or oil leakage.

E. Design features, such as a protective wearing surfaces or bumpers, shall be installed on fender piles and floating dock pilings, where appropriate, to resist abrasion and preserve the pile-wrap or coating.

F. The amount of preservative used for the piles shall be the minimum specified by the American Wood Protection Associate to effectively protect the piles. Wood treated to the standards for a higher Use Category (i.e., with a higher preservative retention level) than is necessary for that component shall not be used.

G. Treated wood and treated wood debris shall be stored a minimum of 50 feet from coastal waters, drainage courses, and storm drain inlets. The treated wood and treated wood debris shall be stored on impervious pavement or an impervious tarp, and covered during rain events.

H. If treated wood is sanded or sawcut during demolition, installation, or maintenance, all sawdust and debris generated shall be contained and removed.

I. In order to minimize water quality impacts, piles shall be driven into the substrate, if feasible. If a water-jetting method must be utilized, silt curtains shall be installed in the work area to protect sensitive resources from turbidity.

Responsibilities for Use of Coatings, Construction and Repair of Bulkheads and Overwater Structures. The applicant shall comply with the following best management practices for the use of corrosion coatings, and repair of bulkheads and overwater structures:

- Coatings and sealants shall be composed of products that are inert after they have cured and dried. Fusion Bonded Epoxy, HDPE, and polyurea products are recommended. No coal tar-based sealants shall be used unless they are themselves coated or wrapped with an inert product to isolate them from the marine environment.
- Installation and application of epoxy, resin, or cementitious grout/fill shall be conducted when predicted weather and ocean conditions allow effective control and full containment and will remain dry until cured, in order to prevent any leaching of uncured treatment materials into coastal waters. It is preferable to perform the work in dry conditions (low tide) or done off-site in a controlled-environment manufacturing facility, wherever feasible.
- All cleaning and preparation of surfaces shall be done using wet vacuum techniques, containment booms or heavy mesh containment netting so that any debris, chips, dust, dirt, and fine particles are collected and disposed of in a location where they will not enter coastal waters.
- Preparation of corroded concrete by chipping, v-notching, or demolition shall be conducted while using a wet vacuum or similar technique so that any debris, dust, and fine particles are collected and disposed of in a location where they will not enter coastal waters. Dip nets shall be on-site and used to retrieve debris if it accidentally falls into the water.
- Methods to contain any leaks or spills of treatment materials during application shall be planned in advance, and any necessary equipment or supplies shall be readily accessible

C. All erosion control/water quality best management practices to be implemented during construction and their location shall be noted. For the land side of a construction site, silt fences, or equivalent measures, shall be installed at the site perimeter to prevent construction-related runoff and/or sediment from entering coastal waters. For the water side of a construction site, turbidity curtains shall be used to contain sediment where coastal resources, such as benthic communities or eelgrass, may be at risk.

D. Floating booms shall be used to contain debris if discharged into coastal waters, and any debris discharged will be removed as soon as possible but no later than the end of each day.

E. Unless specifically authorized, all work shall take place during daylight hours and lighting of tidelands and water areas is prohibited.

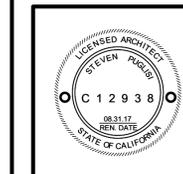
F. Construction work or equipment operations below the mean high water line shall be minimized to the absolute extent feasible, and, where possible, limited to times when tidal waters have receded from the authorized work areas.

G. All construction materials shall be properly stored and contained so that these products will not spill or otherwise enter the coastal environment.

H. Construction (including but not limited to construction activities, and materials and/or equipment storage) is prohibited outside of the defined construction, staging, and storage areas.



Steven Puglisi
ARCHITECTS
INC
569 Higuera Street
Suite A
San Luis Obispo, CA
93401
Ph: 805.595.1962
Fx: 805.595.1980



PROJECT:
The Otter Rock Cafe
Renovation & Deck Repair
885 Embarcadero, Morro Bay, CA.
Cliff Branch

SHEET:
SUPPLEMENTAL PROJECT INFORMATION: BEST MANAGEMENT PRACTICES

All ideas, designs, arrangements and plans indicated or represented by the drawings are owned by, and the property of, Steven Puglisi, ARCHITECTS, INC. and were created and developed for use, and in conjunction with, the specific project described herein. None of these ideas, designs and arrangements or plans shall be used by, or disclosed to any person, firm, or corporation for any purpose without permission of Steven Puglisi, ARCHITECTS, INC. Filing these drawings with a public agency is not a publication of same, and no copying, reproduction or use thereof is permissible without the consent of Steven Puglisi, ARCHITECTS, INC.

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Steven Puglisi
ARCHITECTS
INC.

569 Higuera Street
Suite A
San Luis Obispo, CA
93401
Ph: 805.595.1962
Fx: 805.595.1980



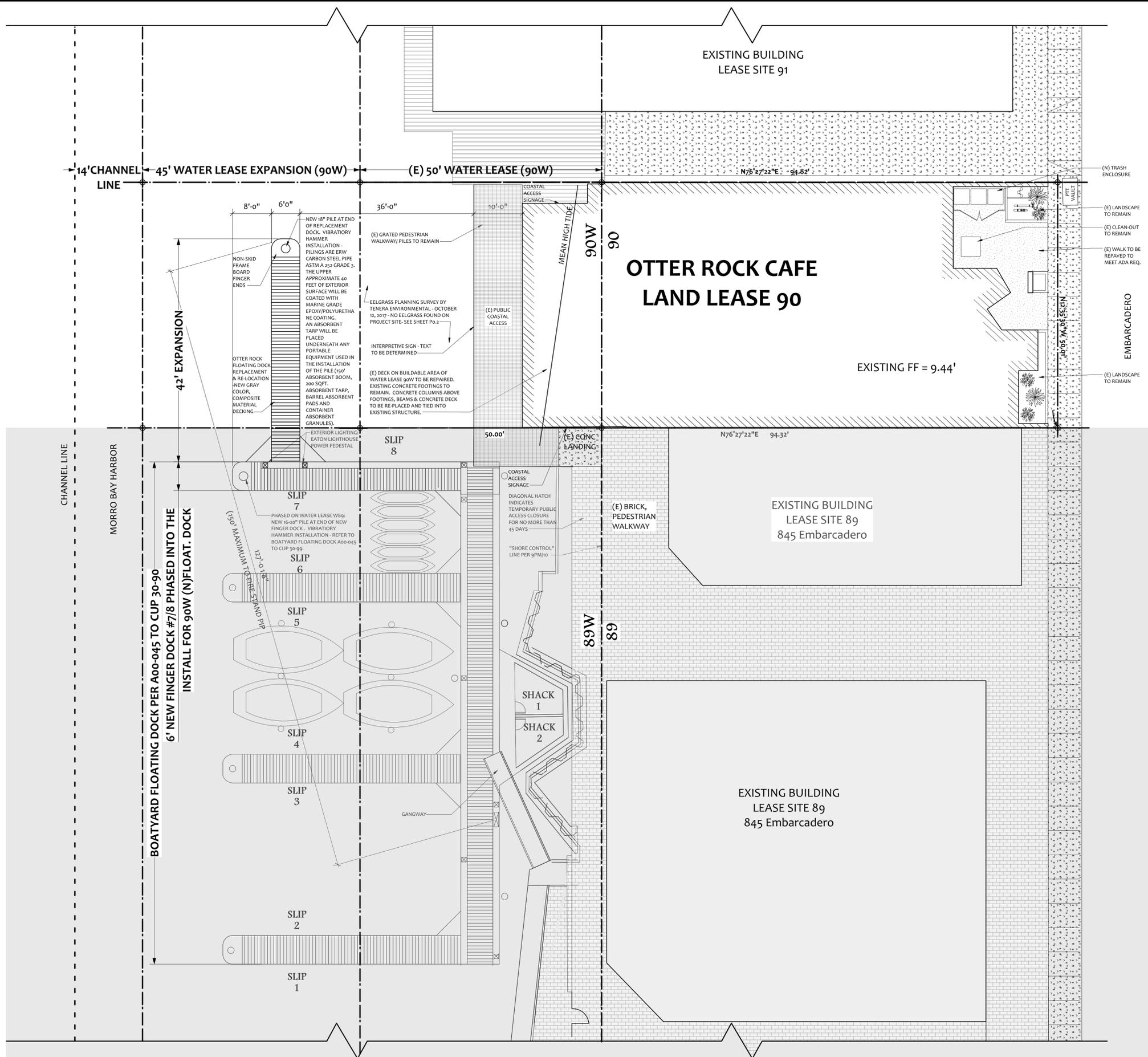
PROJECT:
The Otter Rock Cafe
Renovation & Deck Repair
885 Embarcadero, Morro Bay, CA.
Cliff Branch

SHEET:
**PROPOSED
ARCHITECTURAL
SITE PLAN**

All ideas, designs, arrangements and plans indicated or represented by the drawings are owned by, and the property of, Steven Puglisi, ARCHITECTS, INC. and were created and developed for use, and in conjunction with, the specific project described herein. None of these ideas, designs and arrangements or plans shall be used by, or disclosed to, any person, firm, or corporation for any purpose without permission of Steven Puglisi, ARCHITECTS, INC. Filing these drawings with a public agency is not a publication of same, and no copying, reproduction or use thereof is permissible without the consent of Steven Puglisi, ARCHITECTS, INC.

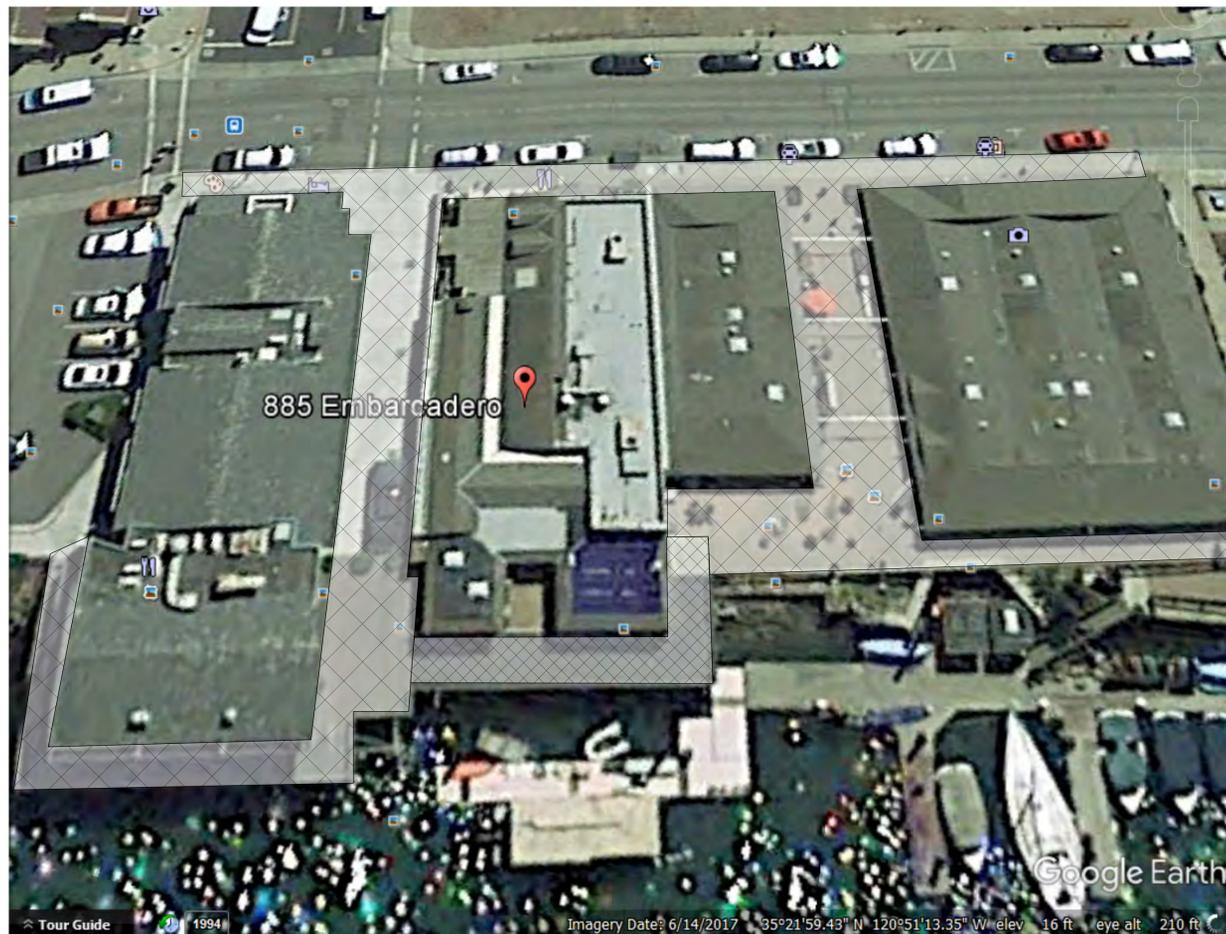
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PROPOSED ARCHITECTURAL SITE PLAN

Scale: 1" = 10'



PROPOSED CLOSED ACCESS AREA



OPEN ACCESS DURING WORK



CLOSED ACCESS DURING WORK

PROPOSED PUBLIC ACCESS CLOSURE CLOSURE FOR 45 DAYS. HARBOR WALK WON'T BE OPEN TO THE PUBLIC BEFORE JOB COMPLETION



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PROJECT:
The Otter Rock Cafe
Renovation & Deck Repair
885 Embarcadero, Morro Bay, CA.
Cliff Branch

SHEET:
**PROPOSED
PUBLIC ACCESS CLOSURE**

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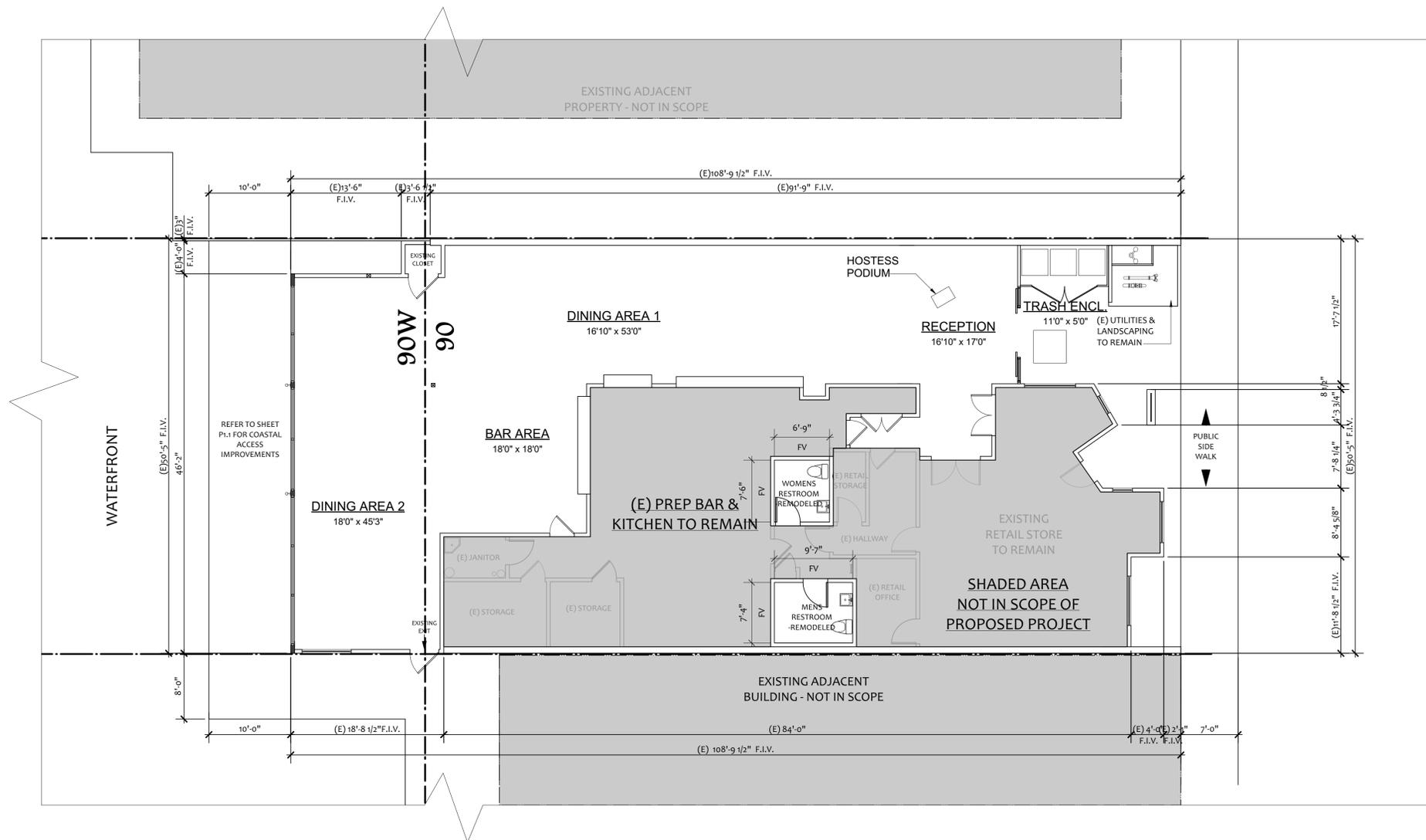
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SHEET:
**PROPOSED
FLOOR PLANS**

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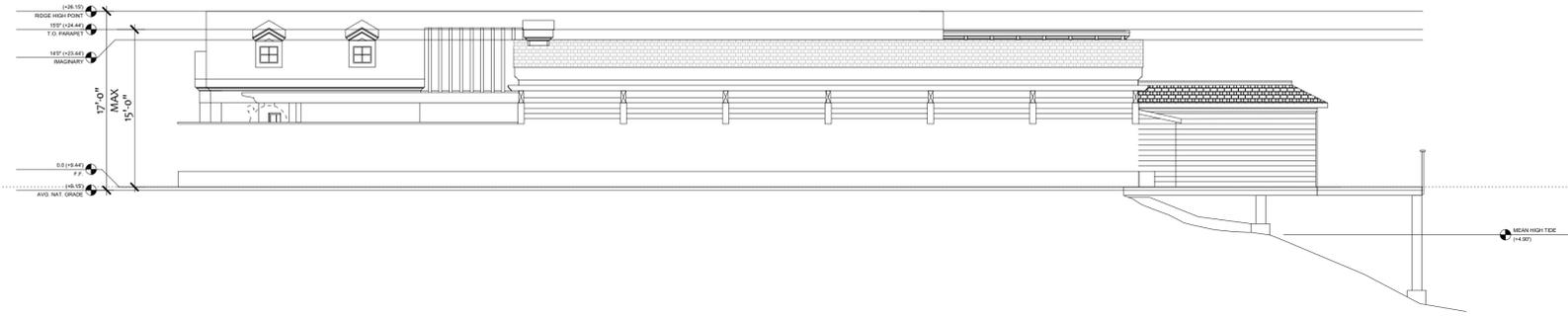
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PROPOSED FLOOR PLAN

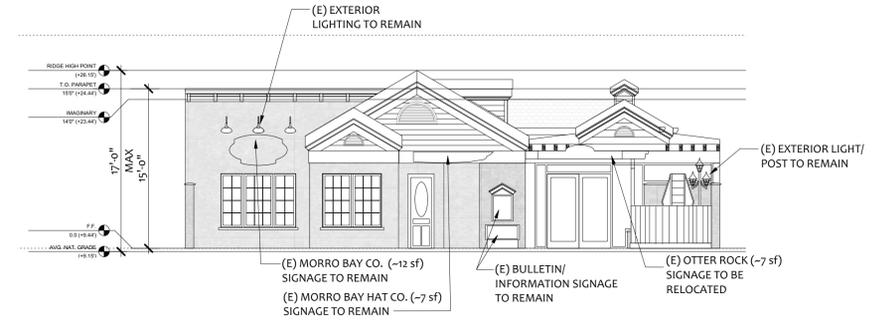


SCALE 1/8"=1'-0"



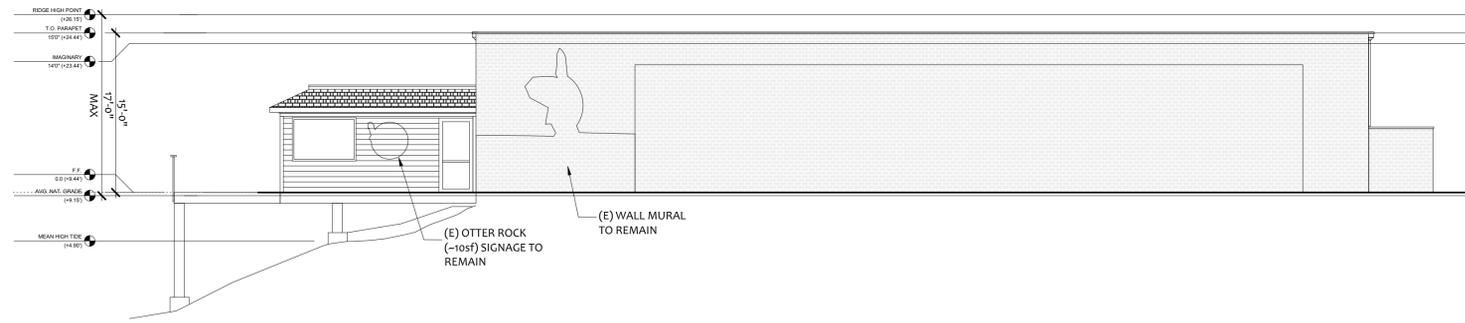
4 EXISTING SOUTH/LEFT ELEVATION

Scale: Actual Size



1 EXISTING EAST/EMBARCADERO ROAD ELEVATION

1/8"=1'-0"



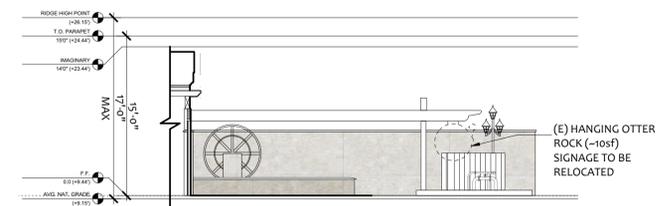
5 EXISTING NORTH/RIGHT ELEVATION

1/8"=1'-0"



2 EXISTING WEST/REAR ELEVATION

1/8"=1'-0"



3 EXISTING NORTH/FRONT ELEVATION

1/8"=1'-0"



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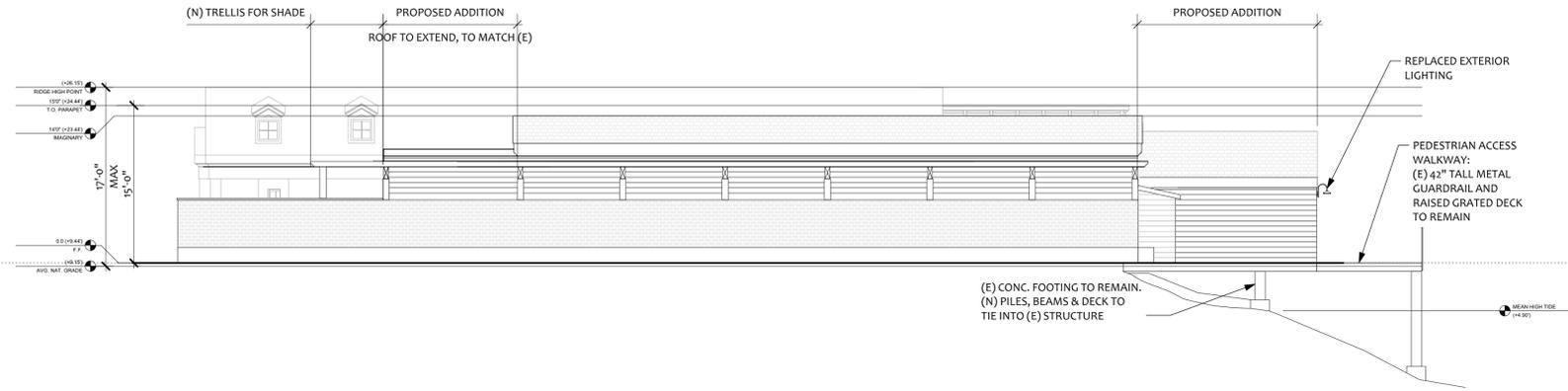
PROJECT:
The Otter Rock Cafe
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SHEET:
EXISTING
EXTERIOR ELEVATIONS

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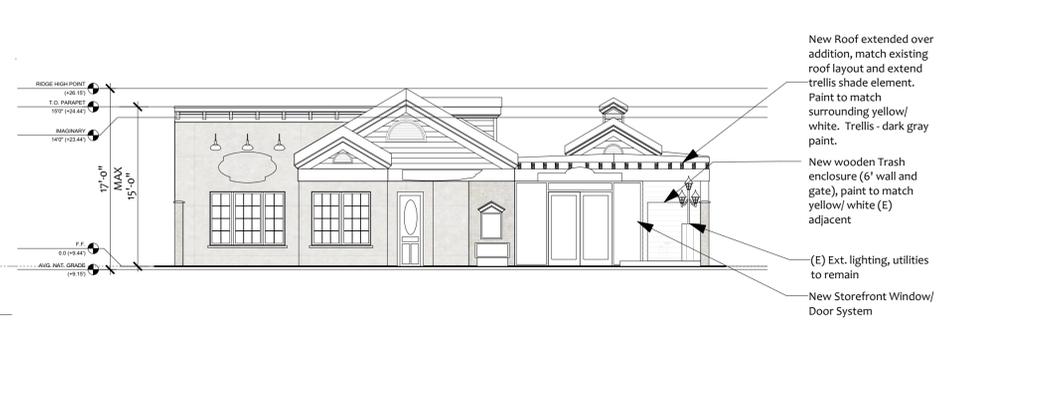
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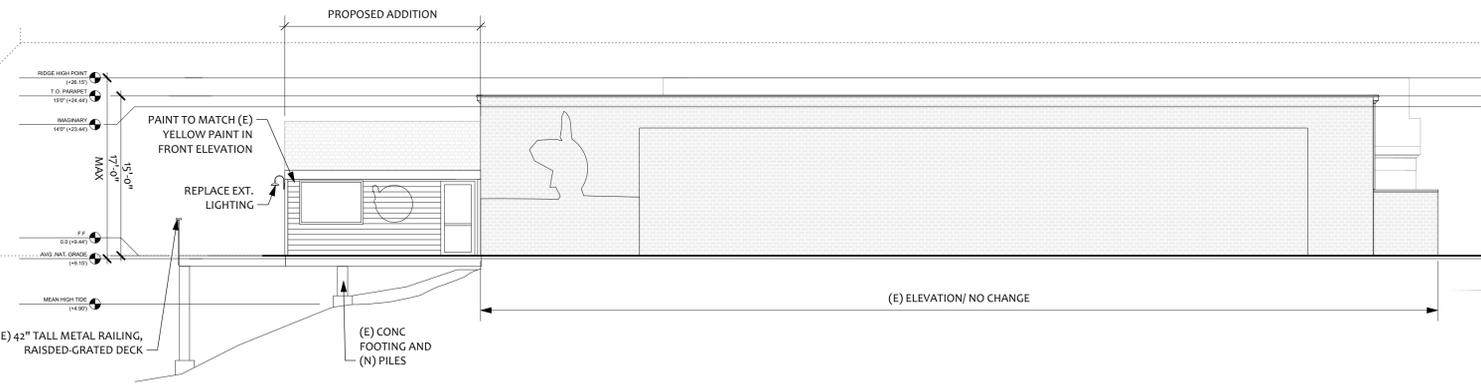
4 PROPOSED SOUTH/LEFT ELEVATION

1/8"=1'-0"



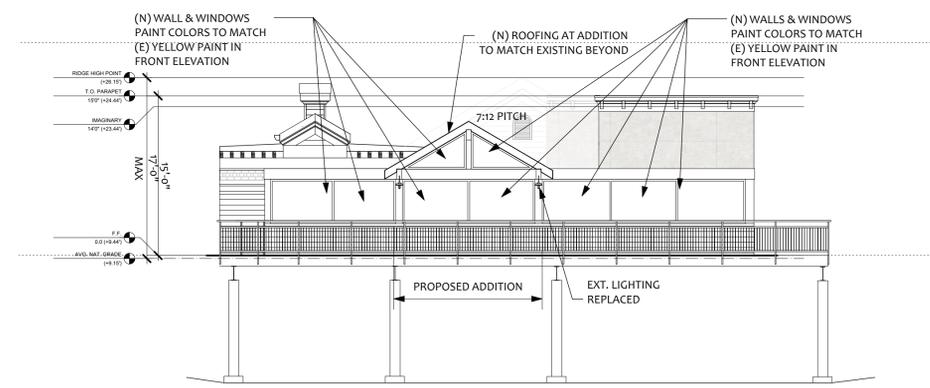
1 PROPOSED EAST/EMBARCADERO ROAD ELEVATION

1/8"=1'-0"



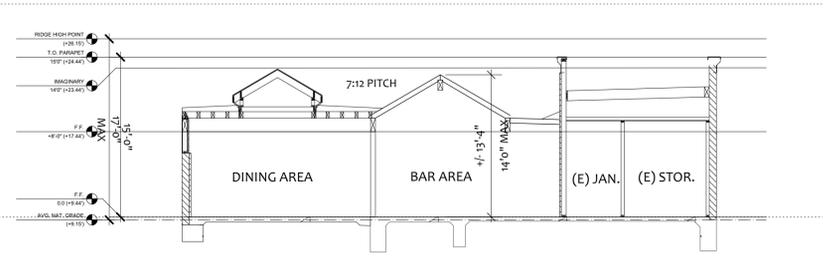
5 PROPOSED NORTH/RIGHT ELEVATION

1/8"=1'-0"



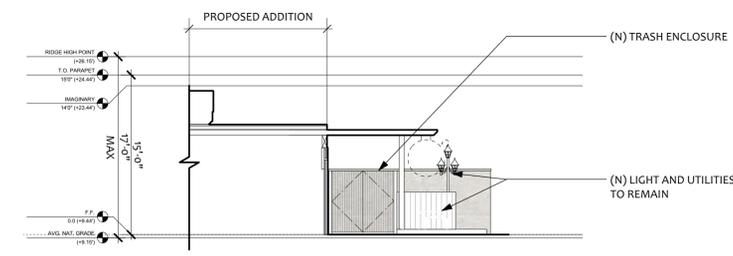
2 PROPOSED WEST/REAR ELEVATION

1/8"=1'-0"



6 PROPOSED BUILDING SECTION

1/8"=1'-0"



3 PROPOSED NORTH/FRONT ELEVATION

1/8"=1'-0"



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SHEET:
PROPOSED EXTERIOR ELEVATIONS & BUILDING SECTION

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1A EXISTING PHOTO LOOKING SOUTH-WEST



1B PROPOSED BUILDING LOOKING SOUTH-WEST



2A EXISTING PHOTO LOOKING NORTH-WEST



2B PROPOSED BUILDING LOOKING NORTH-WEST



3A EXISTING PHOTO LOOKING EAST



3B PROPOSED BUILDING LOOKING EAST



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SHEET:
**EXISTING SITE PHOTOS &
PROPOSED RENDERINGS**

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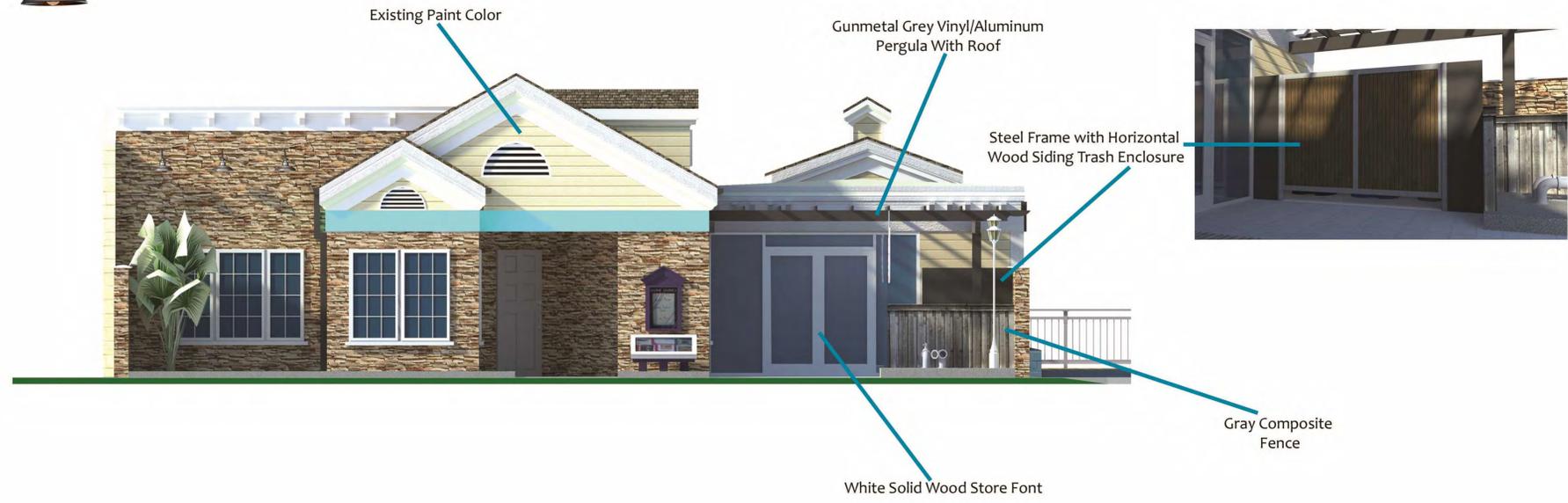
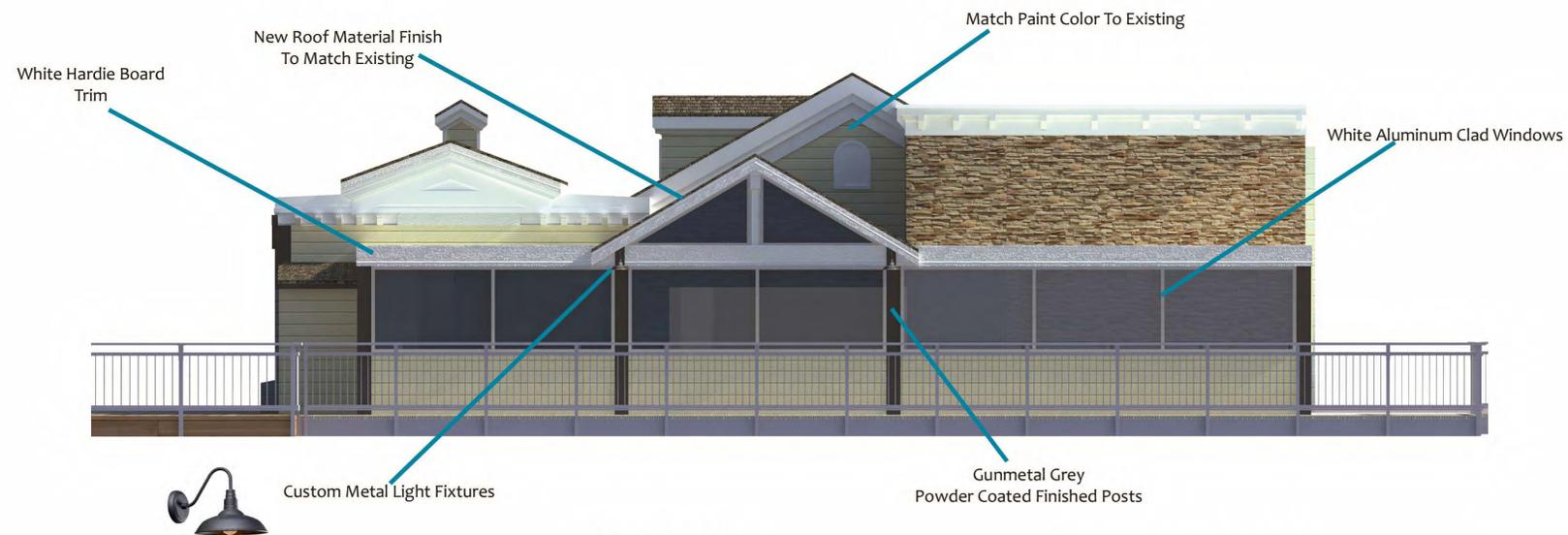
SHEET:
**PROPOSED COLOR
& MATERIALS BOARD**

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1 PROPOSED COLOR & MATERIALS BOARD

NTS



FACT SHEET

ACQ is the most widely used non-arsenic, non-chromium, water-based wood preservative in the world.

Formulation Summary

- Alkaline Copper Quaternary formulations
- Copper primary protection
- Quat-supplemental protection against copper tolerant fungi and termites
- No EPA listed carcinogens

Retention Levels

Equivalent performance to CCA in:

Above Ground	0.25 pcf
Ground Contact	0.40 pcf
Fresh Water Immersion	0.40 pcf
Marine Splash Zone	0.40 pcf
Permanent Wood Foundation	0.60 pcf

	ACQ	WR
Structural Lumber	0.25 and 0.40 pcf	0.25 pcf
Decking Standard	0.15 pcf	0.25 pcf

Fastener Performance

- Same fasteners (hot dipped/stainless) as for CCA and building code recommendations for treated wood.
- Excellent performance of recommended fastener systems in the US over the past seven years.
- Accelerated Industry Standard tests show equivalent performance to CCA.

Fixation

- Fixation of copper and quat is highly effective, resulting in long-term performance equivalent to that achieved with CCA.

Treatment Plant Performance

- Cycle times equal to or better than CCA.
- Similar penetration in SYP and Re J Pine.
- Enhanced penetration in Douglas fir, W. Hemlock and Ponderosa Pine.
- True solution, no agitation required.
- No temperature controls required.
- ACQ is formulated to minimize plant corrosion. Corrosion rates are lower than 0.15 mils per year.

Environmental Profile

- Independent scientific studies have reported no adverse effects from the use of ACQ treated wood in sensitive aquatic environments.
- Depletion levels for ACQ components from treated wood are equivalent to losses of CCA components from wood in service.
- Alkaline copper systems similar to ACQ are EPA approved for use in reservoirs, fish farms and agricultural canals for algae control.
- Winner, 2002 EPA Presidential Green Chemistry Award.

Approvals and Standards

Approved and standardized by industry standards and building codes.

- American Wood-Preservers' Association (AWPA)
- ICBO ES - (International Conference of Building Officials) including Formosan Termite Zones
- BOCA (US Building Code)
- CSA (Canadian Standards Association)
- AASHTO
- NES (National Evaluation Service)

DICKMAN-HIRES LUMBER CO.

P. O. BOX 8137

FEDERAL WAY, WA 98063

treatedwood.com



200 E. Woodlawn Road, Suite 250 • Charlotte, NC 28217 • 704-522-0825 • FAX: 704-527-8232 • e-mail: acqinfo@chemspec.com

Treated Lumber and Plywood Specifications, Approvals, Registrations, and Awards

- Winner, 2002 EPA Presidential Green Chemistry Award
- Approved by the ICBO Evaluation Services (ER#4981) (Uniform Building Code)
- National Evaluation Service (NER 643)
- AASHTO
- Standardized by the American Wood-Preservers' Association (AWPA) U1, T1, UC1, UC2, UC3A, UC3B, UC4A, UC4B
- Preservative components registered with the United States Environmental Protection Agency
- Australian Standard AS-1604 1997
- AQIS - Australian Quarantine Service
- JIS Japanese Standards
- CSA Canadian Standard Association
- NWPC - Nordic Wood Preservation Council
- Approved in Germany, Holland, Denmark, Sweden and Spain
- Awarded Wisconsin Dept. of Industry, Labor, and Human Relations Approval
- Awarded Wisconsin's Governor's Commendation
- Awarded Wisconsin's Dept. of Natural Resources Commendation

Preserve® and Preserve Plus® Recommended ACQ® Retentions for Various Applications

Application	Retention (lbs./cu. ft.)	Uses
Above Ground Deck Support	0.25 - 0.40	Decking, fence boards, hand rails
Ground Contact Fresh Water	0.40	Fence posts, landscaping, piers, docks, etc.
Permanent Wood Foundations ¹	0.60	Wood foundations, crawl spaces
Poles ²	0.60	Building, transmission and distribution poles
Decking Use Only ³	0.15+ water repellent	5/4" Decking

¹ The recommended ACQ retention levels for Preserve Plus are identical to Preserve treated wood as shown above. The minimum water repellent retention for all applications is 0.25 lbs. per cubic foot.

² ICBO ES.

³ NER 643.



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e-mail: acqinfo@chemspec.com



Interzone® 485 Ultra High Build Epoxy

PRODUCT DESCRIPTION

An ultra high build, high volume solids, two component catalyzed epoxy, capable of being applied up to 120 mils (3000 microns) dry film thickness, and providing excellent impact resistance, abrasion resistance and adhesion properties. Suitable for application using standard airless spray equipment, economical to apply. Excellent resistance to alkalis, chemicals and petroleum products.

INTENDED USES

As a coating for the protection of steelwork in severe environments where high abrasion and corrosion resistance are required including splashzone areas on offshore oil and gas platforms, wharf piles, ship loading facilities, jetties, decks, bridges, chemical plants, pulp and paper mills, and water treatment plants. Particularly suitable when used in conjunction with appropriate aggregate to provide a tough, durable non-slip deck system. Interzone 485 is ideally suited for use on heliports, work areas and walkways on offshore structures. Excellent resistance to cathodic disbondment, gives good compatibility with both sacrificial anode and impressed current systems. Interzone 485 is particularly suitable for the long term protection of sub-sea structures, or as a shop or field applied coating for hot, cathodically protected oil or gas pipelines. As a tank lining for abrasive slurry e.g. CIL/CIP tanks in the gold mining industry.

PRACTICAL INFORMATION FOR INTERZONE 485

Color	Gray
Gloss Level	Semi Gloss
Volume Solids	99%
Typical Thickness	40-120 mils (1000-3000 microns) dry equivalent to 40.4-121.2 mils (1010-3030 microns) wet
Theoretical Coverage	40 sq ft/US gallon at 40 mils dft and stated volume solids 1 m ² /liter at 1000 microns dft and stated volume solids
Practical Coverage	Allow appropriate loss factors
Method of Application	Airless Spray
Drying Time	

Temperature	Touch Dry	Hard Dry	Overcoating Interval with recommended topcoats	
			Minimum	Maximum
50°F (10°C)	14 hours	72 hours	72 hours	4 days*
59°F (15°C)	8 hours	36 hours	36 hours	3 days*
77°F (25°C)	4 hours	24 hours	24 hours	3 days*
104°F (40°C)	2 hours	12 hours	12 hours	1 day*

* Overcoating intervals are longer when overcoating Interzone 485 with self. Please contact International Protective Coatings for further details.

REGULATORY DATA

Flash Point Part A 90°F (32°C); Part B 149°F (65°C); Mixed 145°F (63°C)

Product Weight 9.2 lb/gal (1.10 kg/l)

VOC 38 g/kg EU Solvent Emissions Directive (Council Directive 1989/136C)

See Product Characteristics section for further details



EcoTech is an initiative by International Protective Coatings, a world leader in coating technology, to promote the use of environmentally sensitive products across the globe.

Protective Coatings

Worldwide Product



Page 1 of 4
Issue Date: 7/7/2009
Ref: 2281



Interzone® 485 Ultra High Build Epoxy

SURFACE PREPARATION

All surfaces to be coated should be clean, dry and free from contamination. Prior to paint application, all surfaces should be assessed and treated in accordance with ISO 8504:2002.

For immersion service, Interzone 485 must be applied to surface blast cleaned to a minimum of SSPC SP10 or Sa2½ (ISO 8501-1:2007). However, for atmospheric exposure Interzone 485 may be applied to surfaces prepared to a minimum of SSPC SP6 or Sa2½ (ISO 8501-1:1988).

Surface defects revealed by the blast cleaning process, should be ground, filled, or treated in the appropriate manner.

Surface profile must be a minimum of 2 mils (50 microns).

Interzone 485 can be applied over Interline 982. The primer surface should be dry and free from all contamination, and Interzone 485 must be applied within the overcoating intervals specified (consult the relevant product data sheet).

APPLICATION

Mixing Material is supplied in two containers as a unit. Always mix a complete unit in the proportions supplied. Once the unit has been mixed, it must be used within the working pot life specified.
(1) Agitate Base (Part A) with a power agitator.
(2) Combine entire contents of Curing Agent (Part B) with Base (Part A) and mix thoroughly with power agitator.

Mix Ratio 4 part(s) - 1 part(s) by volume

Working Pot Life 50°F (10°C) 59°F (15°C) 77°F (25°C) 104°F (40°C)
1 hour 1 hour 45 minutes 30 minutes

Airless Spray Recommended Tip Range 30 thou (0.76 mm)
Total output fluid pressure at spray tip not less than 4010 p.s.i. (282 kg/cm²)

Air Spray (Pressure Pot) Not suitable

Brush Not suitable

Roller Not suitable

Thinner International GTA203 Do not thin more than allowed by local environmental legislation (Thin up to 3%)

Cleaner International GTA853 or International GTA203

Work Stoppages Do not allow material to remain in hoses, gun or spray equipment. Thoroughly flush all equipment with International GTA203. Once units of paint have been mixed they should not be resealed and it is advised that after prolonged stoppages work recommences with freshly mixed units.

Clean Up Clean all equipment immediately after use with International GTA203. It is good working practice to periodically flush out spray equipment during the course of the working day. Frequency of cleaning will depend upon amount sprayed, temperature and elapsed time, including any delays.

All surplus materials and empty containers should be disposed of in accordance with appropriate regional regulations/legislation.



Interzone® 485 Ultra High Build Epoxy

PRODUCT CHARACTERISTICS

Interzone 485 is suitable for use with cathodic protection with or without the recommended primer. For specific chemical resistance contact International Protective Coatings.

This product will not cure adequately below 41°F (5°C). For maximum performance ambient curing temperatures should be above 50°F (10°C).

In high impact and abrasion applications do not use primer and apply over a minimum surface profile height of 3 mils (75 microns).

At high film thickness, 80 mils (>2000 microns) apply in two coats to minimize rough surface texture and indentations.

Care should be taken to avoid over application of any priming system used under Interzone 485. Excessive primer film thickness could lead to spitting of the film when overcoated with Interzone 485.

At temperatures below 68°F (20°C) larger pumps and tip sizes may be required to achieve atomization. Care must be taken not to over atomize the product as this will result in a rough surface texture and indentations.

Optimum application conditions are as follows:

Apply using a minimum airless spray pump of 45:1 ratio, for best results a 64:1 ratio is preferred. Storage must be between 68-86°F (20-30°C) to ensure suitable application viscosity. Remove all line filters. Thoroughly blend both components together as specified and thin up to 3% with International thinner GTA203.

Do not use excessive air pressure. Adjust fluid pressure and tip size to achieve suitable atomization. Fluid line should have a diameter no less than 1/4" (15 mm) with a 3/8" (3 mm) diameter whip and no longer than 16.4 ft (5 meters).

Interzone 485 can be utilized as a non-skid deck system by modification with suitable aggregate. Consult International Protective Coatings for further details.

Note: VOC values quoted are based on maximum possible for the product taking into account variations due to color differences and normal manufacturing tolerances.

SYSTEMS COMPATIBILITY

The following primers are recommended for Interzone 485:

Interline 982

For other suitable primers consult International Protective Coatings.

The following topcoats are recommended for Interzone 485:

Interline 620HS
Interline 740
Interthane 870
Interthane 990
Interthane 990HS
Interzone 485

For other suitable topcoats, consult International Protective Coatings.



Interzone® 485 Ultra High Build Epoxy

ADDITIONAL INFORMATION

Further information regarding industry standards, terms and abbreviations used in this data sheet can be found in the following documents available at www.international-pc.com:

- Definitions & Abbreviations
- Surface Preparation
- Paint Application
- Theoretical & Practical Coverage

Individual copies of these information sections are available upon request.

SAFETY PRECAUTIONS

This product is intended for use only by professional applicators in industrial situations in accordance with the advice given on this sheet, the Material Safety Data Sheet and the container(s), and should not be used without reference to the Material Safety Data Sheet (MSDS) which International Protective Coatings has provided to its customers.

All work involving the application and use of this product should be performed in compliance with all relevant national, Health, Safety & Environmental standards and regulations.

In the event welding or flame cutting is performed on metal coated with this product, dust and fumes will be emitted which will require the use of appropriate personal protective equipment and adequate local exhaust ventilation.

If in doubt regarding the suitability of use of this product, consult International Protective Coatings for further advice.

PACK SIZE	Unit Size		Part A		Part B	
	Vol	Pack	Vol	Pack	Vol	Pack
	20 liter	16 liter	20 liter	4 liter	4 liter	4 liter
	5 US gal	3 US gal	5 US gal	0.75 US gal	1 US gal	1 US gal

For availability of other pack sizes contact International Protective Coatings

SHIPPING WEIGHT	Unit Size		Part A		Part B	
	Vol	Pack	Vol	Pack	Vol	Pack
	20 liter	16 liter	19.5 kg	4.5 kg	4.5 kg	4.5 kg
	5 US gal	3 US gal	31.5 lb	9 lb	9 lb	9 lb

STORAGE Shelf Life 24 months minimum at 25°C (77°F). Subject to re-inspection thereafter. Store in dry, shaded conditions away from sources of heat and ignition.

Important Note

The information in this data sheet is not intended to be exhaustive; any person using the product for any purpose other than that specifically recommended in this data sheet without first obtaining written confirmation from us as to the suitability of the product for the intended purpose does so at their own risk. All advice given or statements made about the product (whether in this data sheet or otherwise) is correct to the best of our knowledge but we have no control over the quality or the condition of the substrate or the many factors affecting the use and application of the product. Therefore, unless we specifically agree in writing to do so, we do not accept any liability at all for the performance of the product or for (subject to law) any loss or damage arising out of the use of the product. All products supplied and technical advice given are subject to our Conditions of Sale. You should request a copy of this document and review it carefully. The information contained in this data sheet is liable to modification from time to time in the light of experience and our policy of continuous development. It is the user's responsibility to check with their local International Paint representative that this data sheet is current prior to using the product.

Issue date: 7/7/2009

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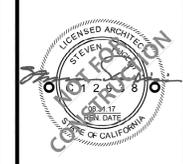
International Paint logo

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SHEET:
**PROPOSED INSTALLATION
& PRODUCT INFORMATION**

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2x6 Board

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Product Description

Lengths: 6ft, 8ft, 12ft and 16ft

Actual Size: 1.5" x 5.5" (3.8cm x 13.7cm)

Weight: 2.65lbs/ft

Radius edge

Woodgrain pattern on one side, smooth on reverse.

FEATURES

Colors: White, Gray, Putty, Cedar, Tan, Black, Redwood, Chocolate Brown, Green, Weathered Wood, Anchor Gray, Harbor Wood.

Board Composition: Recycled HDPE Plastic + Mineral-Fill Additive. No organic fills. No PVC.

Made with at least 50% post-consumer recycled plastic.

50-Year Limited Warranty

Shipping & Freight Information

ORDERING CUSTOM LENGTHS

Custom lengths can be purchased with a minimum order of 500 feet or more.

Allow 30 days for production.



800-480-2327
info@epsplasticlumber.com
885 Church Road,
Elgin, IL 60123-9309



Latest From EPS Lumber:

New Colors for Bear Board

New Trash and Recycling Receptacles

New Website



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4 COASTAL ACCESS SIGNAGE

Creative Lighting
1728 Concordia Ave
St Paul, MN 55104
Website: www.creative-lighting.com

Phone: 651-647-0111
Fax: 651-647-9170
Email: customerservice@creative-lighting.com



One Light Lantern

Item ID: **352359**
Manufacturer: **Kenroy**
MFG #: **93506BL**
Finish: **Black**
Collection: **Dale**
Height: **9.88"**
Width/Dia.: **13.63"**
Length: **9.88"**
Price: **\$44.98**

Bulbs	Qty.	Type	Base	Source	Watt	CCT	CRI	Lm	Avg. Life	Dim	Incl.
	1		Medium		60						

Additional Information
Weight: **1.7lb**

Please be advised that all prices and information shown here are subject to verification by our showroom personnel. In the event of a discrepancy, we reserve the right to make any corrections necessary.

1 DOCK MATERIAL (NON EEL GRASS AREA)

Eaton by Eaton: Lighthouse Power Pedestal



- Breakers**
Eaton's breakers are used in every power pedestal we sell and provide premium protection from wires overheating and electrical current leakage. Reducing the risk of shock and electrocution is especially important in the marine environment.
- Receptacles**
Marine grade corrosion resistance receptacles are used inside our marine pedestals. Eaton's Cooper Wiring Device Business brings together a full line of marine grade receptacles for both NEMA and non-NEMA applications.
- LED Lighting**
LED lighting saves electricity, lasts much longer and has a positive influence on our environment versus more inefficient mercury filled fluorescent lighting. Eaton's LED lighting options help you save money and time spend replacing bulbs.
- TVSS Surge Protection**
Surge protection products are made by Eaton and provided with our pedestals. Surge protection devices are designed to protect solid state equipment on board your vessel and well as the electronics inside each power pedestal.
- Digital Kilowatt Meter**
Using the latest technology, MP&L manufactures digital electronic sub-meters to meet the needs of marinas and RV parks everywhere. Providing an economical means of monitoring energy usage, each power pedestal comes pre-wired with this compact and user-friendly device.
- Ground Fault Monitors & Relays**
Eaton's Ground Fault Monitoring Relays are designed for industrial applications and have passed rigorous noise immunity, vibration and shock tests. They provide system security and immediate reliable low level ground fault detection on three-phase AC resistance grounded or solidly grounded electrical distribution systems.

2 UTILITY PEDESTAL

Safe-T-Span® Industrial Grating Details



Safe-T-Span industrial grating is available in 1", 1-1/4" and 1-1/2" depths in an I-bar configuration with 40%, 50% and 60% open areas. 2" depth T-bar configuration with 33% or 50% open area is also available for applications which require wider spans or lower deflections. For details and load charts for 1-1/4" depth products, please visit our website at www.fibergate.com > Products > Pultruded Grating > Custom Pultruded Gratings.

Grating Details					Grating Details				
Refer to chart on page 4 for Grating Selection.					Refer to chart on page 4 for Grating Selection.				
1" Deep I6010	1-1/2" Deep I6015	1" Deep I5010	1-1/2" Deep I5015	1" Deep I6010	1-1/2" Deep I6015	1" Deep I5010	1-1/2" Deep I5015	1" Deep I6010	1-1/2" Deep I6015
# of Bars/ Ft of Width: 8	# of Bars/ Ft of Width: 8	# of Bars/ Ft of Width: 10	# of Bars/ Ft of Width: 10	# of Bars/ Ft of Width: 8	# of Bars/ Ft of Width: 8	# of Bars/ Ft of Width: 10	# of Bars/ Ft of Width: 10	# of Bars/ Ft of Width: 8	# of Bars/ Ft of Width: 8
Load Bar Depth: 1"	Load Bar Depth: 1-1/2"	Load Bar Depth: 1"	Load Bar Depth: 1-1/2"	Load Bar Depth: 1"	Load Bar Depth: 1-1/2"	Load Bar Depth: 1"	Load Bar Depth: 1-1/2"	Load Bar Depth: 1"	Load Bar Depth: 1-1/2"
Open Area: 60%	Open Area: 60%	Open Area: 50%	Open Area: 50%	Open Area: 60%	Open Area: 60%	Open Area: 50%	Open Area: 50%	Open Area: 60%	Open Area: 60%
Load Bar Centers: 1-1/2"	Load Bar Centers: 1-1/2"	Load Bar Centers: 1-1/2"	Load Bar Centers: 1-1/2"	Load Bar Centers: 1-1/2"	Load Bar Centers: 1-1/2"	Load Bar Centers: 1-1/2"	Load Bar Centers: 1-1/2"	Load Bar Centers: 1-1/2"	Load Bar Centers: 1-1/2"
Approximate Weight: 2.7 psf	Approximate Weight: 3.2 psf	Approximate Weight: 3.3 psf	Approximate Weight: 3.8 psf	Approximate Weight: 2.7 psf	Approximate Weight: 3.2 psf	Approximate Weight: 3.3 psf	Approximate Weight: 3.8 psf	Approximate Weight: 2.7 psf	Approximate Weight: 3.2 psf
Section Properties per Ft. of Width: A = 2.64 IN ² I = 0.33 IN ⁴ S = 0.63 IN ³ Average EI = 1,700,000 lb.-in ² (SPAN ≥ 24')	Section Properties per Ft. of Width: A = 3.2 IN ² I = 0.94 IN ⁴ S = 1.2 IN ³ Average EI = 4,600,000 lb.-in ² (SPAN ≥ 24')	Section Properties per Ft. of Width: A = 3.3 IN ² I = 0.41 IN ⁴ S = 0.79 IN ³ Average EI = 2,100,000 lb.-in ² (SPAN ≥ 24')	Section Properties per Ft. of Width: A = 4 IN ² I = 1.17 IN ⁴ S = 1.65 IN ³ Average EI = 5,700,000 lb.-in ² (SPAN ≥ 24')	Section Properties per Ft. of Width: A = 2.64 IN ² I = 0.33 IN ⁴ S = 0.63 IN ³ Average EI = 1,700,000 lb.-in ² (SPAN ≥ 24')	Section Properties per Ft. of Width: A = 3.2 IN ² I = 0.94 IN ⁴ S = 1.2 IN ³ Average EI = 4,600,000 lb.-in ² (SPAN ≥ 24')	Section Properties per Ft. of Width: A = 3.3 IN ² I = 0.41 IN ⁴ S = 0.79 IN ³ Average EI = 2,100,000 lb.-in ² (SPAN ≥ 24')	Section Properties per Ft. of Width: A = 4 IN ² I = 1.17 IN ⁴ S = 1.65 IN ³ Average EI = 5,700,000 lb.-in ² (SPAN ≥ 24')	Section Properties per Ft. of Width: A = 2.64 IN ² I = 0.33 IN ⁴ S = 0.63 IN ³ Average EI = 1,700,000 lb.-in ² (SPAN ≥ 24')	Section Properties per Ft. of Width: A = 3.2 IN ² I = 0.94 IN ⁴ S = 1.2 IN ³ Average EI = 4,600,000 lb.-in ² (SPAN ≥ 24')

www.fibergate.com | 800-527-4043

3 BOATYARD DOCK: FRP FIBERGLASS GRATING (EEL GRASS REQUIRED)

Safe-T-Span® Industrial Grating Details

2" Deep T5020					2" Deep T3320 (ADA Compliant)				
# of Bars/ Ft of Width: 6	Load Bar Depth: 2"	Open Area: 50%	Load Bar Centers: 2"	Approximate Weight: 3.4 psf	# of Bars/ Ft of Width: 8	Load Bar Depth: 2"	Open Area: 33%	Load Bar Centers: 1-1/2"	Approximate Weight: 3.7 psf
Section Properties per Ft. of Width: A = 3.2 IN ² I = 1.68 IN ⁴ S = 1.96 IN ³ Average EI = 7,600,000 lb.-in ² (SPAN ≥ 24')					Section Properties per Ft. of Width: A = 4.28 IN ² I = 2.24 IN ⁴ S = 2.61 IN ³ Average EI = 9,200,000 lb.-in ² (SPAN ≥ 24')				
1" Deep I4010 (ADA Compliant)					1-1/2" Deep I4015 (ADA Compliant)				
# of Bars/ Ft of Width: 12	Load Bar Depth: 1"	Open Area: 40%	Load Bar Centers: 1"	Approximate Weight: 3.8 psf	# of Bars/ Ft of Width: 12	Load Bar Depth: 1-1/2"	Open Area: 40%	Load Bar Centers: 1"	Approximate Weight: 4.6 psf
Section Properties per Ft. of Width: A = 3.96 IN ² I = 0.5 IN ⁴ S = 0.95 IN ³ Average EI = 2,500,000 lb.-in ² (SPAN ≥ 24')					Section Properties per Ft. of Width: A = 4.8 IN ² I = 1.41 IN ⁴ S = 1.8 IN ³ Average EI = 2,000,000 lb.-in ² (SPAN ≥ 24')				

Safe-T-Span® High Load Capacity Grating

High Load Capacity (HL) pultruded grating is yet another product in the arsenal of engineered fiberglass reinforced plastic (FRP) solutions by Fibergate. While capitalizing on some of the traditional benefits of pultruded grating products - high strength, corrosion resistance, slip resistance, fire retardancy, non conductivity and low maintenance - this pultruded FRP product has been engineered to carry the forklift and tractor trailer loads that traditional pultruded FRP grating products are unable to support.

- 47% and 58% open surface area
- Available in 1", 1-1/2", 2", 2-1/2" and 3" depths
- Rated for up to H20 loads in all five depths
- Flame spread rating of 25 or less (when tested in accordance with ASTM E-84) and a Class 1 Fire Rating

Standard panels consist of:

- Fire retardant vinyl ester resin system
- Dark gray in color
- Aluminum oxide grit top surface

Each HL grating is specially engineered to meet specific requirements. Contact the Fibergate engineering team to determine which grating offers the best solution for your high load needs. (Applications with traffic perpendicular to trench or with turning wheel loads, contact Fibergate engineering for design assistance.)

www.fibergate.com | 800-527-4043



569 Higuera Street
Suite A
San Luis Obispo, CA 93401
Ph: 805.595.1962
Fx: 805.595.1980



PROJECT:
The Otter Rock Cafe
Renovation & Deck Repair
885 Embarcadero, Morro Bay, CA.
Cliff Branch

SHEET:
PROPOSED INSTALLATION & PRODUCT INFORMATION

All ideas, designs, arrangements and plans indicated or represented by the drawings are owned by, and the property of, Steven Puglisi, ARCHITECTS, INC. and were created and developed for use, and in conjunction with, the specific project described herein. None of these ideas, designs and arrangements or plans shall be used by, or disclosed to any person, firm, or corporation for any purpose without the written permission of Steven Puglisi, ARCHITECTS, INC. Filing these drawings with a public agency is not a publication of same, and no copying, reproduction or use thereof is permissible without the consent of Steven Puglisi, ARCHITECTS, INC.

DATE: 22 Dec 17
JOB:
DRAWN: m.maldonado
REV:
▲
▲
▲

SHEET №
P4.4

ABBREVIATIONS

&	AND	FL	FLOOR	PL	PLATE
∠	ANGLE	FLASH	FLASHING	P LAM	PLASTIC LAMINATE
⊙	AT	FLUOR	FLUORESCENT	PLAS	PLASTER
⊕	CENTER LINE	FAC	FACE OF CONCRETE	PLYWD	PLYWOOD
⊖	PROPERTY LINE	FOF	FACE OF FINISH	PR	PAIR
⌀	DIAMETER or ROUND	FOS	FACE OF STUDS	PREFAB	PREFABRICATED
(E)	EXISTING	FW	FACE OF WALL	PREP	PREPARATION
(N)	NEW	FR	FRAME	PT	POINT
⊥	PERPENDICULAR	FRPF	FIREPROOFING	PTD	PAPER TOWEL DISPENSER
#	ROUND or NUMBER	FT	FOOT or FEET	PTD/R	PAPER TOWEL DISPENSER & RECEPTACLE
A/C	AIR CONDITIONING	FTG	FOOTING	PTR	PAPER TOWEL RECEPTACLE
AD.	ACOUS	FUR	FURRING	PTS	PNEUMATIC TUBE STATION
ADJ.	ADJUSTABLE	FURR	FURRING	Q. T.	QUARRY TILE
ADMIN	ADMINISTRATION	FUT	FUTURE	R	RISER
AGGR	AGGREGATE	GA	GAUGE	RAD. or R	RADIUS
AL	ALUMINUM	GALV	GALVANIZED	RD	ROOF DRAIN
APPROX	APPROXIMATE	GB	GRAB BAR	RECP	RECEPTIONIST
APPT	APPOINTMENTS	GEN	GENERAL	REF	REFERENCE
ARCH.	ARCHITECTURAL	GL	GALVANIZED IRON	REFR	REFRIGERATOR
ASB	ASBESTOS	GLU	GLUE	REINF	REINFORCED
ASPH	ASPHALT	GLULAM	GLUE LAMINATED	REQD	REQUIRED
ASST	ASSISTANT	GR	GRADE	RESIL	RESILIENT
AUTO.	AUTOMATIC	GRD	GROUND	RM	ROOM
		GYP	GYPNUM	RO	ROUGH OPENING
BD	BOARD	HC	HANDICAPPED	RWD	REDWOOD
BITUM	BITUMINOUS	H. C.	HOLLOW CORE	RWL	RAINWATER LEADER
BLK	BLOCK	HD	HEAD	S	SINK or SOUTH
BLKG	BLOCKING	HDWD	HARDWOOD	SC	SOLID CORE
BM	BEAM	HW	HARDWARE	SCHD	SEAR COVER DISPENSER
BOT	BOTTOM	HEX	HEXAGON	SD	SCHEDULE
		HL	HIGH	SO	SOAP DISPENSER
		HLM	HOLLOW METAL	SECT.	SECTION
		HORIZ	HORIZONTAL	SECT.Y	SECRETARY
		HOSP	HOSPITAL	SH	SHelf
		H. R.	HANDRAIL	SHR	SHOWER
		HOUR	HOUR	SHT	SHEET
		HT	HEIGHT	SIM	SIMILAR
		HVAC	HEATING, VENTILATING, AIR CONDITIONING	SN	SLOPE
				SND	SANITARY NAPKIN DISPENSER
				SNR	SANITARY NAPKIN RECEPTACLE
				SQA	SPACES
				SPEC	SPECIFICATION
				SQ	SQUARE
				S/S	SERVICE SINK
				SST	STAINLESS STEEL
				STD	STANDARD
				STL	STEEL
				STOR	STORAGE
				STR	STRUCTURAL
				SUPV	SUPERVISOR
				SUSP	SUSPENDED
				SYM	SYMMETRICAL
				T or TRD	TREAD
				TB	TOWEL BAR
				TC	TOP OF CURB
				TEL	TELEPHONE
				T & G	TONGUE AND GROOVE
				THK	THICK
				TKBD	TACKBOARD
				TOC	TOP OF CONCRETE
				TP	TOP OF PAVEMENT
				TPD	TOILET PAPER DISPENSER
				TRANS	TRANSCRIPTION
				TREAT.	TREATMENT
				TV	TELEVISION
				TW	TOP OF WALL
				TYP	TYPICAL
				UCT	UNGLAZED CERAMIC TILE
				UL	UNDERWRITERS LABORATORIES
				UNF	UNFINISHED
				UNO	UNLESS OTHERWISE NOTED
				UR or U	URINAL
				VCT	VINYL COMPOSITION TILE
				VERT	VERTICAL
				VEST.	VESTIBULE
				W	WEST
				W/	WITH
				WC	WATER CLOSET
				WO	WOOD
				W/O	WITHOUT
				WP	WATERPROOF
				WSC	WAINSCOT
				WT	WEIGHT
				YD	YARD

LEGENDS

	EARTH
	ROCK FILL
	SAND/MORTAR/PLASTER
	CONCRETE CAST IN PLACE OR PRECAST
	BRICK
	CONCRETE BLOCK
	STONE INCLUDES MARBLE
	METAL OMIT INDICATION IN THIN MATERIAL
	METAL LATH
	WOOD, FINISH
	WOOD, FRAMING THROUGH MEMBER
	WOOD, FRAMING INTERRUPTED MEMBER
	PLYWOOD
	GLASS OMIT INDICATION IN THIN MATERIAL
	ACOUSTIC TILE OR BOARD
	GYPSUM BOARD OMIT DOUBLE LINES AT SMALL SCALE
	INSULATION, BATT
	INSULATION, RIGID
	DEMOUNTABLE PARTITION SEE DETAIL
	STUD SIZE WHEN NOT TYP.
	PERMANENT PARTITION WHERE OCCURS
	TYPICAL FURRING 2" UNLESS OTHERWISE NOTED
	GLAZED PARTITION
	WIRE MESH PARTITION
	CHAIN LINK FENCE
	1-HOUR RATED PARTITION

SYMBOLS

	COLUMN LINE LETTERS IN VERT. DIRECTION NUMBERS IN HORIZ. DIRECTION
	DOOR SYMBOL SEE DOOR SCHEDULE
	WINDOW TYPE SEE WINDOW SCHEDULE
	REVISION CLOUD AROUND REVISION
	MATCH LINE SHADED PORTION IS THE SIDE CONSIDERED
	SECTION SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
	DETAIL DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
	INTERIOR ELEVATION(S) ELEVATION IDENTIFICATION (UNFOLD ELEVATIONS CLOCKWISE. NO ARROWS MEANS ELEVATION NOT SHOWN.) SHEET WHERE ELEVATION IS DRAWN
	ROOM IDENTIFICATION ROOM NAME ROOM NUMBER

OTTER ROCK CAFE

DECK REPAIR

885 EMBARCADERO MORRO BAY, CA.

SPECIAL INSPECTION REQUIRED

- (1) DURING CONSTRUCTION OF CAST IN PLACE FOUNDATION PIERS CBC 1705.8
- (2) ALL WELDING WITH THE EXCEPTION OF SHOP WELDING DONE IN AN APPROVED FABRICATOR'S SHOP IN ACCORDANCE WITH CBC 1704.2.5.2
- (3) PER 2016 CBC SECTION 1705.11 SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE

DESIGN CRITERIA

ROOF LIVE LOAD: 20# DEAD LOAD: 15#	SITE CLASS D SEISMIC DESIGN CATEGORY D WIND SPEED: 110 MPH	EXPOSURE: C OCCUPANCY CATAGORY II
FLOOR LIVE LOAD: 100# DEAD LOAD: 70#		

OTTER ROCK CAFE
DECK REPAIR
885 EMBARCADERO MORRO BAY, CA.

PASQUINI ENGINEERING INCORPORATED
Telephone: (661) 298-6600
pasquini@pasquininge.com
902 H Street Suite 200
Bakersfield, CA 93304
Marc A. Pasquini
RCE 46079

THESE PLANS ARE NOT FOR CONSTRUCTION UNLESS A "WET STAMP & SIGNATURE" FROM BOTH THE ENGINEER OF RECORD AND A APPROVAL STAMP WITH A "WET STAMP & SIGNATURE" FROM THE LOCAL GOVERNING AGENCY ARE PRESENT.

DWG. BY	J.D.
CHK'D BY	
DATE	7/26/17
JOB NO.	7988
FILE NO.	798822

PROPOSED DECK REPAIR: GENERAL INFORMATION SHEET

P5.0

GENERAL NOTES

- GENERAL**
ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM WITH THE APPLICABLE PORTIONS AND EDITIONS OF THE FOLLOWING CODES.
A. CALIFORNIA ADMINISTRATIVE CODE, TITLES 19, 20, 24
B. CALIFORNIA BUILDING CODE
C. CALIFORNIA MECHANICAL CODE
D. CALIFORNIA PLUMBING CODE
E. CALIFORNIA ELECTRICAL CODE
F. PUBLIC HEALTH CODE OF THE CALIFORNIA STATE DEPARTMENT OF PUBLIC HEALTH AND LOCAL HEALTH DEPARTMENT.
G. CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT, (CAL/OSHA), TITLE 8 "GENERAL SAFETY ORDERS".
H. RULES AND REGULATIONS OF THE STATE AND LOCAL FIRE MARSHALS.
I. A.D.A.A.G.
J. CA GREEN BUILDING STANDARDS

SPECIFICATIONS ARE A PART OF THIS CONTRACT AND SHALL TAKE PRECEDENCE OVER DRAWINGS. DETAILS MARKED TYPICAL ON DRAWINGS ARE INTEND TO SHOW TYPICAL CONDITIONS FOR THE ENTIRE PROJECT AND ARE TO APPLY WHERE SIMILAR CONDITIONS OCCUR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER CONTRACTORS TO ASSURE COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, AND THE ACCURATE LOCATION OF STRUCTURAL MEMBERS AND OPENINGS FOR MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT.
- DIMENSIONS**
CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WITH THIS PROJECT. REPORT ALL DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING.

DIMENSIONS SHOWN ON THE DRAWINGS ARE TO CENTER LINE OF STUDS, COLUMN OR GRID LINE OR TO FACE OF STUD PARTITIONS UNLESS OTHERWISE NOTED.

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE FOUND.

VICINITY MAP

BUILDING DATA

APPLICABLE CODES

BUILDING: 2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA GREEN CODE

PLUMBING: 2016 CALIFORNIA PLUMBING CODE

MECHANICAL: 2016 CALIFORNIA MECHANICAL CODE

ELECTRICAL: 2016 CALIFORNIA ELECTRICAL CODE

ACCESSIBILITY: CURRENT ANSI AND ADAAG

FIRE: 2016 CALIFORNIA FIRE CODE

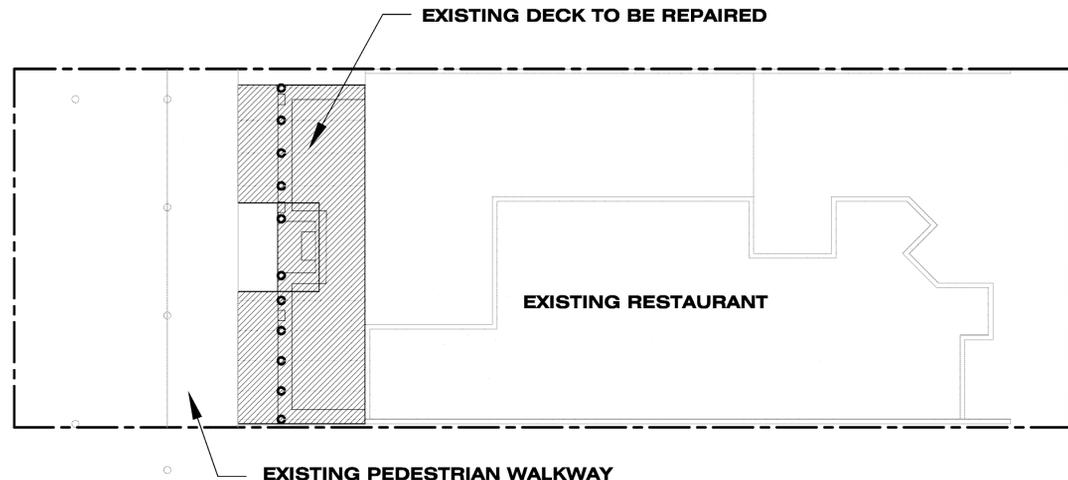
LIFE SAFETY: 2016 NFPA 101, LIFE SAFETY CODE

BUILDING OCCUPANCY

M

CONSTRUCTION TYPE

5-B NON SPRINKLERED



SITE PLAN

N.T.S.

NO.	DATE

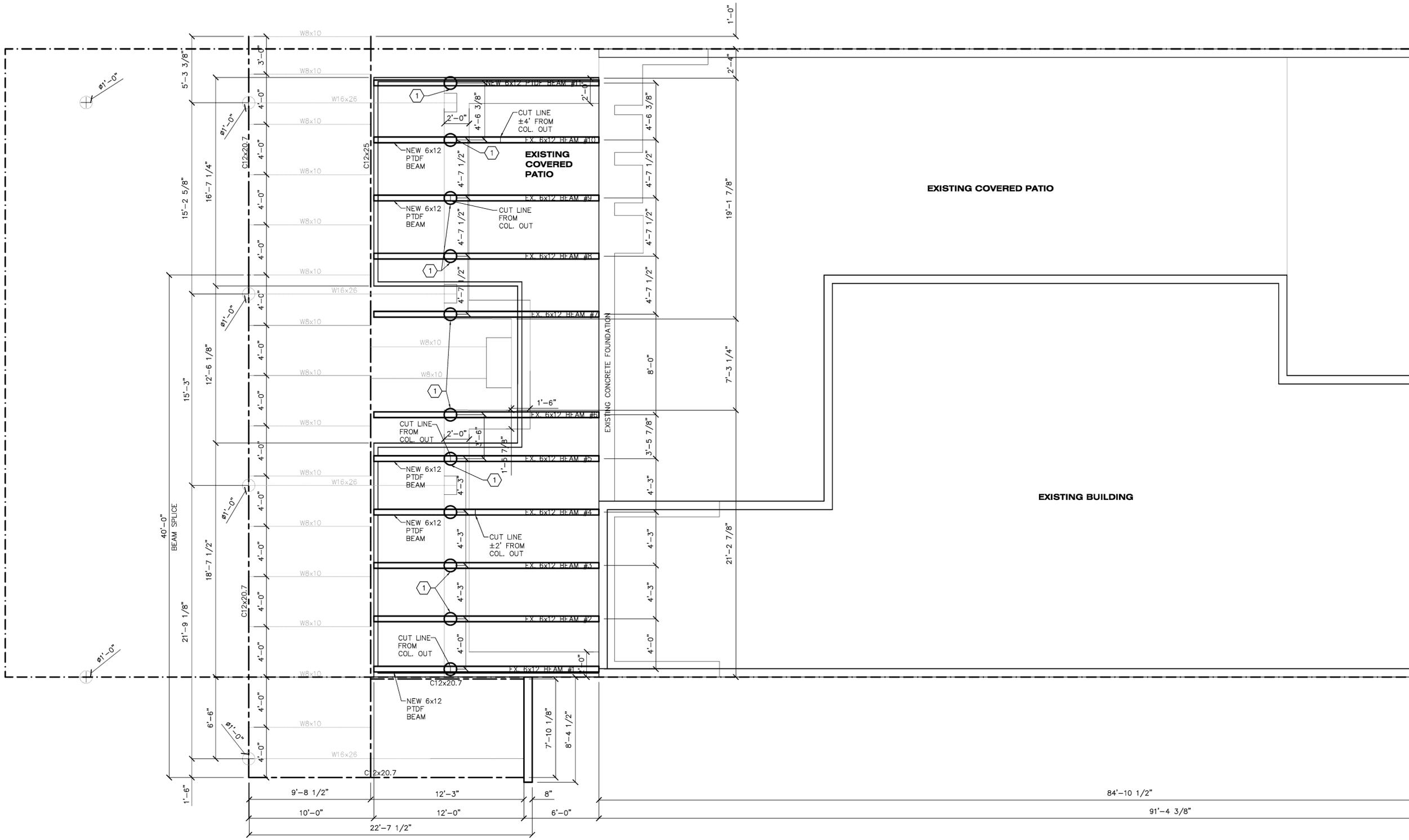
**OTTER ROCK CAFE
DECK REPAIR
885 EMBARCADERO
MORRO BAY, CA**

THESE PLANS ARE NOT FOR CONSTRUCTION AND ARE TO BE CONSIDERED PRELIMINARY UNLESS A "WET STAMP & SIGNATURE" FROM BOTH THE ENGINEER OF RECORD AND A APPROVAL STAMP WITH A "WET STAMP & SIGNATURE" FROM THE LOCAL GOVERNING AGENCY ARE PRESENT.

DWG. BY	J.D.
CHKD BY	
DATE	9/11/17
JOB NO.	7988
FILE NO.	798822

**PROPOSED DECK REPAIR:
SITE PLAN**

P5.1



SITE PLAN

SCALE: 3/16" = 1'-0"

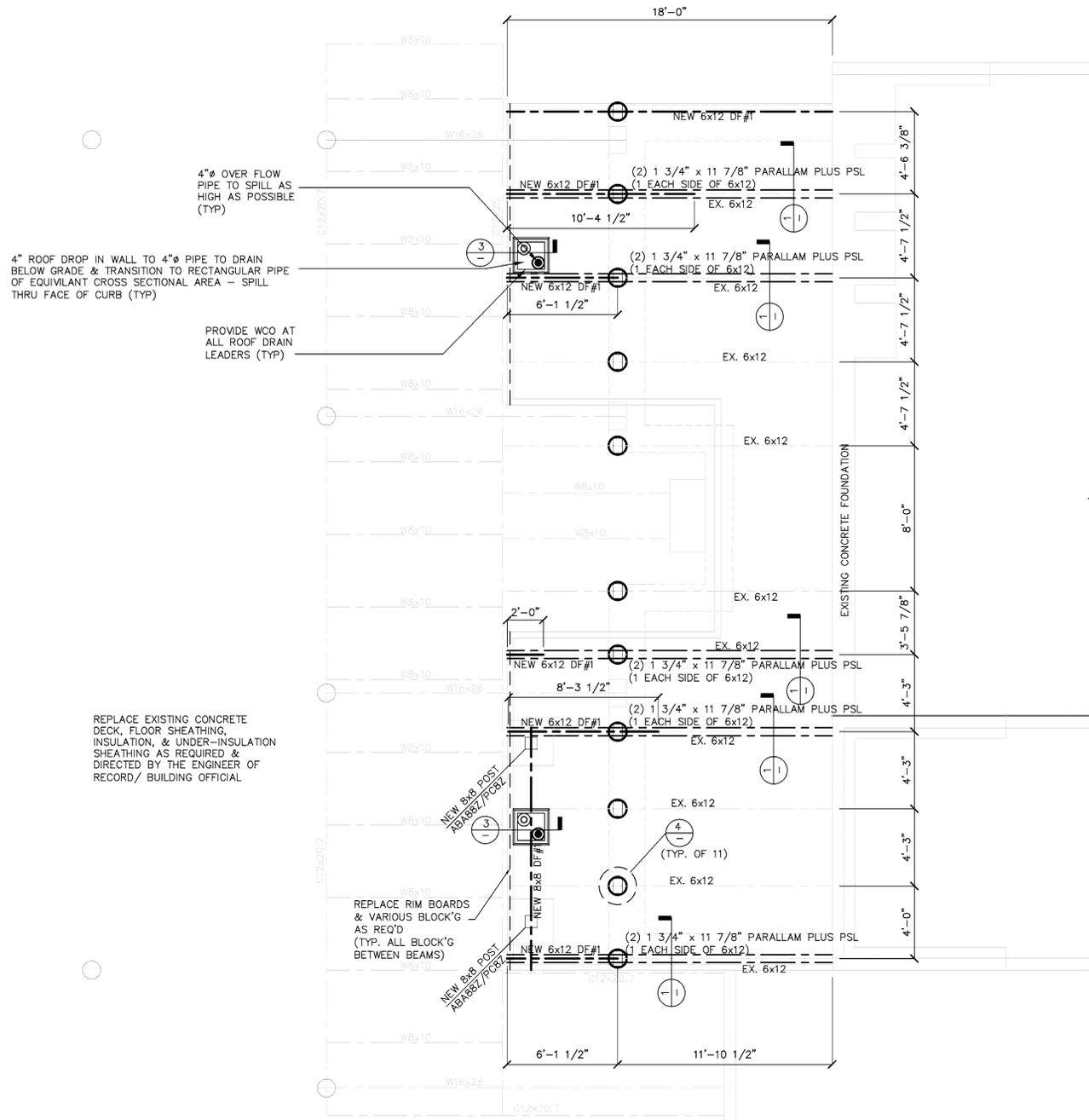


**EXHIBIT B
OTTER ROCK DECK
REPAIR SITE PLAN**

NOTE(S):

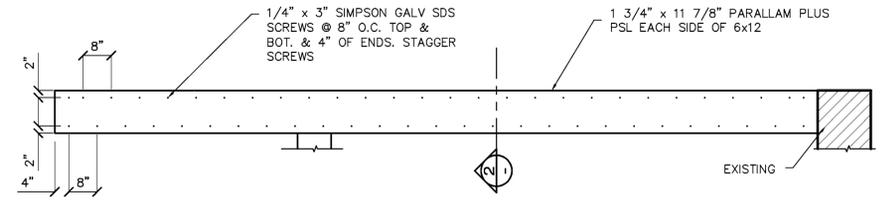
- 1 REPLACE RUSTED SADDLE, BASE PLATE, AND ANCHORS

STRUCTURAL OBSERVATION & COORDINATION W/ THE ENGINEER OF RECORD IS REQ'D



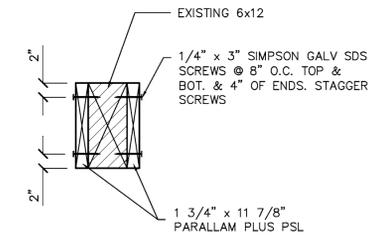
FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



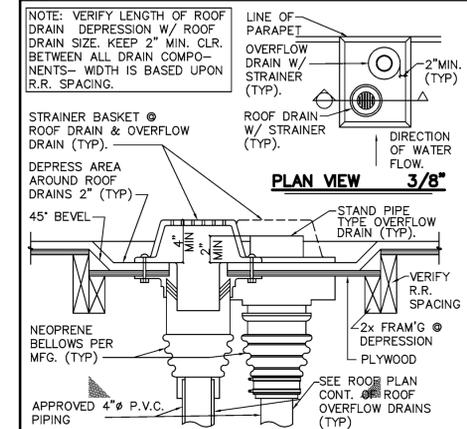
1) SISTER BEAMS/ EXISTING 6x12

1/2"



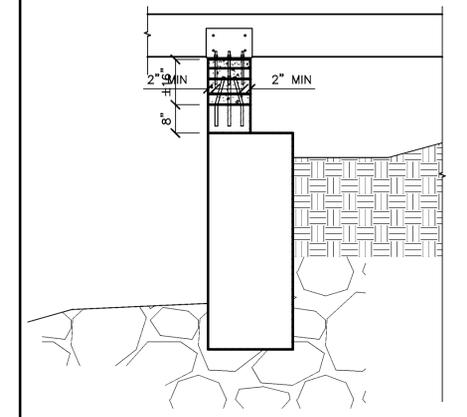
2) SISTER BEAMS

1"



3) ROOF DRAIN DETAIL

1 1/2"



4) EX. 12" Ø CONC. PIERS

1/2"

PASQUINI ENGINEERING INCORPORATED

Telephone: (661) 328-9600
 Fax: (661) 328-9604
 Email: pasquini@pasquiniengineering.com
 Marc A. Pasquini
 PRC# 46079

NO.	DATE

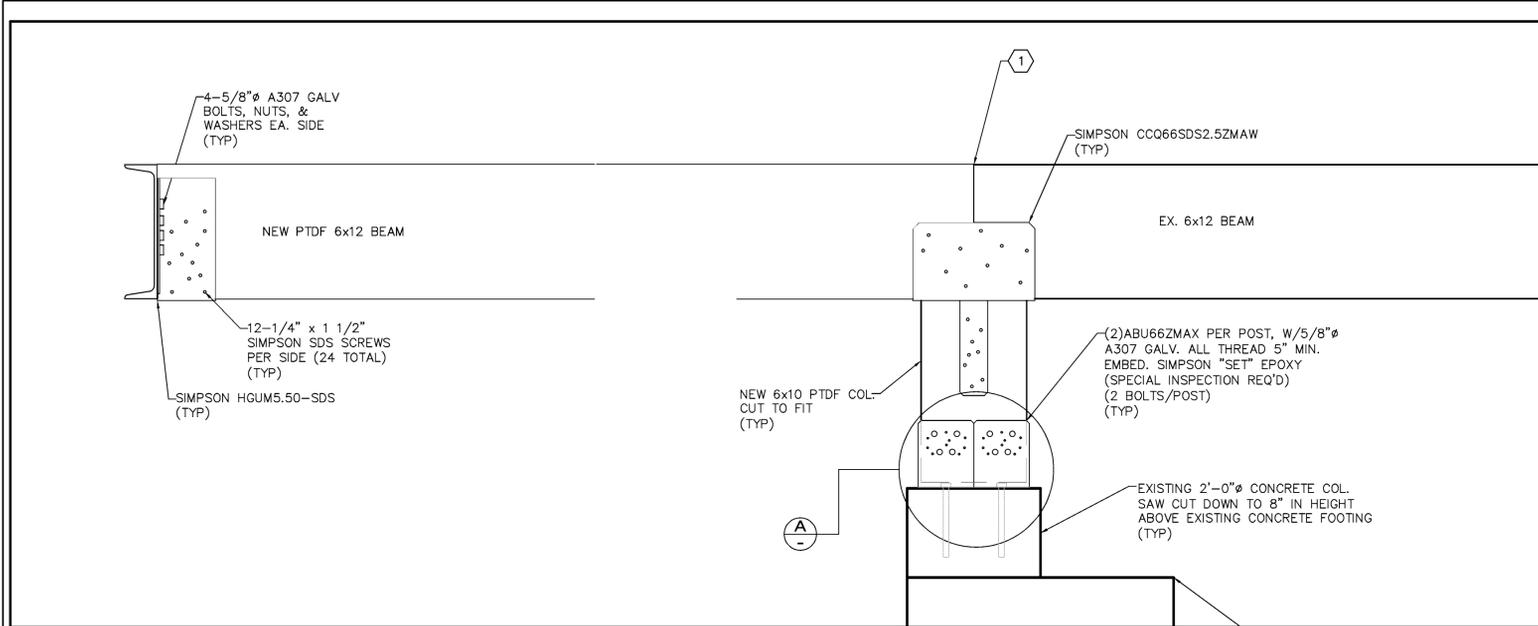
OTTER ROCK CAFE
DECK REPAIR
 885 EMBARCADERO
 MORRO BAY, CA

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DWG. BY	J.D.
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DATE	9/11/17
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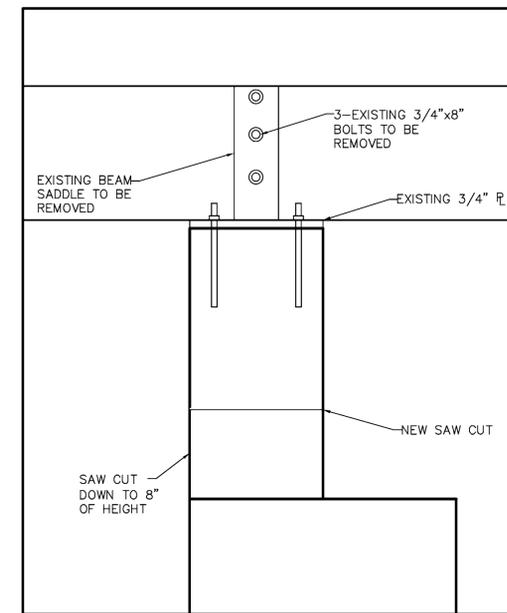
PROPOSED DECK REPAIR: FLOOR FRAMING

P5.2



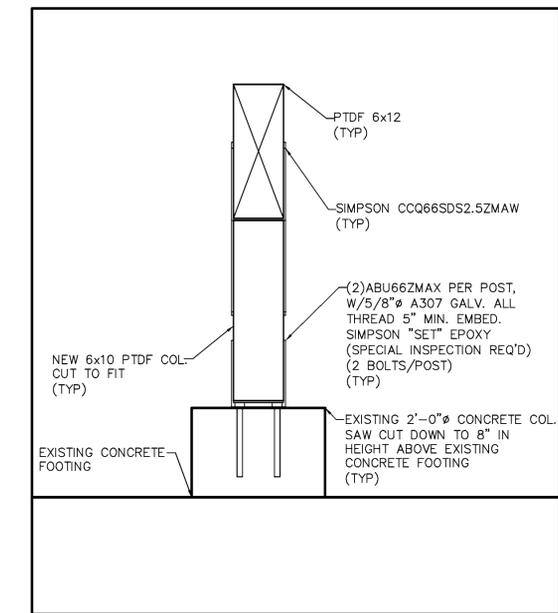
ELEVATION

SCALE: 1-1/2" = 1'-0"



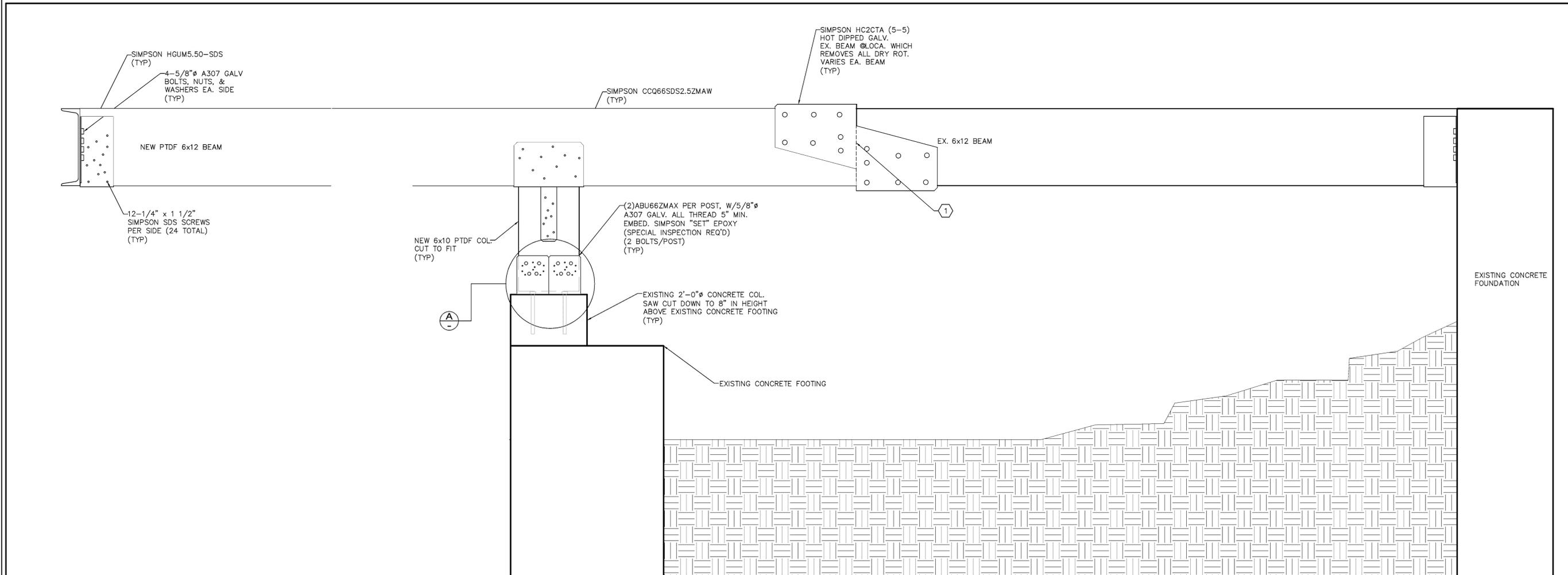
DETAIL A (EXISTING)

SCALE: 1-1/2" = 1'-0"



DETAIL A (SIDE VIEW)

SCALE: 1-1/2" = 1'-0"



ELEVATION

SCALE: 1-1/2" = 1'-0"

**EXHIBIT B
OTTER ROCK DECK
REPAIR ELEVATION**

NOTE(S):

ALL METAL PRODUCTS INCL. HANGERS, BOLTS, STRAPS, ETC. SHALL BE GALV. BY MFG. OR HOT DIPPED GALV. BY OTHERS.
① VARIES EACH BEAM. SEE SHEET 1 FOR CUT LINE LOCATIONS.

PASQUINI ENGINEERING
INCORPORATED
Telephone: (681) 328-9600
Bakersfield, CA 93304
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RCE 46079
903 H Street, Suite 300
Marc A. Pasquini

NO.	DATE

**OTTER ROCK CAFE
DECK REPAIR
885 EMBARCADERO
MORRO BAY, CA**

THESE PLANS ARE NOT FOR CONSTRUCTION AND ARE TO BE CONSIDERED PRELIMINARY UNLESS A "WET STAMP & SIGNATURE" FROM BOTH THE ENGINEER OF RECORD AND A APPROVAL STAMP WITH A "WET STAMP & SIGNATURE" FROM THE LOCAL GOVERNING AGENCY ARE PRESENT.

DWG. BY	J.D.
CHK'D BY	
DATE	9/11/17
JOB NO.	7988
FILE NO.	798822

**PROPOSED DECK
REPAIR:
ELEVATIONS**

P5.3



AGENDA NO: B-3

MEETING DATE: March 6, 2018

Staff Report

TO: Planning Commissioners **DATE:** February 26, 2018

FROM: Joan Gargiulo, Assistant Planner

SUBJECT: 2770 Elm; Applicant: Larry and Jacqueline Ferrin; Conditional Use Permit (#UP0-487) and Parking Exception (#AD0-129) Request to allow an addition to an existing single-family residence with a nonconforming side-yard setback, building separation, and parking situation at 2770 Elm Avenue, located in the R-1/S.2 Residential Zoning District and outside of the Coastal Commission Appeal Jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission **Resolution 07-18** which includes the Findings and Conditions of Approval for the project depicted on site development plans dated stamp received January 4, 2018.



LEGAL DESCRIPTION/APN:

068-226-004

PROJECT DESCRIPTION:

The Applicant is requesting Conditional Use Permit and Parking Exception approval for an addition to an existing nonconforming single-family residence. The Applicant proposes to demolish the existing carport and one-car garage onsite and construct an attached 334 sq. ft. one-car garage and add 461 sq. ft. of habitable floor area to an existing 896 sq. ft. single-family residence as shown in development plans attached below as Exhibit B. The parking exception is to allow for the second required parking space to be located in tandem in the driveway. The existing residence is considered

Prepared By: JG

Department Review: _____

nonconforming due to the parking situation, an insufficient side-yard setback, and inadequate building separation as discussed below in the 'Project Analysis' section.

PROJECT SETTING:

The project is located in the Del Mar residential neighborhood, designated as Planning Area 3 in the Local Coastal Plan. The parcel at 2770 Elm Avenue lies to the south of San Jacinto Street, north of Elena Street, and east of Highway 1. The mostly flat, rectangular-shaped 4,000 sq. ft. lot is located in the R-1/S.2 Single-Family Residential Zoning District. Housing in the surrounding area includes a variety of one and two-story homes. The site is located outside of the Coastal Commission Appeals Jurisdiction.

Adjacent Zoning/Land Use			
North:	R-1/S.2 Single-Family Residential Use	South:	R-1/S.2 Single-Family Residential Use
East:	R-1/S.2 Single-Family Residential Use	West:	R-1/S.2 Single-Family Residential Use

Site Characteristics	
Site Area	4,000 square feet
Existing Use	Single-Family residential
Terrain	Developed and virtually flat
Vegetation/Wildlife	Ornamental landscaping
Archaeological Resources	N/A
Access	Elm Avenue and Fir Avenue

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1
Zoning Overlay District	S.2
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located outside the Coastal Commission Appeal Jurisdiction

PROJECT ANALYSIS:

Background

Records indicate the existing nonconforming single-family residence was originally built in 1951 similar to other homes in the neighborhood. The residential use is consistent with the General Plan designation of Low-Medium Density Residential and with the Single-Family Residential (R-1) Zoning District.



Residential Design Guidelines

The Residential Design Guidelines, reauthorized by the City Council in October of 2016, have a stated purpose to maintain the high quality of the City's neighborhoods by developing reasonable, sound, and objective guidance in identifying key design features and components of new development. The Guidelines are an implementation tool for the neighborhood compatibility policies set forth in the General Plan and the Local Coastal Plan.

- *Relationship to Homes in Immediate Neighborhood*. The overall design of the home remains visually compatible with the immediate neighborhood and maintains architectural integrity with design and material consistency on all facades.
- *Scale and Mass*: The proposed single-story addition to an existing single-story home is consistent with the predominate development pattern of mainly modest, single-story residences in the immediate neighborhood
- .
- *Surface Articulation* – The proposed development provides adequate surface articulation through the use of large windows, a large front porch, and the 18 foot garage setback.
- *Building Orientation* – The residence provides a visible front entryway and porch, and shall be located on the lot in a similar manner as adjacent homes.

- Garage Placement and Design – The proposed garage entrance is setback three (3) feet from the front of the structure and the decorative garage door provides for architectural and visual interest.
- Building Materials – Building materials are proposed to be consistently applied and harmonious with adjacent colors and materials throughout the property.
- Architectural Elements – The architectural elements are proportional to the overall home design and balanced on the building elevation.
- Additions to Existing Homes – The materials and architectural elements used in the design of the proposed addition are consistent with the existing structure and blend seamlessly into the overall design of the home.
- Privacy – The potential impact to the privacy of adjacent homes is negligible given the single-story nature of the proposed addition.

Zoning Ordinance Standards			
	Standards	Existing	Proposed Addition
Front Setback	15 feet	15 feet	18' Garage Entry
Side-Yard Setback	5 feet	3'3"	6'9"
Rear Setback	5 feet	16 feet	16 feet
Height	25 Feet	13 feet	13 feet
Lot Coverage	Max. 50%	37%	42%
Building Separation	6 feet	2'10"	N/A
Parking	2 Car Garage	1 Car Garage and Carport	1 Car Garage and Tandem

Zoning Ordinance Consistency

Current requirements of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”) pertaining to side-yard setbacks, building separation, and parking render the existing structure nonconforming. However, additions to nonconforming structures may be permitted with approval of a conditional use permit, subject to certain findings (Morro Bay Municipal Code (MBMC) section 17.56.160.

Trellis Structure

The existing dilapidated trellis structure currently located at the rear of the parcel shall be removed. A Condition requiring the removal of the structure is included as Planning Condition #5 in Planning Commission Resolution 07-18 (Exhibit A).

Side-Yard Setback

The existing side-yard setback of 3'3" does not conform to the current 5 ft. setback requirement as set forth in Section 17.40.050 of the Zoning Ordinance. The proposed addition shall be in conformance will all provisions set forth in the MBMC.

Building Separation

The minimum building separation requirement for a detached garage is 6 feet, pursuant to Section 17.48.040 of the MBMC. The existing garage lies 3'2" from the side of the existing single-family residence and only 2'10" from the existing carport. The Applicant proposes to demolish the existing carport structure and rebuild the one-car garage attached to the existing structure, eliminating the nonconforming situation.

Parking

With an existing one-car garage and a one-car carport, the residence does not conform to the current parking requirement of two covered and enclosed parking spaces for parcels over 3,500 sq. ft. in the S.2 Special Treatment Overlay Zone (MBMC 17.40.050). The Applicant is proposing to remedy the nonconforming building separation issue discussed above by removing the carport structure and rebuilding the one-car garage attached to the main structure of the house. The parking exception is to allow for the second required parking space to be located in tandem in the driveway.

Parking Exception

The Zoning Ordinance, subsection 17.44.050, allows for an exception to the parking standards provided that certain findings are made:

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative to the parking design standards of this chapter will be adequate to accommodate on site all parking needs to be generated by the use.

Single-family residences are required to provide two covered and enclosed parking spaces. If tandem parking is approved, the project will meet that requirement.

2. The exception will not adversely affect the health, safety, or general welfare of person working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of parking standards.

Tandem parking will not result in traffic safety problems at this location because there is adequate space to accommodate a parked car in the driveway and adequate sight distance for vehicles maneuvering into and out of the driveway.

3. The exception is reasonably necessary for the Applicant's full enjoyment of uses similar to those upon the adjoining real property.

The Applicant's parking proposal is reasonable given similar parking arrangements in the project vicinity and given the footprint and construction of the existing buildings on site.

Conditional Use Permit Requirement

The Zoning Ordinance, subsection 17.56.160A, requires approval of a conditional use permit for any structure which is nonconforming with any provision of this title. The project proposes to add a 461 square-foot addition to a nonconforming structure. As noted above, the structure is nonconforming with regard to the side-yard setback, building separation, and parking. Approval of a Conditional Use Permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed addition is consistent with Zoning Ordinance requirements.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes an addition to a single-family dwelling, which is an allowed use in the R-1 zone. The surrounding neighborhood is developed with one and two-story homes.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary to meet the required side-yard setback and parking.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on February 24, 2018, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3. The exemption applies to new construction of a single-family residence in a residential zone for the addition of more than 50% of the existing habitable floor area. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Zoning Ordinance allows additions to nonconforming structures upon approval of a conditional use permit (MBMC section 17.56.160).

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-487 and Parking Exception #AD0-129 for the proposed addition to a nonconforming structure for the project at 2770 Elm Avenue, as shown on plans date stamp received January 4, 2018, by adopting Planning Commission **Resolution 07-18** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 07-18
Exhibit B – Graphics/Plan Reductions

EXHIBIT A

RESOLUTION NO. PC 07-18

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT (UP0-487) TO ALLOW AN ADDITION TO A NONCONFORMING RESIDENTIAL STRUCTURE AND PARKING EXCEPTION (AD0-129) TO ALLOW A SECOND OPEN UNCOVERED PARKING SPACE IN THE DRIVEWAY AT 2770 ELM AVENUE

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on March 6, 2018 for the purpose of considering Conditional Use Permit UPO-487 for a proposed addition to a nonconforming single-family residence and parking exception AD0-129 for a second open, tandem parking space in the driveway at 2770 Elm Avenue; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt pursuant to Class 3, CEQA Guidelines Section 15303 for new construction of a single-family residence in a residential zone for the proposed addition of more than 50% of the existing habitable floor area with no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed addition is in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

EXHIBIT A

Planning Commission Resolution No. 07-18

UP0-487 / AD0-129: 2770 Elm Avenue

Page 2

4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with mostly modest one-story homes.
5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet the required side-yard setback and covered and enclosed parking requirement.

Parking Exception Findings

1. The exception to allow a tandem parking space in the driveway where a second covered and enclosed is otherwise required will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity. Many dwellings in the neighborhood have nonconforming parking situations.
2. The proposed parking space location and dimensions will be adequate to accommodate parking needs generated by the use. With approval of the exception, two required parking places will be provided on site consistent with the Zoning Ordinance requirements.
3. The exception to allow a second open tandem parking space in the driveway will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity, where a similar development pattern exists, and will not alter or conflict with existing traffic patterns in the right-of-way because the parking area is located completely out of the public right-of-way and outside of the front-yard setback.
4. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon adjoining real property, given the footprint of the existing buildings on site.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit UPO-487 and Parking Exception AD0-129 for the property located at 2770 Elm Avenue subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated February 28, 2018, for the project at 2770 Elm Avenue depicted on plans date stamped received January 4, 2018, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.

EXHIBIT A

Planning Commission Resolution No. 07-18

UP0-487 / AD0-129: 2770 Elm Avenue

Page 3

2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

EXHIBIT A

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings: The erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Removal of Existing Trellis: On building plans submitted as part of the Building Permit application, the Applicant shall clearly illustrate the removal of the existing trellis structure currently located at the rear of the parcel.

BUILDING CONDITIONS

A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others

EXHIBIT A

Planning Commission Resolution No. 07-18

UP0-487 / AD0-129: 2770 Elm Avenue

Page 5

including phased and staggered submittal items, for compatibility with design of the building.

3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
6. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided
7. Site retaining walls require a separate building permit. Please provide a separate soils report and engineering calculations for the site walls at the time of permit application.
8. Fire sprinklers, shall be required by City Codes.
9. BUILDING PERMIT APPLICATION. To apply for building permits submit three (3) sets of construction plans to the Building Division.
10. The Title sheet of the plans shall include:
 - a. Street address, lot, block, track and Assessor Parcel Number.
 - b. Description of use.
 - c. Type of construction.
 - d. Height of the building.
 - e. Floor area of the building(s).
 - f. Vicinity map.

EXHIBIT A

Planning Commission Resolution No. 07-18

UP0-487 / AD0-129: 2770 Elm Avenue

Page 6

All construction will conform to the 2016 California Building Code (CBC), 2016 California Residential Code (CRC), 2016 California Fire Code (IFC), 2016 California Mechanical Code (CMC), 2016 California Plumbing Code (CPC), 2016 California Electrical Code (CEC), 2016 California Energy Code, 2016 California Green Code (CGBC), and Accessibility Standards where applicable and all City codes as they apply to this project.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

1. **SITE MAINTENANCE.** During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
2. **ARCHAEOLOGICAL MATERIALS.** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
3. Certification of compliance with the soils report shall be submitted to the Building Division prior to foundation approvals. A final report certifying compliance with the soils report or grading plans shall be submitted to the Building Division prior to final approvals.
4. A licensed surveyor or engineer shall verify pad elevations, setbacks, prior to foundation inspection, when determined necessary by the Planning Division.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:

1. Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector.

EXHIBIT A

Planning Commission Resolution No. 07-18

UP0-487 / AD0-129: 2770 Elm Avenue

Page 7

All required final inspection approvals must be obtained from the various departments and documented on the permit card.

PUBLIC WORKS CONDITIONS

1. **Sewer Lateral:** Perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit issuance. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans. A sewer backwater valve and downstream cleanout, extended to grade, shall be installed on the sewer lateral.
2. **Sewer Backwater Valve:** Indicate and label sewer backwater valve on plan. A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070).
3. **Erosion and Sediment Control Plan:** For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area. Show locations and types of BMPs to be installed.
4. **Encroachment Permits:** A standard encroachment permit shall be required for any working within the City right-of-way. A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Department Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

FIRE CONDITIONS

EXHIBIT A

Planning Commission Resolution No. 07-18

UP0-487 / AD0-129: 2770 Elm Avenue

Page 8

1. Automatic Fire Sprinklers: An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903), California Residential Code (Section R313), and Morro Bay Municipal Code (Section 14.08.090
2. Carbon Monoxide Alarms: Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace, or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2) Applicant shall install carbon monoxide detection alarms in required locations.
3. Fire Safety During Construction and Demolition: Fire Safety during construction and demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration, and demolition operations to provide reasonable safety to life and property from fire during such operations.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 6th day of March, 2018 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gerald Luhr, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 6th day of March, 2018.

EXHIBIT B

ATTACHMENT "A"

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES
STORM WATER POLLUTION CONTROL, REQUIREMENTS FOR CONSTRUCTION ACTIVITIES MINIMUM
WATER QUALITY PROTECTION
REQUIREMENTS FOR ALL DEVELOPMENT CONSTRUCTION PROJECTS/CERTIFICATION STATEMENT

REMODEL/ ADDITION
SINGLE FAMILY RESIDENCE
LARRY & JACQUELINE FERRIN
2770 ELM AVENUE, MORRO BAY CA 93442

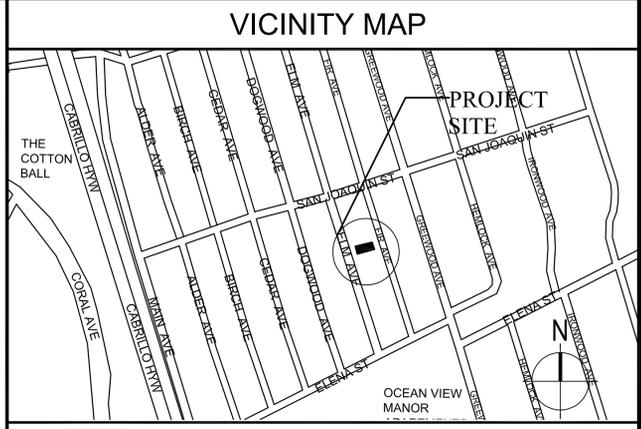


Table with 2 columns: REVISIONS, ISSUED. Includes dates for planning (3/27/17) and safety (02/27/17).

SHEET INDEX table listing architectural and structural sheets. Architectural sheets include CS.0 (Cover Sheet), A1.0 (Site Plan), A2.1 (Floor Plan), A3.1 (Roof Plan), A4.1 (Exterior Elevations), and A4.2 (Exterior Elevations). Structural sheets are listed as blank.

GENERAL NOTES

- 1. FOR THE CONSTRUCTION OF THIS PROJECT DESCRIBED HERE AND IN THE FOLLOWING SHEETS, THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR AND SUPERVISION TO SECURE UNIFORM QUALITY IN WORKMANSHIP THROUGHOUT.
2. CONTRACTOR IS ENCOURAGED TO PROPOSE AMENDMENTS IF IT WILL RESULT IN LOWER COSTS, IMPROVEMENTS, OR SHORTEN COMPLETION DATE. APPROVAL SHALL BE OBTAINED FROM OWNER PRIOR TO EXECUTING ANY MODIFICATION OR GENERAL DEVIATION FROM DRAWINGS.
3. ALL WORK SHALL CONFORM TO THE 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE AND THE 2016 CALIFORNIA ELECTRICAL CODE, THE CURRENT REQUIREMENTS OF THE ENERGY AND COUNTY SAN LUIS OBISPO FIRE CODES. ALL MATERIAL USED AND WORKMANSHIP PERFORMED BY GENERAL AND SUBCONTRACTORS SHALL CONFORM TO CURRENT CODE, LAWS AND ORDINANCES.
4. ALL WORK SHALL BE PROPERLY INSTALLED, LEVELED, PLUMB AND TRUE BY SKILLED MECHANICS.
5. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE WORK OF HIS SUBCONTRACTORS AND SHALL COORDINATE ALL ACTIVITIES OF ALL TRADES ENGAGED IN THE CONSTRUCTION.
6. DETAILS NOT EXPLICITLY SHOWN ON THE DRAWINGS SHALL BE EXECUTED IN ACCORDANCE WITH STANDARD CONSTRUCTION PRACTICES AND WORKMANSHIP.
7. CONTRACTOR SHALL PROVIDE TEMPORARY FIRE PROTECTION AS PER CITY OF MORRO BAY FIRE DEPARTMENT RULES AND REGULATIONS THE PERIOD OF WORK.
8. ALL CONTRACTORS SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE COMMENCING WITH BIDS AND SUBSEQUENT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL METHODS, PROCEDURES, EXISTING CONDITIONS WHICH NECESSITATE ANY CHANGES OR MODIFICATIONS, THEN WRITTEN APPROVAL MUST BE OBTAINED FROM THE OWNER PRIOR TO THE THROUGHOUT START OF SAID CHANGES.
9. CONTRACTOR SHALL CARRY LIABILITY INSURANCE AND AGREE TO HOLD THE OWNER HARMLESS OF ALL LAWSUITS ARISING FROM HIS ACTIVITIES DURING THE PERIOD OF CONSTRUCTION. CONTRACTOR ALSO AGREES TO HOLD THE OWNER HARMLESS OF ALL LAWSUITS AFTER CONSTRUCTION HAS BEEN COMPLETED DUE TO ANY DEFECTS THAT MAY EXIST IN THE TECHNICAL WORKMANSHIP.
10. THE CONTRACTOR AND/OR SUBCONTRACTORS AWARDED THE CONSTRUCTION OF THIS PROJECT OR PHASES OF THIS PROJECT SHALL SUBMIT FOR APPROVAL ALL REQUESTED SAMPLES, REPORTS, LITERATURE, MATERIAL LISTS, SHOP DRAWINGS, ETC., AS SPECIFIED IN THE DRAWINGS, TO THE OWNER BEFORE FABRICATION, INSTALLATION AND/OR CONSTRUCTION OF ANY WORK.
11. THE GENERAL CONTRACTOR AWARDED THE CONSTRUCTION OF THIS PROJECT SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF ALL AND/OR PORTIONS OF ALL PERTINENT INFORMATION, CALCULATIONS, DRAWINGS AND SPECIFICATIONS REQUIRED FOR EACH SUBCONTRACTOR'S PHASE OF CONSTRUCTION.
12. THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR COLLECTIONS, TRANSMITTING, AND SUBMITTING ANY REQUESTED ITEMS TO THE OWNER FOR APPROVAL PRIOR TO FABRICATION, INSTALLATION, AND/OR CONSTRUCTION, AS STATED IN THE SPECIFICATIONS.
13. THE GENERAL CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE INDICATING THE OVERLAPPING PHASES OF CONSTRUCTION INCLUDING HIS AND ALL SUBCONTRACTED WORK AS WELL AS A SCHEDULE FOR ALL ITEMS REQUIRED AND PROVIDED BY THE OWNER.
14. THE AWARDED GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF ALL LONG-LEAD ITEMS SUCH AS EQUIPMENT, MATERIALS AND SPECIFIED PRODUCTS, SO AS TO MEET HIS CONSTRUCTION SCHEDULE. THE GENERAL CONTRACTOR SHALL MAKE INITIAL INVESTIGATION INTO THE AVAILABILITY OF ALL ITEMS AT BID AWARD, AND REPRESENT THE FINDING IN HIS SUBMITTED CONSTRUCTION SCHEDULE.
15. THE GENERAL CONTRACTOR SHALL INCUR THE COST DIFFERENTIAL FOR ANY SUBSTITUTION OF LONG-LEAD ITEMS SUCH AS EQUIPMENT, MATERIALS AND SPECIFIED PRODUCTS, OF EQUAL OR BETTER QUALITY, RESULTING FROM HIS FAILURE TO PROCURE THEM TO MEET HIS CONSTRUCTION SCHEDULE. THE GENERAL CONTRACTOR'S INITIAL INVESTIGATION IN PREPARING A CONSTRUCTION SCHEDULE SHALL IDENTIFY THESE ITEMS, AND NOTIFICATION SHALL BE MADE TO THE PROJECT MANAGER AT THAT TIME SO AS TO AVOID THIS SITUATION.
16. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CONTRACTOR SHALL HAVE THE FOLLOWING: 1) CERTIFICATE OF WORKER'S COMPENSATION INSURANCE MADE OUT TO THE CONTRACTOR'S STATE LICENSE BOARD. 2) COPY OF CITY OF MORRO BAY BUSINESS TAX REGISTRATION CERTIFICATE OR A NEWLY PAID RECEIPT FOR ONE. 3) NOTARIZED LETTER OF AUTHORIZATION FOR AGENTS. 4) COPY OF CONTRACTORS STATE LICENSE OR POCKET I.D.

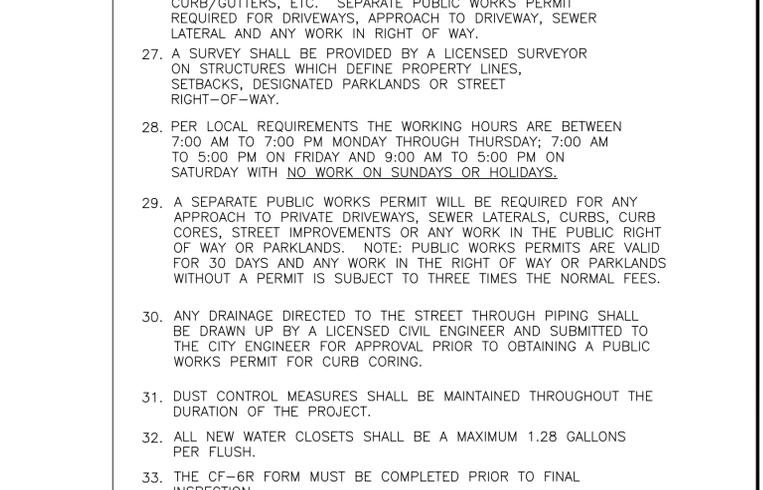
PROJECT DATA

OWNER: LARRY AND JACQUELINE FERRIN
DESIGNER: HELEN HERNANDEZ
2770 ELM AVE.
MORRO BAY, SAN LUIS OBISPO CA 93442
TEL: (562) 234-6133
PROJECT: 2770 ELM AVENUE
ADDRESS: MORRO BAY, SAN LUIS OBISPO CA 93442
ENGINEER:
LEGAL DESCRIPTION: TRACT No. 27360 LOT No. 133
APN 7409-023-009
ZONE: R-1-F CONSTRUCTION TYPE: V-B
OCCUPANCY: R-3/U
STRUCTURAL:

AREA CALCULATION

Table showing area calculations for existing and proposed structures. Includes categories like (E) SINGLE FAMILY RESIDENCE, (E) 1-CAR GARAGE, (E) COVERED CARPORT, (E) OPEN FRONT PORCH, (E) FLOOR AREA (LIVABLE), and TOTAL. Also includes NEW TOTAL LIVABLE AREA and FLOOR AREA RATIO.

PLOT PLAN



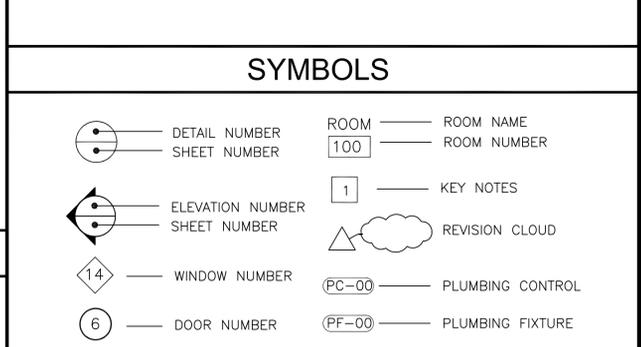
GOVERNING CODE

ALL WORK SHALL CONFORM 2016 EDITION OF SAN LUIS OBISPO BUILDING CODE, RESIDENTIAL CODE (R), TABLE(T), PLUMBING CODE(PC), MECHANICAL CODE(MC), ELECTRICAL CODE(EC), BUILDING CODE MANUAL(BCM), 2012 NATIONAL DESIGN SPECIFICATION(NDS), 2016 GREEN BLDG STDS; CITY OF MORRO BAY MUNICIPAL CODE
SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING and AUTOMATIC FIRE SPRINKLER SYSTEM

SCOPE OF WORK

- 1. MASTER BEDROOM WITH BATHROOM AND WALK-IN-CLOSET
2. NEW 1-CAR GARAGE

SYMBOLS



ABBREVIATIONS

Table of abbreviations for construction materials and components, such as AIR CONDITIONING, ACUSTICAL, ABOVE FIN, FLOOR, ALUMINUM, AT, BUILDING, BRUSHED, CEMENT, CLG., CLEAR OPENING, CL. OPNG, CONSTRUCTION NOTE, COLUMN, CONC., CONTINUOUS, CONTRACTOR, CERAMIC TILE, DETAIL, DRINKING FOUNTAIN, DIAMETER, DIMENSION, DR., DW., DWG., ELEVATION, ELECTRICAL, ELEVATOR, EXIST., FLOOR DRAIN, FIRE EXTINGUISHER, FIRE HOSE CABINET, FINISH FACE, FINISH, A/C, ACQUS., A.F.F., ALUM., @, BLDG., BR., CEM., CLG., CL. OPNG, C.N., COL., CONC., CONT., CONTR., C.T., DET., D.F., DIA., DIM., DR., DW., DWG., ELEV., ELEC., ELEVATOR, EXIST., F.D., F.H.C., F.F., FIN., FLOOR, FLOURESCENT, FACE OF STUD, FABRIC WALLCOVERING, GAUGE, GALVANIZED, GARBAGE DISPOSAL, GLASS, GRANITE TILE, GYP. BD., HDWD., HARDWARE, HOLLOW METAL, HGT., HEATING, VENTILATING, LAVATORY, MAXIMUM, METAL, MANUFACTURER, MIN., MIRROR, M.T., MULLION, MICROWAVE, MFC., MFG., MIN., MIR., M.T., MULL., MW., N.I.C., N.T.S., O.A., O.C., PART., P.L., POL., PR., Q.T., PLASTIC LAMINATE, POLISHED, PAIR, QUARRY TILE, RADIUS, REFRIGERATOR/FREEZER/R/F, REFERENCE, REQUIRED, ROOM, RESTROOM, R.R., SEPARATE CIRCUIT, SECTION, SHEET, SIMILAR, SPECIFICATIONS, STOVE/RANGE, STAINLESS STEEL, STANDARD, SUSPENDED, TRASH COMPACTOR, T.C., TO BE DETERMINED, TELEPHONE, THICK, TYPICAL, UNLESS NOTED OTHERWISE, VERTICAL, VERIFY IN FIELD, VOLTS, VINYL COMPOSITION TILE/V.C.T., VINYL SHEET FLOORING, VINYL WALL COVERING, V.V.C., WITH, WALL COVERING, P.L., POL., PR., Q.T., RAD., R.F., S.C., SHT., SIM., SPECS., S/R, S.STL., STD., SUSP., T.C., TBD., TELE., THK., TYP., VERT., V.I.F., VOL., V.C.T., V.V.C., W/, WC.

REMODEL SINGLE FAMILY RESIDENCE:
LARRY AND JACQUELINE FERRIN
2770 ELM AVENUE MORRO BAY, CA 93442
APN: 068-226-004
LOT No.4 BLOCK 19 OCEAN HEIGHTS No.1

PROJECT INFORMATION,
INDEX OF DRAWINGS AND
VICINITY MAP
CHECKED BY:
BY: H.H.
DATE: 10-30-2017
JOB NO.: 2017-13
SCALE: AS NOTED
SHEET 1 OF 7
SHEET NO. CS.0

Plot By: CABE - Jan 01, 2018 - 4:39:26pm
Drawing: \\CABE-PC\Users\Public\Documents\Project 2017\2017_13_2770 Elm Ave Morro Bay\400_CADD\000_Current Drawings\01_CS_0_Cover Sheet.dwg

CITY OF MORRO BAY ENGINEERING DIVISION NOTES

- A. ALL EASEMENTS, OIL, WELLS, SUBSTRUCTURES, LANDSCAPE, HARDSCAPE, UTILITY POLES, UTILITY BOXES, UTILITY VENTS, UTILITY VAULTS, UTILITY CABINETS, UTILITY OVERHEAD LINES AND WATER HYDRANTS ARE SHOWN ON THIS SITE PLAN.
- B. CONTRACTOR, AT ITS SOLE COST, SHALL ENSURE THAT PERMITTED WORK WILL NOT CREATE POTENTIAL FLOODING OF NEIGHBORING IMPROVEMENTS, NOR WILL IT ALTER THE EXISTING COURSE OF WATER FLOW.
- C. CONTRACTOR SHALL NOTIFY CITY ENGINEERING DIVISION 48 HOURS PRIOR TO COMMENCING ANY WORK IN PUBLIC RIGHT OF WAY.
- D. WORK IN PUBLIC RIGHT OF WAY, SHALL COMPLY WITH THE LATEST EDITION OF APWA STANDARD PLANS AND SPECIFICATIONS, AND SHALL BE EXECUTED TO THE SATISFACTION OF CITY ENGINEER AND/OR HIS REPRESENTATIVE.
- E. WORK IN PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY LICENSED CONTRACTORS. CONTRACTORS AND SUBCONTRACTORS SHALL POSSESS VALID CITY OF MORRO BAY BUSINESS LICENSES.
- F. CONTRACTOR SHALL MAINTAIN CONSTRUCTION PERMITS AND AN APPROVED SET OF PLANS ON SITE AT ALL TIME. CONTRACTOR SHALL SURRENDER ALL REQUIRED CONSTRUCTION DOCUMENTS TO THE CITY ENGINEER AND/OR HIS REPRESENTATIVE UPON DEMAND.
- G. PRIOR TO ISSUANCE OF THE BUILDING/ENGINEERING PERMIT, CONTRACTOR MUST PROVIDE PROOF OF INSURANCE. CONTRACTOR SHALL MAINTAIN ON CITY FILES APPROVED ONE MILLION DOLLAR GENERAL LIABILITY NAMING THE CITY ADDITIONAL INSURED, WITH 30-DAY CANCELLATION NOTICE, THE INSURANCE POLICY SHALL STATE "THE CITY OF MORRO BAY, ITS OFFICERS, ELECTED OFFICIALS, ATTORNEYS, EMPLOYEES, MEMBERS OF BOARDS AND COMMISSIONS, AGENTS AND VOLUNTEERS ARE HEREBY NAMED ADDITIONAL INSURED." THE CERTIFICATE OF INSURANCE MUST STATE THAT THE INSURANCE IS "PRIMARY" AND NOT EXCESS. THE CANCELLATION CLAUSE SHALL STATE "SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT."
- H. CONTRACTOR SHALL REPLACE AT ITS SOLE COST, DAMAGED SIDEWALK, DRIVEWAYS, CURB, GUTTER AND PAVEMENT TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
- I. CONSTRUCT NEW CONCRETE ADA CURB RAMP WHERE NOTED ON SITE PLAN. NEW CONCRETE SHALL BE CLASS 520-C-2500.
- J. CONSTRUCT NEW RESIDENTIAL CONCRETE DRIVEWAY TYPE A WHERE NOTED ON SITE PLAN. NEW CONCRETE SHALL BE CLASS 520-C-2500.
- K. CONSTRUCT NEW CONCRETE SIDEWALK WHERE NOTED ON SITE PLAN. NEW SIDEWALK SHALL MATCH EXISTING. NEW CONCRETE SHALL BE CLASS 520-C-2500.
- L. CONSTRUCT NEW CONCRETE CURB AND GUTTER WHERE NOTED ON SITE PLAN. NEW CURB SHALL HAVE FACE HEIGHT OF 6 INCHES OR MATCH EXISTING. NEW GUTTER SHALL BE 12 INCHES WIDE OR MATCH EXISTING. NEW CONCRETE SHALL BE CLASS 520-C-2500.
- M. CONSTRUCT NEW FULL-DEPTH ASPHALT CONCRETE PAVEMENT WHERE NOTED ON SITE PLAN NEW ASPHALTIC CONCRETE SHALL BE CLASS D1-PG-64-10
- N. NEW SEWER LATERAL SHALL BE CONNECTED TO MAIN SEWER LINE WITHIN PROPERTY FRONTAGE. SEWER LATERAL SHALL BE PERPENDICULAR TO MAIN SEWER LINE. MINIMUM SEWER LATERAL DIAMETER SHALL BE 4-INCH, NO CONNECTION TO EXISTING SEWER IS ALLOWED UNLESS THE EXISTING SEWER MEETS THE CURRENT CODE REQUIREMENTS AND THE APPROVAL OF THE BUILDING DIVISION. QUALITY/QUANTITY OF SEWAGE CONSTITUENTS SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE WASTEWATER ORDINANCE OF THE SANITATION DISTRICTS OF LOS AN GELES COUNTY. PROVIDE 6-INCH CLEAN-OUT IMMEDIATELY BEHIND SIDEWALK ENCASE CLEAN-OUT IN CONCRETE BOX MARKED "S" OR "SEWER". DESIGN SHALL BE PERFORMED BY A REGISTERED CIVIL ENGINEER.
- O. TRAFFIC DELINEATION SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE WATCH MANUAL AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
- P. COMMERCIAL VEHICLES TRANSPORTING SOIL, EQUIPMENT OR CONSTRUCTION MATERIALS, AND HAVING UNLADEN WEIGHT AS DEFINED IN SECTION 690 OF CVC OF 6,000 POUNDS OR MORE OR HAVING MANUFACTURER'S GROSS WEIGHT AS DEFINED IN SECTION 390 OF CVC OF 10,000 POUNDS OR MORE SHALL USE DESIGNATED TRUCK ROUTE TO COMMUTE TO PROJECT SITE. ANY COMMERCIAL VEHICLE HAVING A FULLY LADEN WEIGHT OF 20,000 POUNDS OR MORE SHALL NOT USE CONDITIONAL TRUCK ROUTE.
- Q. PUBLIC WORKS INSPECTOR SHALL INSPECT ALL STREET IMPROVEMENTS: ALL SEWER SYSTEMS INCLUDING ALL PIPING, TRENCHING, BACKFILLING AND SEWER EJECTOR; ALL STORM DRAIN SYSTEMS INCLUDING ALL PIPING, TRENCHING, BACKFILLING, CATCH BASINS, SUMP PUMPS AND OIL WATER SEPARATOR. FIRST INSPECTION SHALL TAKE PLACE AFTER FORMS ARE IN PLACE FOR SIDEWALKS, DRIVEWAYS, ETC. OR AT THE TIME OF CONSTRUCTING THE SEWER LINE SADDLE. SECOND INSPECTION SHALL TAKE PLACE WHILE SIDEWALKS, DRIVEWAYS, ETC. ARE BEING POURED AND FINISHED OR AT THE TIME OF BACKFILLING, BACKFILLING, COMPACTION AND TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. FINAL INSPECTION WILL BE MADE AFTER CITY BUILDING DIVISION HAS MADE THEIR FINAL INSPECTION. AT THAT TIME, IF ALL WORK PERTAINING TO PUBLIC RIGHT OF WAY IS IN GOOD ORDER, THE PERMIT DEPOSITS WILL BE RELEASED, LESS ANY AND ALL CHARGES.
- R. CONTRACTOR SHALL ARRANGE FOR PUBLIC WORKS INSPECTION 24 HOURS IN ADVANCE. CONTRACTOR SHALL CONTACT THE DEPARTMENT OF ENGINEERING AND BUILDING SERVICES AT (310) a37-6653 BEFORE 12:00 NOON FOR ALL INSPECTION REQUESTS. CALLS RECEIVED AFTER 12:00 NOON SHALL NOT BE SCHEDULED FOR NEXT BUSINESS DAY INSPECTION.
- S. CONTRACTOR SHALL SUBMIT COMPACTION REPORTS AND CONCRETE/ASPHALT CLASS CERTIFICATES TO CITY ENGINEERING DIVISION PRIOR TO REQUESTING FINAL INSPECTION.
- T. DUST CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION.
- U. NOISE CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION. ACTUAL CONSTRUCTION ACTIVITIES IN PUBLIC RIGHT OF WAY MAY OCCUR FROM 7:00 A.M. TO 6:00 P.M., MONDAY THROUGH FRIDAY. NO WORK IN PUBLIC RIGHT OF WAY SHALL OCCUR ON SATURDAYS WITHOUT PRIOR AUTHORIZATION FROM THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. AUTHORIZED WORK ON SATURDAYS SHALL OCCUR FROM 9:00 A.M. TO 5:00 P.M., NO WORK IN PUBLIC RIGHT OF WAY SHALL OCCUR ON SUNDAYS OR NATIONAL HOLIDAYS.
- V. PUBLIC RIGHT OF WAY SHALL BE KEPT CLEAR AND CLEAN TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION. NO STORAGE OF DEBRIS, MATERIALS OR EQUIPMENT SHALL BE ALLOWED ON PUBLIC RIGHT OF WAY WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. SUCH CONSENT SHALL BE RENEWED DAILY. IF CITY CREWS ARE CALLED UPON TO PERFORM WORK OF CONTRACTOR, REGARDING CITY RIGHT OF WAY, CONTRACTOR SHALL BE CHARGED FOR ALL EXPENSES INCURRED BY CITY CREWS.
- X. CONTRACTOR SHALL LOCATE AND PROTECT IN PLACE EXISTING UTILITIES AT ITS SOLE COST. CONTRACTOR SHALL REPAIR, AT ITS COST AND TO THE SATISFACTION OF THE CITY ENGINEER, HIS REPRESENTATIVE AND/OR THE UTILITY COMPANIES, ANY DAMAGE INCURRED BY CONTRACTOR ON EXISTING UTILITIES.
- Y. CONTRACTOR SHALL LOCATE AND PROTECT IN PLACE EXISTING SURVEY POINTS AT ITS SOLE COST. CONTRACTOR SHALL RE-ESTABLISH DAMAGED SURVEY POINTS, AT ITS SOLE COST, AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
- Z. CONTRACTOR SHALL REPLACE AT ITS SOLE COST, REMOVED/DAMAGED TREES/LANDSCAPING WITHIN PUBLIC RIGHT OF WAY, TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.

- 1. MYLAR COPY OF THE RECORDED TRACT MAP/PARCEL MAP SHALL BE SUBMITTED TO THE CITY ENGINEER, PRIOR TO REQUESTING FINAL BUILDING INSPECTION.
- 2. ALL EASEMENTS, OIL, WELLS, SUBSTRUCTURES, SUPERSTRUCTURES, LANDSCAPE, HARDSCAPE, UTILITY POLES, UTILITY VENTS, UTILITY VAULTS, UTILITY CABINETS, UTILITY OVERHEAD LINES AND WATER HYDRANTS ARE SHOWN ON THIS SITE PLAN.
- 3. CONTRACTOR SHALL NOTIFY CITY ENGINEERING DIVISION 48 HOURS PRIOR TO COMMENCING ANY WORK IN PUBLIC RIGHT OF WAY.
- 4. PROVIDE 5-FOOT TRIANGULAR CORNER CUT-OFF AT CORNER LOT OF PROPERTY. LAND ENCOMPASSED BY CORNER CUT-OFF SHALL BE DEDICATED TO THE CITY OF MORRO BAY AND RECORDED WITH THE SAN LUIS OBISPO COUNTY RECORDER AT OWNER'S EXPENSE.
- 5. A PROFILE OF DRIVEWAY AT BOUNDARY LINES AND CENTERLINE OF DRIVEWAY FROM CURB FACE TO GARAGE SHOULD MEET STANDARDS AT APPROACH WITH MAXIMUM ANGLE OF 150, RAMP BREAKOVER WITH MAXIMUM ANGLE 60, AND DEPARTURE WITH MAXIMUM ANGLE OF 80.
- 6. WORK IN PUBLIC RIGHT OF WAY SHALL COMPLY WITH THE LATEST EDITION OF APWA STANDARD PLANS AND SPECIFICATIONS, AND SHALL BE EXECUTED TO THE SATISFACTION OF CITY ENGINEER AND/OR HIS REPRESENTATIVE.
- 7. WORK IN PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY LICENSED CONTRACTORS. CONTRACTORS AND SUBCONTRACTORS SHALL POSSESS VALID CITY OF MORRO BAY BUSINESS LICENSES.
- 8. CONTRACTOR SHALL MAINTAIN CONSTRUCTION PERMITS AND AN APPROVED SET OF PLANS ON SITE AT ALL TIME. CONTRACTOR SHALL SURRENDER ALL REQUIRED CONSTRUCTION DOCUMENTS TO THE CITY ENGINEER AND/OR HIS REPRESENTATIVE UPON DEMAND.
- 9. PRIOR TO ISSUANCE OF THE BUILDING/ENGINEERING PERMIT, CONTRACTOR MUST PROVIDE PROOF OF INSURANCE. CONTRACTOR SHALL MAINTAIN ON CITY FILES APPROVED ONE MILLION DOLLAR GENERAL LIABILITY AND ONE MILLION DOLLAR WORKERS COMPENSATION INSURANCE POLICY, NAMING THE CITY ADDITIONAL INSURED, WITH 30-DAY CANCELLATION NOTICE, THE INSURANCE POLICY SHALL STATE "THE CITY OF MORRO BAY, ITS OFFICERS, ELECTED OFFICIALS, ATTORNEYS, EMPLOYEES, MEMBERS OF BOARDS AND COMMISSIONS, AGENTS AND VOLUNTEERS ARE HEREBY NAMED ADDITIONAL INSURED." THE CERTIFICATE OF INSURANCE MUST STATE THAT THE INSURANCE IS "PRIMARY" AND NOT EXCESS. THE CANCELLATION CLAUSE SHALL STATE "SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT."
- 10. CONTRACTOR SHALL REPLACE AT ITS SOLE COST, DAMAGED SIDEWALK, DRIVEWAYS, CURB, GUTTER, AND PAVEMENT TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
- 11. CONSTRUCT NEW CONCRETE HANDICAP RAMP WHERE NOTED ON SITE PLAN. NEW CONCRETE SHALL BE CLASS 520-C-2500.
- 12. CONSTRUCT NEW RESIDENTIAL CONCRETE DRIVEWAY TYPE _____ WHERE NOTED ON SITE PLAN. NEW CONCRETE SHALL BE CLASS 520-C-2500.
- 13. CONSTRUCT NEW CONCRETE SIDEWALK WHERE NOTED ON SITE PLAN. NEW SIDEWALK SHALL MATCH EXISTING. NEW CONCRETE SHALL BE CLASS 520-C-2500.
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- 16. NEW SEWER LATERAL SHALL BE CONNECTED TO MAIN SEWER LINE WITHIN PROPERTY FRONTAGE. SEWER LATERAL SHALL BE PERPENDICULAR TO MAIN SEWER LINE. MINIMUM SEWER LATERAL DIAMETER SHALL BE 4-INCH, NO CONNECTION TO EXISTING SEWER IS ALLOWED UNLESS THE EXISTING SEWER MEETS THE CURRENT CODE REQUIREMENTS AND THE APPROVAL OF THE BUILDING DIVISION. QUALITY/QUANTITY OF SEWAGE CONSTITUENTS SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE WASTEWATER ORDINANCE OF THE SANITATION DISTRICTS OF LOS ANGELES COUNTY. PROVIDE 6-INCH CLEAN-OUT IMMEDIATELY BEHIND SIDEWALK. ENCASE CLEAN-OUT IN CONCRETE BOX MARKED "S" OR "SEWER". DESIGN SHALL BE PERFORMED BY A REGISTERED CIVIL ENGINEER.
- 17. TRAFFIC DELINEATION SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE "WATCH" OF MANUAL AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. ENGINEERING DOC 2 OF 2 REV. 5/7/02
- 18. COMMERCIAL VEHICLES TRANSPORTING SOIL, EQUIPMENT OR CONSTRUCTION MATERIALS, AND HAVING UNLADEN WEIGHT AS DEFINED IN SECTION 690 OF CVC OF 6,000 POUNDS OR MORE OR HAVING MANUFACTURER'S GROSS WEIGHT RATING AS DEFINED IN SECTION 390 OF CVC OF 10,000 POUNDS OR MORE SHALL USE DESIGNATED TRUCK ROUTE TO COMMUTE TO PROJECT SITE. ANY COMMERCIAL VEHICLE HAVING A FULLY LADEN WEIGHT OF 20,000 POUNDS OR MORE SHALL NOT USE CONDITIONAL TRUCK ROUTE.
- 19. PUBLIC WORKS INSPECTOR SHALL INSPECT ALL STREET IMPROVEMENTS: ALL SEWER SYSTEMS INCLUDING ALL PIPING, TRENCHING, BACKFILLING AND SEWER EJECTOR; ALL STORM DRAIN SYSTEMS INCLUDING ALL PIPING, TRENCHING, BACKFILLING, CATCH BASINS, SUMP PUMPS AND OILWATER SEPARATOR. FIRST INSPECTION SHALL TAKE PLACE AFTER FORMS ARE IN PLACE FOR SIDEWALKS, DRIVEWAYS, ETC. OR AT THE TIME OF CONSTRUCTING THE SEWER LINE SADDLE. SECOND INSPECTION SHALL TAKE PLACE WHILE SIDEWALKS, DRIVEWAYS, ETC. ARE BEING POURED AND FINISHED OR AT THE TIME OF BACKFILLING, BACKFILLING, COMPACTION AND TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. FINAL INSPECTION WILL BE MADE AFTER CITY BUILDING DIVISION HAS MADE THEIR FINAL INSPECTION. AT THAT TIME, IF ALL WORK PERTAINING TO PUBLIC RIGHT OF WAY IS IN GOOD ORDER, THE PERMIT DEPOSITS WILL BE RELEASED, LESS ANY AND ALL CHARGES. CONTACT CITY ENGINEERING DIVISION FOR ALL INSPECTIONS.
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- 21. CONTRACTOR SHALL SUBMIT COMPACTION REPORTS AND CONCRETE/ASPHALT CLASS CERTIFICATES TO CITY ENGINEERING DIVISION PRIOR TO REQUESTING FINAL INSPECTION.
- 22. DUST CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION.
- 23. NOISE CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION. ACTUAL CONSTRUCTION ACTIVITIES IN PUBLIC RIGHT OF WAY MAY OCCUR FROM 7:00 A.M. TO 6:00 P.M., MONDAY THROUGH FRIDAY. NO WORK IN PUBLIC RIGHT OF WAY SHALL OCCUR ON SATURDAYS WITHOUT PRIOR AUTHORIZATION FROM THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. AUTHORIZED WORK ON SATURDAYS SHALL OCCUR FROM 9:00 A.M. TO 5:00 P.M., NO WORK IN PUBLIC RIGHT OF WAY SHALL OCCUR ON SUNDAYS OR NATIONAL HOLIDAYS.
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- 25. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UTILITIES AT ITS SOLE COST. CONTRACTOR SHALL REPAIR, AT ITS COST AND TO THE SATISFACTION OF THE CITY ENGINEER, HIS REPRESENTATIVE AND TO THE UTILITY COMPANIES, ANY DAMAGE INCURRED BY CONTRACTOR ON EXISTING UTILITIES.
- 26. CONTRACTOR SHALL REPLACE AT ITS SOLE COST, REMOVED/DAMAGED TREES/LANDSCAPING WITHIN PUBLIC RIGHT OF WAY, TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.

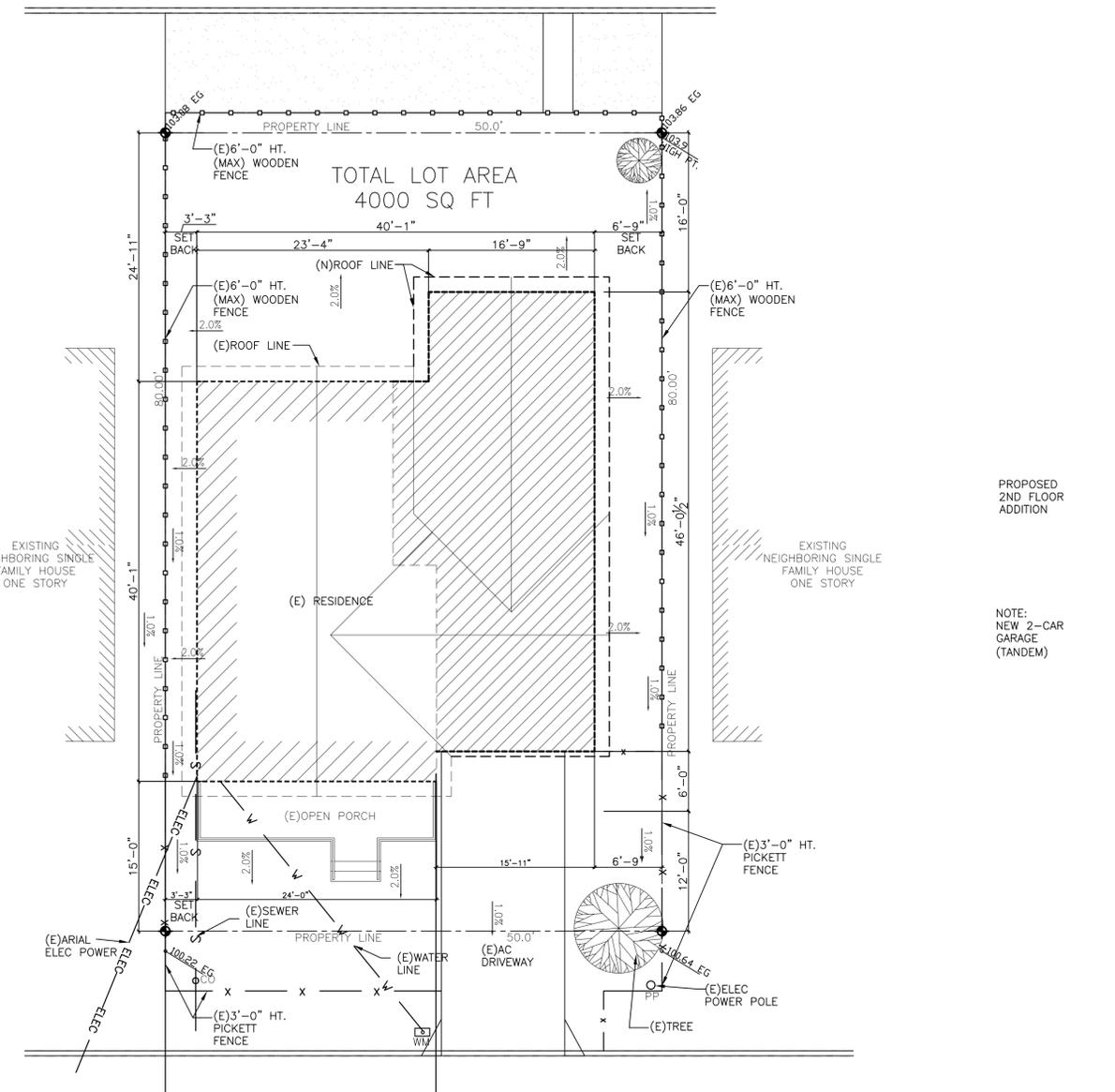
BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES

- 1. ALL PERSONS WORKING AT THE SITE SHOULD OBTAIN, READ AND UNDERSTAND THE BEST MANAGEMENT PRACTICES PAMPHLET FOR THE TYPE(S) OF CONSTRUCTION BEING DONE.
- 2. STOCKPILES OF SOIL, DEMOLITION DEBRIS, CEMENT, SAND, TOP SOIL, ETC. MUST BE COVERED WITH A WATERPROOF MATERIAL OR BERMED TO PREVENT BEING WASHED OFF SITE.
- 3. FUELS, OILS, PAINTS, SOLVENTS, AND OTHER LIQUID MATERIALS MUST BE KEPT INSIDE BERMED AREAS. SPILLS MUST NOT BE WASHED TO THE STREET.
- 4. WASTE CONCRETE MUST NOT BE WASHED INTO STREET, STORM DRAIN, CATCH BASINS, OR PUBLIC RIGHT-OF-WAY. ALL DUST AND SLURRY FROM CONCRETE CUTTING MUST BE REMOVED USING A WET-DRY VACUUM OR EQUIVALENT.
- 5. TRASH AND OTHER CONSTRUCTION SOLID WASTES MUST BE PLACED IN A COVERED TRASH RECEPTACLE.
- 6. ERODED SOIL FROM DISTURBED SLOPES MUST BE CONTAINED USING BERMS, SILT FENCES, SETTING BASINS, OR GOOD EROSION MANAGEMENT PRACTICES SUCH AS RESEEDING.
- 7. WASH WATER FROM CLEANING CONSTRUCTION VEHICLES AND EQUIPMENT MUST BE KEPT ON-SITE WITHIN A CONTAINMENT AREA.

LEGEND:

	ADDITION AREA		EXISTING FENCE		CONCRETE		PARKWAY		106.76	EXISTING ELEVATION		BLOCK WALL		EXISTING SURVEY POINT		FINISH FLOOR		SANITARY SEWER MANHOLE		GARAGE FINISH FLOOR		STAKE		GUY WIRE		LEAD AND TAG		MANHOLE		NORTHERLY		PROPERTY CORNER		PROPERTY LINE		WESTERLY		POWER POLE		WATER METER		SPIKE AND WASHER		SOUTHERLY		EASTERLY		FOUND
--	---------------	--	----------------	--	----------	--	---------	--	--------	--------------------	--	------------	--	-----------------------	--	--------------	--	------------------------	--	---------------------	--	-------	--	----------	--	--------------	--	---------	--	-----------	--	-----------------	--	---------------	--	----------	--	------------	--	-------------	--	------------------	--	-----------	--	----------	--	-------

FIR AVENUE



ELM AVENUE

A SITE PLAN
A-1.0 A-1.0 SCALE: 1/8"=1'-0"



MECHANICAL/ PLUMBING/ELECTRICAL CODE REQUIREMENTS:

- 1. DWELLING SHALL BE PROVIDED WITH COMFORT HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68° DEGREES F AT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS. (R303.9)
- 2. THE FOLLOWING ARE REQUIRED FOR APPLIANCES INSTALLED AN ATTIC:
 - a. A PERMANENT 120V RECEPTACLE OUTLET AND LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. LIGHT SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY. (MC 904.10.4)
 - b. A TYPE B OR L GAS VENT SHALL TERMINATE NOT LESS THAN 5 FEET ABOVE THE HIGHEST CONNECTED APPLIANCE FLUE COLLAR OF DRAFT HOOD. (MC 904.10.4)
 - c. APPLIANCE INSTALLATION SHALL MEET ALL LISTED CLEARANCES. (MC 303.2)
- 3. CLOTHES DRYER MOISTURE EXHAUST DUCT SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER. SCREENS SHALL BE NOT BE USED AND EXHAUST DUCT MAY NOT EXTEND INTO OR THROUGH DUCTS AND PLENUMS. (MC 504.3)
- 4. CLOTHES DRYER MOISTURE EXHAUST DUCT SHALL BE 4 INCHES IN DIAMETER AND LENGTH IS LIMITED TO 14 FEET WITH TWO ELBOWS FROM THE CLOTHES DRYER TO POINT OF TERMINATION. DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO. (MC 504.3.1 & 504.3.1.2)
- 5. DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE.
- 6. ABS AND PVC DWV PIPING INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORES OF AREAS. (PC 701.12)
- 7. ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE. (PC 418)
- 8. PLUMBING PLAN CHECK AND APPROVAL ARE REQUIRED FOR 2 INCH OR LARGER GAS LINES AND/OR WATER LINES.
- 9. GROUND-FAULT CIRCUIT-INTERRUPTION (GFI) FOR PERSONNEL SHALL BE PROVIDED PER EC SECTION 210.8(A), AND INSTALLED IN A READILY ACCESSIBLE LOCATION.
- 10. ARC-FAULT CIRCUIT-INTERRUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT (EC 210.12)
- 11. WHEN NM CABLE (ROMEX) IS RUN ACROSS THE TOP OF CEILING JOISTS AND/OR WHERE THE ATTIC IS NOT ACCESSIBLE BY PERMANENT STAIRS OR LADDERS, PROTECTION WITHIN 6 FEET OF THE NEAREST EDGE OF THE SCUTTLE OR ATTIC ENTRANCE SHALL BE PROVIDED. (EC 394.23, 300.29(A))

REVISIONS	
ISSUED	
PLANNING	3/27/17
BLDG AND SAFETY	02/27/17

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APN: 068-226-004
LOT No. 4 BLOCK 19 OCEAN HEIGHTS No. 1

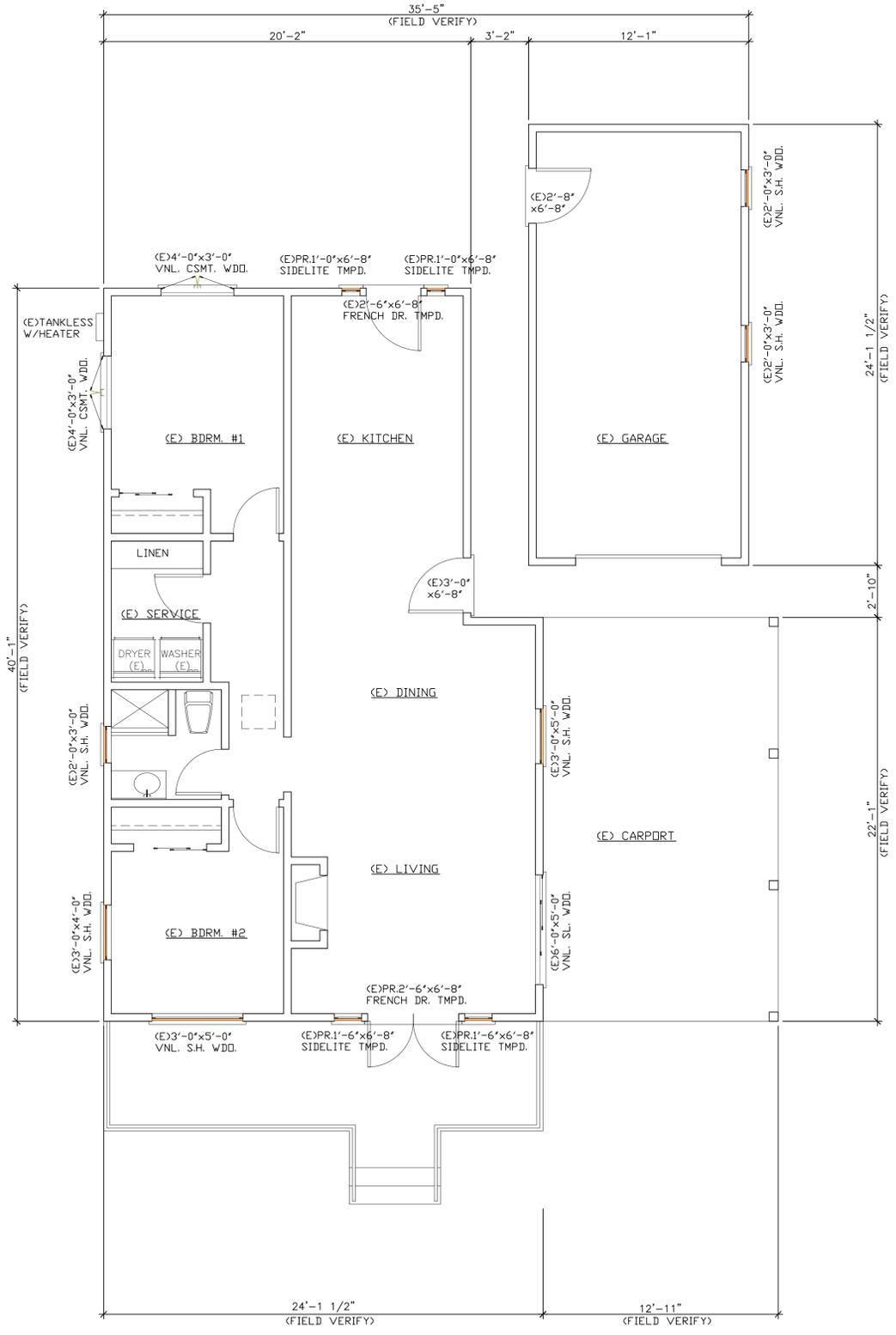
SITE PLAN

CHECKED BY:
BY: H.H.
DATE: 10-30-2017
JOB NO: 2017-13
SCALE: AS NOTED
SHEET 2 OF 7
SHEET NO.
A1.0

DRAWING: \\GABE-PC\Users\Public\Documents\Project 2017\2017_13_2770 Elm Ave Morro Bay\400_CADD\000_Current Drawings\02_A1_0_Site plan.dwg PLOT BY: CABE - Jan 01, 2018 - 4:40:04pm

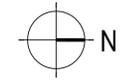
EXHIBIT B

DRAWING: G:\GABE-PC-Users\Public\Documents\Project 2017\2017_13_2770 Elm Ave Morro Bay 400_CADD\000_Current Drawings\03_A2.0_Existing Condition.dwg PLOT BY: GABE - Jan 01, 2018 - 4:41:12pm



DEMOLITION PLAN
 A-2.0 | A-2.0 SCALE: 1/4"=1'-0"

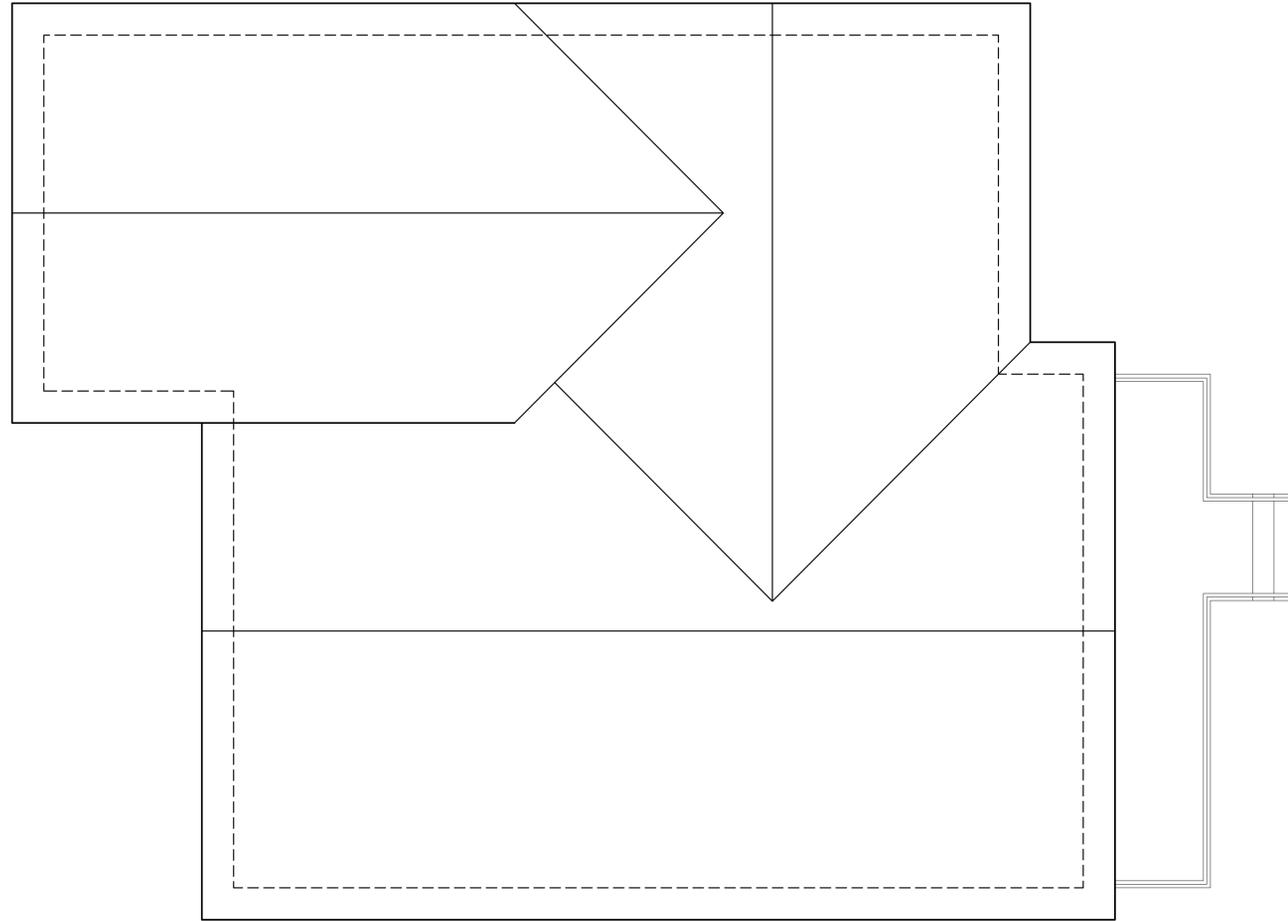
FOR INFORMATION ONLY



REVISIONS	
ISSUED	
PLANNING	3/27/17
BLDG AND SAFETY	02/27/17
LARRY FERRIN 2770 ELM AVENUE MORRO BAY, CA 93442 TEL: (310)738-0757 larryferrin@gmail.com	
REMODEL SINGLE FAMILY RESIDENCE:	
LARRY AND JACQUELINE FERRIN 2770 ELM AVENUE MORRO BAY , CA 93442 APN: 068-226-004 LOT No.4 BLOCK 19 OCEAN HEIGHTS No.1	
FLOOR/ROOF PLAN	
EXISTING CONDITION	
SHEET TITLE:	
CHECKED BY:	
BY: H.H.	
DATE: 10-30-2017	
JOB NO. 2017-13	
SCALE: AS NOTED	
SHEET 3 OF 7	
SHEET NO. A2.0	

EXHIBIT B

DRAWING: \\GABE-PC\Users\Public\Documents\Project 2017\2017_13_2770 Elm Ave Morro Bay\400_CADD\000_Current Drawings\05_A3.1_Roof Plan_Bldg Section\05gBy: CABE - Jan 01, 2018 - 4:46:41pm



B ROOF PLAN 2 STORY RESIDENCE
A-3.1 A-3.1 SCALE: 1/4"=1'-0"



REVISIONS	
ISSUED	
PLANNING	3/27/17
BLDG AND SAFETY	02/27/17

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SHEET TITLE:
ROOF PLANS

CHECKED BY:
BY:
H.H.
DATE:
10-30-2017
JOB NO.
2017-13
SCALE:
AS NOTED
SHEET 5 OF 7
SHEET NO.
A3.1

ROOF PLAN NOTES

- UNDERLAYMENT, FLASHING, ROOFING AND OTHER ROOF ELEMENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND IN COMPLIANCE WITH ALL LOCAL CODES. REFER TO ALL APPROPRIATE DETAILS AND SPECIFICATIONS.
- SHEET METALS: PROVIDE MINIMUM 26 GAUGE GALVANIZED IRON FLASHING AT ALL ROOF BREAKS, TYPICAL U.N.O. ALL SCUPPERS, VENTS, FLASHINGS AND COUNTER FLASHING, VALLEY FLASHING AND ALL FASTENERS SHALL BE GALVANIZED IRON CORROSION-RESISTANT METAL. INSTALLED OVER A 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72 POUND MINERAL SURFACED NON PERFORATED CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. MEETING ASTM D3909.
- INSPECTIONS: ROOF DIAPHRAGM NAILING TO BE INSPECTED PRIOR TO COVERING. CONTRACTOR TO VERIFY ROOF CONSTRUCTION COMPLIES WITH ROOF PITCH PER PLAN, AND THAT FLOW LINES, SHEET METAL FLASHING AND RELATED DRAINAGE DEVICES AREA IN PLACE TO PROVIDE PROPER FLOW AND CONTROL OF WATER DRAINAGE.
- ATTIC VENTILATION: PROVIDE 1 SQUARE FOOT VENTILATION PER 150 SQUARE FEET OF ATTIC AREA PER CBC 1505.3. SEE CALCULATION.
- ROOF PENETRATIONS: EXHAUST FLUES, PLUMBING VENT STACKS, WATER HEATER FLUES AND THE LIKE SHALL NOT PENETRATE ROOF AREAS WHICH ARE VISIBLE FROM THE STREET, UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. PENETRATIONS TO BE HELD BACK 3 FEET MINIMUM FROM THE RIDGE AND SHALL BE BELOW RIDGE. PENETRATION SHALL BE HELD 3 FEET MINIMUM FROM EXTERIOR WALLS AT EAVE CONDITIONS. PROVIDE OFFSET IN ATTIC AS NECESSARY AND WHERE EVER POSSIBLE SHALL PENETRATE FLAT ROOF AREAS ONLY (TYPICAL)
- VENT SHALL NOT BE INSTALLED ON UNDERSIDE OF EAVES AND CORNICE.
- VENT OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVES SOFFIT SPACES, ENCLOSED RAFTER SPACES AND UNDERFLOOR VENT SHALL RESIST BUILDING IGNITION FROM INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENT OPENINGS. VENT OPENING SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MIN. 1/16" AND MAX. 1/8" OPENING.
- ATTIC SHALL MEET THE FOLLOWING:
A. MINIMUM OF 1" IN. AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.

ROOF LEGEND

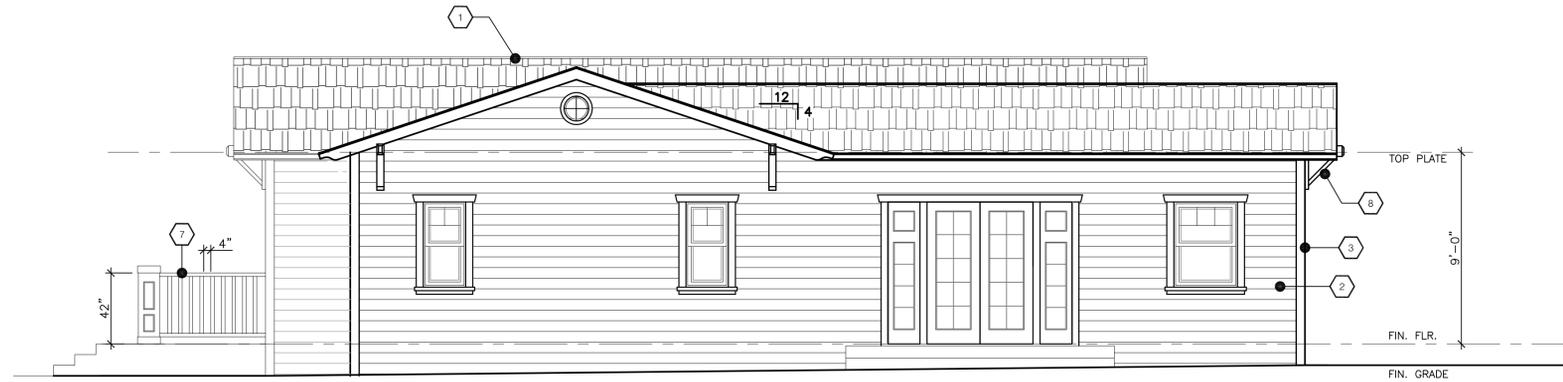
 ASPHALT SHINGLE ROOF CLASS 'A'
MINIMUM 30 YEARS. COLOR TO MATCH EXISTING

ATTIC VENT CALCULATION

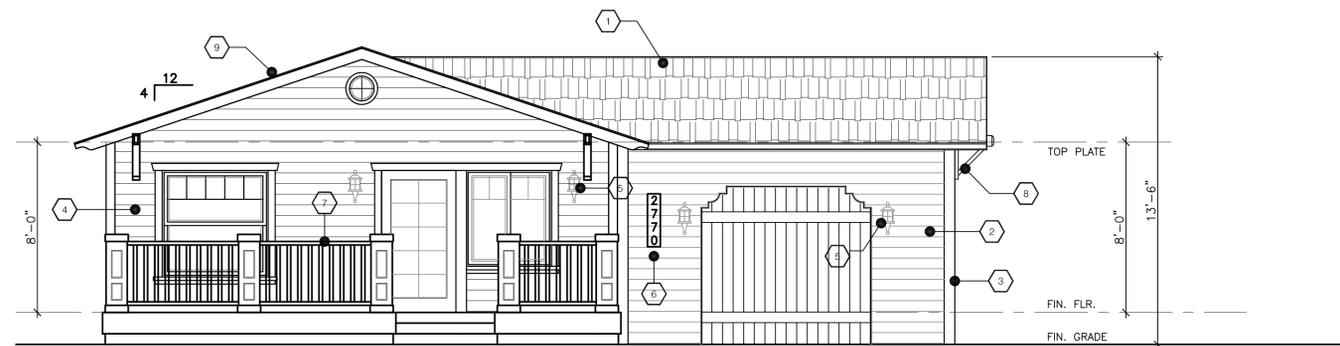
VENTILATOR CALCULATION
REQUIREMENT= ATTIC VENTS MUST PROVIDE: 1sqft. OF VENTILATION PER 300sqft. OF ATTIC AREA. 50% OF ATTIC VENTS MUST BE VENTILATOR TYPE LOCATED IN UPPER 3.00' OF ATTIC. ○ = 18"dia. X h=8" AURA ROOF VENTILATORS MODEL # AV14=1.27=sqft NET FREE VENT AREA. 2127.00/150.00sqft=14.0sqft REQ'D ATTIC 14.0/1.27sqft = 11 USE 11 VENTS
EAVE VENT CALCULATION
REQUIREMENT= ATTIC VENTS MUST PROVIDE: 1sqft. OF VENTILATION PER 300 sqft. OF ATTIC AREA. 50% OF ATTIC VENTS MUST BE EAVE/ CORNICE TYPE VENTS. □ = 3.5"X14" EAVE FIRE STOPPING VENT BY VULCAN MODEL # VE-3514 = 2sqft. NET FREE VENT AREA. 2127.00/150.00sqft=14.0 sqft REQ'D ATTIC 14.0/2.00sqft=7.0 USE 7 VENTS NOTE: THE OPENINGS SHALL BE A MINIMUM OF 1/2" AND SHALL NOT EXCEED 1/2"-1203.2.1

EXHIBIT B

DRAWING: G:\GABE-PC-Users\Public\Documents\Project 2017\2017_13_2770 Elm Ave Morro Bay 400_CADD_000_Current Drawings_06_A4.1_ Exterior Elevations.dwg PLOT BY: GABE - Jan 01, 2018 - 4:47:44pm



1 SOUTH ELEVATION
A2.1 A4.1 SCALE: 1/4"=1'-0"



2 WEST ELEVATION
A2.1 A4.1 SCALE: 1/4"=1'-0"

KEY NOTES

- 1 ASPHALT SHINGLE ROOF CLASS 'A' MINIMUM 30 YEARS TO MATCH EXISTING.
- 2 HARDIE PLANK LAP SIDING BY JAMES HARDIE, ESR #2280, RR # 24862 OR ITS APPROVED EQUAL OVER MINIMUM TWO LAYER TYPE 'D' 60. MINUTE BUILDING PAPER
- 3 HARDIE TRIM BOARD
- 4 EXISTING HARDIE PLANK LAP SIDINGS TO REMAIN. REPLACE DAMAGED PLANKS.
- 5 PHOTOCELL 13W CFL FLUORESCENT WALL MOUNTED EXTERIOR LIGHTING FIXTURE (89287-WINSTON COURT OUTDOOR SCENED) BY SEA GULL LIGHTING - FOR ILLUMINATING COMMON AREAS- SEE EXTERIOR BUILDING ELEVATIONS FOR MOUNTING HEIGHTS
- 6 6" TALL BY 1" EXTRUDED ANODIZED ALUMINUM ADDRESS LETTERS (ARIAL BOLD) RAISED 1" FROM FINISHED SURFACE
- 7 42" HIGH WOOD GUARDRAIL WITH VERTICAL MEMBER LIMITED TO NOT ALLOW 4' SPHERE TO PASS THRU
- 8 4x WOOD GUSSET, VERIFY DESIGN WITH OWNER
- 9 EXISTING ASPHALT SHINGLE ROOFING TO REMAIN
- 10
- 11
- 12

Elevation Notes:

1. INSULATION REQUIREMENTS
FOIL-BACKED BATT INSULATION
INSTALL PER MANUF. SPECS
PROVIDE: ROOF/CEILING R-30
EXTERIOR WALL R-19
INTERIOR WALL R-13
(WHERE SPECIFIED)
RAISED WD FLOOR R-19
FLR @ OVERHANGS R-19
SLAB EDGE INSUL. N/A
REFER TO CF-1R FORMS, SHT. T-24
2. WEEP SCREED
A MINIMUM 0.019 INCH CORROSION RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS.

THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND BE OF TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR.
3. WINDOWS
ALL GLAZING SHALL BE DUAL GLAZED.
SEE ATTACHED ENERGY CALCULATIONS.

REVISIONS

NO.	DESCRIPTION	DATE

ISSUED
PLANNING 3/27/17
BLDG AND 02/27/17
SAFETY

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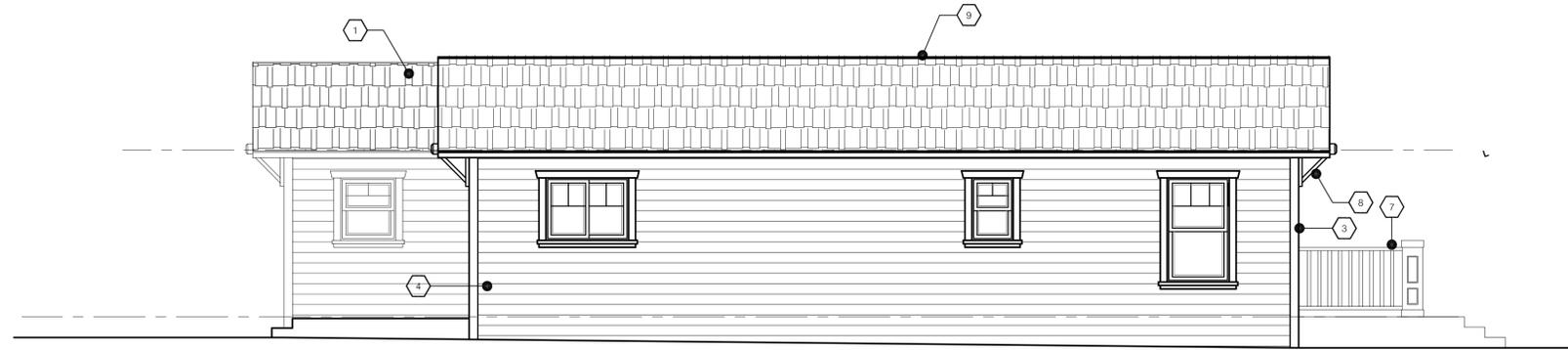
PROPOSED EXTERIOR ELEVATIONS

CHECKED BY:
BY:
H.H.
DATE:
10-30-2017
JOB NO.
2017_13
SCALE:
AS NOTED
SHEET 6 OF 7

SHEET NO.
A4.1

EXHIBIT B

DRAWING: G:\GABE-PC-Users\Public\Documents\Project 2017\2017_13_2770 Elm Ave Morro Bay 400_CADD_000_Current Drawings_07_A4.2_ Exterior Elevations.dwg PLOT BY: GABE - Jan 01, 2018 - 4:48:52pm



1 NORTH ELEVATION
 A2.1 A4.2 SCALE: 1/4"=1'-0"



2 EAST ELEVATION
 A2.1 A4.2 SCALE: 1/4"=1'-0"

KEY NOTES

- 1 ASPHALT SHINGLE ROOF CLASS 'A' MINIMUM 30 YEARS TO MATCH EXISTING.
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- 10
- 11
- 12

Elevation Notes:

1. INSULATION REQUIREMENTS
 FOR-BACKED BATT INSULATION
 INSTALL PER MANUF. SPECS
 PROVIDE: ROOF/CEILING R-30
 EXTERIOR WALL R-19
 INTERIOR WALL R-13
 (WHERE SPECIFIED)
 RAISED WD FLOOR R-19
 FLR @ OVERHANGS R-19
 SLAB EDGE INSUL. N/A
 REFER TO CF-1R FORMS, SHT. T-24
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REVISIONS

NO.	DESCRIPTION	DATE

ISSUED
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 BLDG AND 02/27/17
 SAFETY

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 APN: 068-226-004
 LOT No.4 BLOCK 19 OCEAN HEIGHTS No.1

PROPOSED EXTERIOR ELEVATIONS

CHECKED BY:
 BY:
 H.H.
 DATE:
 10-30-2017
 JOB NO.
 2017-13
 SCALE:
 AS NOTED
 SHEET 7 OF 7

SHEET NO.
A4.2



AGENDA NO: C-1

MEETING DATE: March 6, 2018

Staff Report

TO: Planning Commissioners **DATE:** February 28, 2018

FROM: Scot Graham, Community Development Director

SUBJECT: Review of Harbor Advisory Board and Planning Commission subcommittee meeting summary for Measure D and Working Waterfront Discussion, held January 11, 2018.

BACKGROUND:

On January 11, 2018, the Measure D and Working Waterfront subcommittee, from the Harbor Advisory Board (HAB) and Planning Commission (PC), met to develop policy language to better define and resolve ambiguities in Measure D and to develop a draft Working Waterfront Mission Statement and/or Policy for incorporation into the General Plan/Local Coastal Program/Zoning Code update. The staff report and associate materials for the January 11, 2018 meeting can be found at the following link: <https://www.morro-bay.ca.us/ArchiveCenter/ViewFile/Item/4482>. The resulting meeting summary notes are provided in Exhibit A to the staff report.

RECOMMENDATION:

Staff has provided the notes from the most recent subcommittee meeting so the PC can review the information, ask questions and provide input ahead of the Special joint meeting of the Harbor Advisory Board and Planning Commission on March 22, 2018 at 6pm in the Multipurpose room of the Community Center.

The HAB will be reviewing the same summary information at their regularly scheduled meeting of March 1, 2018 (at 6pm in the Veteran's Memorial Building).

Eric Endersby, Harbor Director and I will refine input from both the HAB and PC into policy recommendations for review at the Special Joint meeting on March 22nd.

EXHIBITS:

Exhibit A – January 11, 2018, Joint Harbor Advisory Board and Planning Commission subcommittee summary meeting notes

Prepared By: SG

Department Review: _____

Exhibit A
Staff Notes from 1/11/18 Working Waterfront/Measure D
Joint PC/HAB Subcommittee Meeting
for PC and HAB Consideration

MEASURE D

- A. “Primarily for the purposes of” means:
- Directly related to.
 - Commercial fishing is the highest and best use.
 - NOT pancakes to subsidize commercial/recreational fishing.
 - NOT 51%+ of anything (revenue, square footage, number of slips etc.).
 - “South Bay Wild” concept of limited food service OK, provided it’s seafood, but must be highly restrictive and serious concerns about mission-creep.
- B. “Clearly incidental thereto” means something fishermen need or is directly supportive to/of them.
- C. “Non-commercial recreational fishing”:
- Means mom and pop/citizen recreational fishing activities, NOT commercial sportfishing for-hire operations.
 - A private “recreational” fishing vessel must show evidence of fishing such as rod holders and associated appurtenances on the vessel, rods and tackle, an owner with a recreational fishing license and occasionally leave the harbor to go fishing.

WORKING WATERFRONT

- A. Supports the HAB Working Waterfront Mission Statement (but believe the “Working Waterfront Land Uses” statement is too complicated and far reaching.
- B. Supports the Three Working Waterfront Sectors:
- Fisheries Sector - the Measure D zone.
 - Visitor’s Sector – Beach Street south to Mariner’s Park (note – staff believe this sector should include the Tidelands Park/launch Ramp area as well).
 - Commercial Sector – Mariner’s Park south to the State Park Marina (better public access in the water lease-only area south of the public launch ramp was identified as a priority).
- C. The GP/LCP update should include the WW mission statement, and identification and definition of the three sectors.