



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.*

**Regular Meeting -Tuesday, June 4, 2019  
Veteran's Memorial Building – 6:00 P.M.  
209 Surf Street, Morro Bay, CA**

Vice-Chairperson Michael Lucas  
Commissioner Jesse Barron

Chairperson Gerald Luhr

Commissioner Joseph Ingraffia  
Commissioner Susan Stewart

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE  
PLANNING COMMISSIONER ANNOUNCEMENTS

## PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Commission at this time.

Public comment is an opportunity for members of the public to provide input to the governing body. To increase the effectiveness of the Public Comment Period, the Commission respectfully requests the following guidelines and expectations be followed:

- When recognized by the Chair, please come forward to the podium to speak. Though not required, it is helpful if you state your name, city of residence and whether you represent a business or group. Unless otherwise established by the Chair, comments are to be limited to three minutes.
- All remarks should be addressed to Commission, as a whole, and not to any individual member thereof.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Planning Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Planning Commission meetings is welcome and your courtesy will be appreciated.
- The Commission in turn agrees to abide by its best practices of civility and civil discourse according to Resolution No. 07-19.

## PRESENTATIONS

### A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

- A-2** Annual Water Report 2018 and Recommendation to Council for Allocation of Water Equivalency Units (WEUs) for FY2019/20  
**Staff Recommendation:** forward recommendation to Council for allocation of WEU's for FY 2019/20.

**B. PUBLIC HEARINGS**

- B-1** **Case No.:** CDP19-014 and CUP19-05  
**Site Location:** 985 Shasta, Morro Bay, CA  
**Proposal:** Request for a Coastal Development Permit (CDP19-014) and Conditional Use Permit (CUP19-05) as Special Use Permit approval to construct two 60'x12' bocce ball courts and one 15'x16' greenhouse for public recreation and community garden purposes on a vacant 3,872 sf lot adjacent to the Community Development Department. The property is zoned R-4 (Multiple Residential-Hotel-Professional) and is located outside the Coastal Commission Appeals Jurisdiction.  
**CEQA Determination:** Categorically Exempt, Section 15303, Class 3c.  
**Staff Recommendation:** Conditionally approve.  
**Staff Contact:** Willow Urquidi, Assistant Planner, (805) 772-6270
  
- B-2** **Case No.:** CUP18-06, CDP 18-008, PKG18-01  
**Site Location:** 1130 Scott Street, Morro Bay, CA  
**Proposal:** Request for Coastal Development Permit, Conditional Use Permit and Parking Exception to approve a three story new building with a 2200 square foot caretaker residence on the 2<sup>nd</sup> and 3<sup>rd</sup> floors with a 925 square foot commercial space with covered and open parking spaces on the ground floor level. The project requires a parking exception related to parking adjacent to the back of sidewalk and providing only one covered and enclosed residential parking space and a request for tandem parking. The property is in the C-2/PD/SP zoning district and is not within the appeals jurisdiction of the California Coastal Commission.  
**CEQA Determination:** Categorically Exempt, Section 15303, Class 3e.  
**Staff Recommendation:** Deny.  
**Staff Contact:** Nancy Hubbard, Contract Planner, (805) 772-6211
  
- B-3** **Case No.:** CUP18-07, CDP18-010, PKG18-03  
**Site Location:** 982 Carmel, Morro Bay, CA  
**Proposal:** Request for a Conditional Use Permit (CUP 18-07), Coastal Development Permit (CDP18-010) and Parking Exception (PKG18-03) to approve a proposed new ADU containing 409 square foot attached to an existing 1063sf residential dwelling. The project also includes a new 112 sf deck and some exterior changes to windows and doors on the front of the home. The application is also requesting after-the-fact approval for a 137-sf addition to the existing home and an 80-sf detached bathroom that will become part of the new ADU, both built without planning approval or building permits. The site is zoned R-1 and is not within the Coastal Commission Appeals Jurisdiction.  
**CEQA Determination:** Categorically Exempt, Section 15301, Class 1e.  
**Staff Recommendation:** Conditionally approve.  
**Staff Contact:** Nancy Hubbard, Contract Planner, (805) 772-6211

**C. NEW BUSINESS - NONE**

**D. UNFINISHED BUSINESS - NONE**

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on June 18, 2019 at 6:00 p.m.

**PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: [www.morrobayca.gov/planningcommission](http://www.morrobayca.gov/planningcommission) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morrobayca.gov/notifyme](http://www.morrobayca.gov/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

**APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is

no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay  
 Community Development Department  
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions

New Planning items or items recently updated are highlighted in yellow.

Approved projects are deleted on next version of log.

Agenda No: A-1  
 Meeting Date June 4, 2019

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
<b>Hearing or Action Ready Projects:</b>										
1	Kenney	1130 Scott	9/7/18	CUP 18-06 and CDP 18-008 and PKG 18-01	<b>Conditional Use and Coastal Development permits for 1416 sf commercial garage/shop with 2200 sf caretaker's unit. Parking exception for increased driveway width for small lots</b>	Incomplete letter sent 10/23. Resubmittal received 1/23/19, under review. Disapproval letter sent 2/25/19. Resubmittal March 12, 2019. Deemed complete 3/28/19, however applicant is redesigning and will resubmit revised plans. April 16, 2019 applicant informally submitted a revised design, comment letter returned on April 25, 2019. Applicant decided to move forward with original design with 2 levels of residential over commercial. Scheduled for Planning Commission on June 4, 2019.				nh
2	Hobab	982 Carmel	9/19/18	CDP 18-010/MUP 18-04/PKG 18-03	<b>Coastal Development, Minor Use, and Parking Exception for the construction of an Accessory Dwelling Unit</b>	Incomplete letter sent 10/17. Resubmittal rcv'd 11/27. Application deemed incomplete 12-21-18. Applicant to resubmit on or before April 3, 2019. Resubmittal received 3-21-19, under review. Deemed Complete and scheduled for Planning Commission June 4, 2019				nh
3	Carmichael	985 Shasta	5/16/19	CDP19-014 and CUP19-05	<b>Coastal Developemtn and Conditional Use Permit for two bocce ball courts and one greenhouse on a vacant parcel adjacent to the Public Services building.</b>	Scheduled for Planning Commission June 4, 2019				wu
3	Wilson	1141 Main Street	1/31/19	CUP19-02	<b>Proposed Change in use; partial cmmercial retail &amp; partial apartment</b>	Deemed incomplete 3/1/19. Project requires CUP and CDP with Parking Exception, need resubmittal for additional planning permits. Resubmitted March 28, 2019, under review. Project deemed complete 4-16-19 and is scheduled for Planning Commission June 18, 2019 (date requested by applicant)				nh
<b>30 -Day Review, Incomplete or Additional Submittal Review Projects:</b>										
4	Moss Lane Ventures, LLC	839 Morro Bay Blvd	5/6/19	CUP19-04/CDP 19-013	<b>Demo existing carwash, construct new 600 sf single sided drive up coffee shop.</b>	Application received 5-6-19 and is under review.		PN-Conditionally Approved 5/16/2019		nh
5	Paige	2780 Greenwood	5/21/19	CDP19-015	<b>Expansion of existing ADU, 208 sf addition</b>	Submittal is under review				nh
6	Ranat	2598 Main	2/19/19	VAR 19-001	<b>Variance request to allow approval of an as-built bathroom parcially within the site yard setback.</b>	Submittal is under review. Deemed incomplete 2/4/19. Applicant considering alternative to resolve issues. Resubmittal received April 25, 2019 and is under review. Additional information was requested, waiting for response.		PN-Conditionally Approved 5/16/2019		nh

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7	Naran	2172 Main St	4/23/19	MUP19-03	<b>Request for approval for short term rental for residential apartment in MCR/R-4 zone</b>	Submittal is under review. On May 17, 2019 applicant modified application to include only 2172 Main, removed request for 2176 Main. Application is under review.				nh
8	Ryan	1170 Marengo	2/26/2019 (LLA) and 5/13/19 (LTM)	LLA19-001/ LTM19-01	<b>Lot line adjustment to reconfigure 3 5000 sf residential lots into 2 larger residential lots.</b>	Submittal is under review. Project deemed incomplete 3-21-19. Requires resubmittal. April 18 project deemed incomplete. Resubmittal requires an application for a Lot Merger to be process together with the LLA. Lot Merger application received May 13, 2019 - both to be processed together.				nh
9	Garcia	532 Kings Ave	2/22/19	CDP19-005	<b>New SFR, 2474 sf of living space, 528 sf garage and 190 sf decking with shared driveway</b>	Submittal is under review. Planning deemed incomplete 3/15/19. Resubmittal received on May 15, 2019 and was deemed complete on May 23, 2019. Preparing for Administrative notification and decision.				nh
12	Eisemann	535 Atascadero Road	3/7/19	PAR19-01	<b>Final Parcel map</b>	Submittal is under review. Planning disapproved 3/14/19. Resubmittal disapproved on May 14, 2019.				nh
14	Brebes	493 Oahu	1/16/19	CDP19-002	<b>Admin. CDP for conversion of existing interior space to create a 561sf accessory dwelling unit.</b>	Incomplete letter sent 2/1/19. Resubmittal 4/19/19. Set for noticing 5/17/19.				wu
14	Cleary	1282 and 1290 Embarcadero Road	5/23/19	CDP19-016	<b>Admin CDP for removal of major vegetation.</b>	Submittal is under review.				
15	Reisner	1300 Clarabelle	4/22/19	CDP19-011	<b>Admin CDP for new construction of SFR attached garage</b>	Incomplete letter sent 4/26/19. Resubmittal 5/20/19 under review.				wu
16	Najarian	1339 Berwick	11/30/18	CDP 18-014	<b>Admin CDP for new construction of SFR and ADU with attached garage</b>	Application deemed incomplete, comments sent to applicant on 12/27/18.				nh
17	Auerbach	3200 Beachcomber	3/29/19	CDP19-008	Regular CDP for drainage ditch bank stabilization project	Application deemed incomplete, comments sent to applicant on 4/25/19.				nh
18	Henry	411 Trinidad	7/5/18	CP0-584	<b>CDP for construction of a new single-family residence on a vacant lot</b>	Under Intial Review. Correction letter sent 7/16/18. Additional review and correspondence with owners on March 7, 2019. Waiting for resubmittal		PN- conditionally Approved 7/19/2018		nh
19	Fields	731 Butte	6/14/18	CP0-582/UP0-534	<b>CDP and CUP for Multi-Family residences. A 1,500 sq. ft. manufactured residence, a 448 sq. ft. studio unit above a 441 sq. ft. garage with an attached 220 sq. ft. carport</b>	Under Initial Review. Correction letter sent 7/11/18. Resubmitted 10/22/18. Correction Letter sent 11/14				nh

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20	Patel	233 Atascadero	6/13/18	CP0-581/UP0-533	<b>CDP and CUP for New 83 room hotel on vacant 2 acre lot</b>	Under Initial Review. Incomplete letter sent 7/13/18. Resubmitted 9/11/18. Comment letter sent 10/19/18. Environmental review required. Cj. Met with Applicant's Agents 11-8-18 to review flood plain and height requirements. Project currently overheight and does not meet parking requirements. Story poles erected on 1/3/19 and scheduled for Conceptual Review by PC to evaluate height, parking, and findings of significant public benefit as allowed under the Planned Development (PD) overlay zone. PC comments provided to Applicant after 1-15-19 meeting. Applicant considering project revisions. Environmental review in progress.				cj
21	Held	205-215 Harbor St	5/4/18	CP0-578/ UP0-527	<b>Coastal Development Permit &amp; Conditional Use Permit for New construction of new 30 unit hotel, Merge existing 6 lots</b>	Under initial review. Incomplete letter sent 6/4/18. Resubmittal received 7/3/18. Additional comments sent to Applicant's Agent 8/3/18, and 8/22/18. Proposals received for environmental review. Reimbursement agreement sent to applicant for environmental review on 10/15/18. Resubmittal received 5-10-19 - comments returned 5-28-19		PN- Conditionally Approved 7/17/2018		cj
22	Wood	361 Main	4/6/18	AD0-134 / UP0-526	<b>Conditional Use Permit and Parking Exception for Addition to existing residence; 2nd floor addition 386 sq. ft.; 2nd floor deck 329 sq. ft. with variance AD0-134</b>	Under Initial Review. Correction letter sent 5/1. Applicant notified 1-4-19 that Project requires a CUP and CDP, needs new application, fees and resubmittal for processing. Project resubmitted 4-29-19, under review. Deemed incomplete May 23, 2019		PN- Conditionally Approved 5/7/2019		nh
23	T-Mobile	1478 Quintana	2/26/18	A00-056	<b>Modification to UP0-052/CP0-073 for upgrade to existing wireless site</b>	Under initial review. Correction Letter sent 3/30. Unauthorized work completed by owner. Spoke with the agent 11/5 about process moving forward. Spoke with agent again 2/7. Resubmittal 2/26. Correction letter sent 3/13. Awaiting resubmittal.		JW approved		wu
24	Morgan	101 Fig St.	4/12/17	UP0-476	<b>Conceptual Review of New SFR with accessory unit. Existing historical structure on lower level.</b>	PC Conceptual Review 5/16/17. Applicant evaluating whether to pursue project. Project Inactive as of 10/2018		PN-Conditionally approved 5/11/17		nh
25	Kurz	2720 Elm Ave.	5/3/19	CDP19-012	<b>New detached ADU</b>	Set for noticing 5/17/19.				wu
26	Scott	2940 Hemlock Ave.	4/19/19	MIN19-004	<b>Minor modification to existing CDP to allow minor design changes and an increase in building height</b>	Correspondence with Applicant via phone and email. Noticing began 5/14/19.				wu
<b>Projects Appealed to Planning Commission or PC Continued projects:</b>										
28	State Parks - Mike Walgren	11 State Park Road	8/20/18	CDP 18-004, CUP18-04	<b>Coastal Development Permit &amp; Conditional Use Permit to install modular building for office space, parking and landscape improvements at Morro Bay State Park</b>	Submitted on 8-20-18. Deemed incomplete 9.10.18. Applicant to resubmit plans. Plans resubmitted with additional information on 10-26-18. Project deemed complete. Scheduled for PC on December 18, 2018. Continued to date uncertain by PC on 12/18/18. Applicant to provide additional information.		PN- Approved 9/4/2018		nh

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29	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	<b>Environmental documents for Nutmeg Tanks.</b> Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		cj
<b>Projects Appealed or Forwarded to City Council:</b>										
30	City of Morro Bay	Citywide	6/19/13	A00-015	<b>Sign Ordinance Update.</b> Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission reviewed 5/17/2010. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. PC reviewed 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. City Council 12/13/11. Continued to 1/10/12 CC meeting. PC reviewed 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13 & 7/3/13. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. Business workshops held fall/winter 13/14. Result of sign workshops discussed at 11-3-15 PC mtg. Revised Public Draft of Sign Ordinance posted to City website on July 6, 2017	No review performed.	N/R		sg
<b>Environmental Review</b>										
31	City of Morro Bay	N/A		UP0-423	<b>MND for Chorro Creek Stream Gauges</b>	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
<b>Final Map Under Review Projects - No pending applications currently.</b>										

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<b>Projects requiring coordination with another jurisdiction:</b>										
32	City of Morro Bay	Outfall			<b>Original jurisdiction CDP for the outfall and for the associated wells</b>	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
33	City of Morro Bay Desal Plant	170 Atascadero			<b>Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.</b>	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.		
<b>Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing:</b>										
34	City of Morro Bay	Citywide			<b>Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project</b>	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. General Plan Advisory Committee meetings ongoing. For more information or to get involved, visit <a href="http://www.morrobayca.gov/planmb">www.morrobayca.gov/planmb</a> . Project to be complete with documents ready for adoption and certification by end of 2018. Public draft of combined General Plan/ LCP released May 2018 for review.				
35	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	<b>Zoning Text Amendment - Second Unit</b>	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting. Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. <b>New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation will force additional changes.</b>	No review performed.			

wm

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<b>Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:</b>										
36	Verizon / Knight	184 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	<b>Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.</b>	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		jg
<b>Grants</b>										
37	California Coastal Commission, California Ocean Protection Council	City-wide	4/6/16		<b>\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation.</b>	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17.	No review performed.	N/A		sg
38	City of Morro Bay	City-wide			<b>Community Development Block Grant/HOME Program - Urban County Consortium</b>	Staff has ongoing responsibilities for contract management in coordination with County staff administration. Final 2016 funding recommendations reviewed by Council on 3-8-16. 2016 Subrecipient Agreement executed and Council approved 2018-2020 Cooperation Agreement with County on 6-13-17.	No review performed.	N/R		cj
39	City of Morro Bay	City-wide			<b>Climate Action Plan - Implementation</b>	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
<b>Projects in Building Plan Check:</b>										
1	AJ Wright and Phil Davis	2996 Alder	9/28/18	B18-0033	New 3 story 3-unit apartment building, 2 story housing over ground level garage	Submitted 9-28-18. Not approved, comments sent on 10-11-18. Resubmitted March 6, 2019, under review. Planning disapproved submittal 3/19/19. Planning approved on 5/23/19	Bldg - Disapproved on 4/8/19			nh
2	Guesno	220 Atascadero Rd.	11/26/18	B18-0085	Commercial Alteration- parking lot reconfig, kitchen remod, install non bearing walls, add 2 restrms.	Submitted 11-26-18. Planning disapproved submittal 12/14/18.	BLDG - Disapproved 12/27/18			nh
3	Carter	2035 Bayview Ave	4/30/19	B19-0082	Demolish a 920 sf SFR and 303 sf detached garage. This is a Demo/reconstruct that is being submitted separately, new SFR plans to follow	Approved 5/9/19 - wu		PN - Approved 5/1/2019		wu
4	Kudla	399 Beach	9/13/18	B18-0021	Commercial tenant improvement to Hungry Fisherman. Remodel, correct plumbing in bathroom and kitchen		Ready to issue			
5	LaPlante	3093 Beachcomber	4/24/17	B-31487	New SFR: 3,495sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	Approved 8-9-18. cj.	Ready to issue	PN - Approved 6/21/2018	Emailed comments on 10-20-17.	

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
6	Thayer	458	Bernardo Ave	4/17/19	B19-0070	Demo 1072 sf SFR and 460 sf garage and construct new single story SFR & detached garage - 1295 sf living, 462 sf garage, and 280 sf covered porch. Also 214 sf detached ADU (See B19-0071 for ADU permit).	Approved by planning 4/18/19.	Bldg - Plancheck			wu
7	Thayer	458-A	Bernardo Ave	4/17/19	B19-0071	New detached 214 sf ADU at rear of property.	Approved by planning 4/18/19.	Plancheck			wu
8	Borchard	508	Blanca	9/5/18	B18-0015	New Single Family Residence-1800sq. Ft living, 453 sf garage + 364 decking	Approved by planning 10-4-18	Bldg - Disapproved on 9/20/18.			nh
9	Hobab	982-A	Carmel St.	3/22/19	B19-0049	409 sf attached ADU and 137 sf addition at rear of existing SFR. 112 sf second story deck at front of SFR, and new front door at entry.	No planning review before approval of CUP and Parking Exception - See CUP18-07 and PKG18-03.	Bldg - Disapproved 4/17/19			nh
10	Lew	660	Elena	5/6/19	B19-0085	Demo existing non-conditioned laundry area and reconstruct as conditioned habitable area adding an additional 62 sf. Also, remodeling interior, and adding 54 sf to second level increasing existing	Disapproved 5/23/19. Awaiting resubmittal.	Plancheck			wu
12	Redican	725	Embarcadero	11/29/18	B18-0086	Remodel existing two story commercial building, creating a 10 room hotel on upper floor with lobby on lower floor (adding 837 sf). Also repair/extension of the existing Harborwalk	Corrections sent 1-3-19. Resubmittal under review. Corrections sent 5-28-19. cj.	Bldg - 3/27/19			
13	Branch	885	Embarcadero	3/12/19	B19-0043	Addendum #1 to B18-0043 - Minor framing alterations (interior), confirm slopes per ADA requirements, and install siding at west elevation (previously stone).	Plng approved - cj.	Bldg - Disapproved 4/16/19			cj
14	Fowler	1215	Embarcadero	12/27/18	B18-0113	Tenant Improvement to new retail/office space in commercial bldg. T.I. will be completed during construction of new building. Business is Oyster depuration/ wet storage facility with retail sales and food facility (oyster bar).	Plng disapproved 1-14-19 - cj	Bldg - Disapproved on 2/4/19 Fire - Approved on 2/5/19	Approved by pn on 1/17/19		cj
15	Mathias	2515	Greenwood	2/16/18	B-31888	New SFR with ADU- 1384 sq. ft. living, 405 sq. ft. garage, 126 sf porch	Conditionally approved 2/27/18. Need COA attached to plan set	BLDG -Approved by co 1-2-19. mf	PN- Disapproved per memo dated 3/5/18		jg
16		2515	Greenwood	5/1/19	B19-0083	Demo 1232 sf SFR (Permit B00-0310391), and reconstruct new single story 1384 sf SFR with attached 405 sf garage, and 106 sf covered porch		Plancheck			
17		2525	Greenwood	5/1/19	B19-0084	Demo 433 sf second unit (Permit B00-0310391) and reconstruct new 737 sf detached Accessory Dwelling Unit (ADU) with 234 sf carport and 29 sf covered front porch.		Plancheck			

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
18	Krull	2575	Greenwood	4/25/19	B19-0076	Remove existing non-conforming 261 sf shed, convert existing attached two-car garage into an accessory dwelling unit (ADU).	Planning approved 5/2/19.	Bldg - Plancheck	PN-Disapproved 5/16/2019		wu
19	Hoefner	125	Hatteras	4/11/19	B19-0065	SF Addition - 316 sf addition to existing SFR, 194 sf addition to existing attached garage, reduce size of entry porch to 22 sf (from 91 sf). Replace deck boards with composite decking on existing rear deck.		Bldg - Disapproved on 4/17/19	PN-Disapproved 5/1/2019		nh
20	Scott	2940	Hemlock	8/28/18	B18-0006	New Single Family Residence-1626sq. Ft living, 462 sf garage +500 decking	Disapproved 9/18/18. Resubmittal received 12/21/18. Under review. Disapproved 1/14/19. Awaiting resubmittal. Minor amendment to CDP under review.	Approved by co 1-7-19.			wu
21	Scott	2940-A	Hemlock	8/29/18	B18-0008	235 sq. ft attached ADU	Disapproved 9/18/18. Resubmittal received 12/21/18. Under review. Disapproved 1/14/19. Awaiting resubmittal. Minor amendment to CDP under review.	Approved by co 1/17/2019			wu
22	Gelman	2784	Indigo Circle	5/15/18	B - 32002	New SFR 2110 sq. ft., 663 sq. ft. garage, 275 sq. ft. patio	Approved 6/6/18	Ready to issue			
23	Bariel	491	Jamaica	5/6/19	B19-0088	Reconstruct New two story SFR 1601 sf living, 447 sf attached garage, 216 sf 2nd story front deck	Approved 5/16/19				wu
24	Smothers	570	Kings	2/5/19	B19-0019	Demo 988sfSFR, build 1000sf SFR	Disapproved 2/19/19.	Bldg - Disapproved 2/20/19			wu
25	Smothers	570-a	Kings Ave.	2/7/19	B19-0021	Add attached 430sq. Ft ADU	Disapproved 2/19/19. Resubmittal 5/16/19. Approved by planning 5/23/19.				wu
26	Linker	594	Kings Ave.	4/16/19	B19-0068	New two story SFR - 2996 sf living, 491 sf attached garage, 304 sf deck at front and 85 sf deck at rear.	Planning approved	Bldg - Ready to issue			nh
27	Hilton -Limited Partnership	430-A	LA Jolla	1/24/19	B19-0013	Enclose interior stairs to create ADU. Add closet on upper level, new french doors, new exterior door and new kitchen on lower level.	Planning approval 2/4/19.	BLDG- Disapproved by co on1/30/19.			wu
28	Richardson	441	LA Jolla	3/8/19	B19-0040	Kitchen, bathroom and laundry room remodel in existing dwelling.	Submittal under review. Approved 3/19/19	Bldg - Disapproved 3/15/19			nh
29	Vogal	948	Marina	9/5/18	B18-0014	Addition / construct new 400sf gargage demo & replaced existing driveway.	Correction letter sent 10/15. Resubmittal 5/20/19 under review.	Bldg - Disapproved 9/20/18			wu
30	Henderson	958	Marina	10/18/17	B-31732	Replace interior finish, repair & reinforce existiing structure & replace electrical mechan.& plumbing systems on 2ndary unit	Under review Disapproved by rr on 11-1-17. Project requires planning entitlements.	Ready to issue	Approved by jb on 10-23-17.		
31	Ellis	120	Main St.	5/14/19	B19-0097	SF Addition - add 126 sf master bath to the existing master bedroom, add 178 sf of new living room space, add 456 sf of covered patio space to the front and rear of SFR.	Submittal under review.				wu
32	Verma	316-A	Main St.	3/22/49	B19-0051	Construct 724 sf ADU (attached addition) creating new upper level above existing SFR. Add 121 sf bathroom on main level and install elevator in existing garage.	Conditionally approved 4/23/19.	Bldg - Disapproved 4/22/19	PN-Disapproved 5/3/2019		nh

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
33	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg - Approved 2/27/19 Fire - Approved 2/26/19	Disapproved on 3/14/19		
34	Dillon	1387	Main St.	4/25/19	B19-0079	Interior repairs to the Seabird room, in the Pacific Wildlife Care Clinic Building. Remove & replace plywood subfloor, spray foam insulation under floor, waterproof coating over new floors, replace floor drains, electrical, replace radiant wall heaters.		Bldg - Plancheck			sg
35	Sonic	1840	Main	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	
36	Kaishar	2460	Main	8/2/18	B32117	Comm. Alteration Remove Wall and expand lobby.		BLDG - Emailed comments to owner 12-28-18			nh
37	Birch	565	Mimosa	4/24/19	B19-0075	Installation of 13x27 foot Absolute Steel detached RV carport structure	Under review. Disapproved 5/2/19	Bldg - Plancheck			nh
38	Ryan	1170	Marengo Dr	5/14/19	B19-0096	Deck Demolition Approx. 275 sq ft	Planning approved 5/17/19	Plancheck			
39	Najarian	479	Nevis St.	3/22/19	B19-0050	New two story SFR, 1686 sf living, 507 sf garage, and 192 sf decking.	Disapproved 4/9. Resubmittal 5/16/19. Approved by planning 5/23/19.	Bldg - Disapproved 4/15/19			wu
40	Jerkovich	2584	Nutmeg	4/25/19	B19-0077	Installation of stairs and concrete planters at front of lot. (Partially in ROW, will require an encroachment permit).	Under review.		Bldg - Plancheck		wu
41	Erb	2630	Nutmeg	2/14/19	B19-0029	Demo 195 sf third story deck at front of home and rebuild with 80 sf extension to allow for deck beam and column support. Remove 152 sf deck on south side of home, misc. construction to repair water damage.	Dissapproved 3/6/19. Disapproved 4/9.	Bldg - Approved 3/27/19			wu
42	Freisen	196	Panay St.	3/15/19	B19-0045	Additional 1000 sf to SFR	Disapproved 4/3/19. Awaiting resubmittal.	Bldg - Disapproved 4/10/19			wu
43	Morro94 LP	3300	Panorama	2/11/19	B19-0023	Additional scope to remove small sheds and fire hydrants	Work was done without a permit. Post demo conditions applied. Project appealed - see MIN19-001. Planning permit withdrawn 5-21-19	Bldg - Disapproved 2/11/19			nh
44	Lewis	290	Piney Ln.	9/26/18	B32-151	Addendum - Adding stucco finish in lieu of ledgestone		Ready to issue			
45	Osborne	450	Piney Way	3/22/19	B-32176	Addendum to: B00-031-905 - Install elevator where approved plans only show the elevator shaft for a future elevator.	Planning approval 3/26	BLDG - Approved 3/13/19			wu
46	Colmer	541	Quinn Court	5/20/19	B19-0104	New Truss Vendor, no design changes		Plancheck			

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
47	Colmer	553	Quinn Court	5/20/19	B19-0105	New Truss Vendor, no design changes		Plancheck			
48	Colmer	545	Quinn Court	5/20/19	B19-0106	New Truss Vendor, no design changes		Plancheck			
49	Colmer	549	Quinn Court	5/20/19	B19-0107	New Truss Vendor, no design changes		Plancheck			
50	Colmer	549	Quinn Court	5/20/19	B19-0108	New Truss Vendor, no design changes		Plancheck			
51	Colmer	561	Quinn Court		B19-0087	Addendum to B18-0078 change approved foundation of new SFR to a post tension foundation and shift footprint of home.		Plancheck	PN-Approved 5/7/2019		
52	ABS-CA-O, LLC	730	Quintana Rd.	10/22/18	B18-0055	Remove & replace parking lot light poles and light fixtures on existing concrete bases. This permit includes 6 parcels in the Cypress Plaza, (600-780 Quintana Rd).		Ready to issue			
53	Erlendson	299-A	Sienna St.	1/22/19	B19-0005	Convert Garage to 435 sq. Ft. ADU	Planning approval 2/4/19	BLDG- Approve 4/15/19	PN-Approved 5/1/2019		nh
54	Coogan	175	Tahiti St.	3/21/19	B19-0048	Reconfigure existing floor plan & garage. Reduce 29 sf of garage and add to SFR.	Submittal under review. Approved 4/4.	Bldg -Disapproved 3/27/19			wu
55	Kenney	321	Trinidad	10/25/18	B18-0058	362 sf single story addition to existing SFR	Resubmittal disapproved 3/21/19. Resubmittal 4/17/19. Approved by planning 4/24/19.	Bldg - Resubmittal approved 3/21/19	Resubmittal disapproved 3/21/19		wu
56	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane,, new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal.	Bldg - Approved 3/27/19			wu
57	Deputy	459	Whidbey	5/13/19	B19-0095	Remodel kitchen & Bathrooms-minor plumbing and Electrical		Plancheck			
<b>Planning Projects &amp; Permits with Final Action:</b>											
1	U.S. Coast Guard	1279 Embarcadero		12/17/18	CUP18-10	<b>Conditional Use Permit for 800sf addition to existing US Coast Guard Station</b>	Incomplete letter sent 1/17/19. Resubmittal on 2/19/19. Project under review. PC reviewed on 4-16-19 and forwarded favorable recommendation to City Council. City Council approved 5-14-19.				cj
2	Patel	2790 Indigo		1/31/19	CDP19-004 and CUP19-01	<b>CDP / CUP for new 2,424 SFR, 420 sf garage</b>	Under review. Incomplete letter sent 2/19/19. Resubmittal 3/6 currently under review. Correction letter sent 3/27. Resubmittal 4/8. Scheduled for PC May 7, 2019.				wu

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
2	Bradley	962 Piney	4/3/19		<b>Sign Exception Permit to allow two monument signs where one is the maximum</b>	Incomplete letter sent 4/16/19. Resubmittal 4/29/19. Scheduled for Planning Commission 5/21/19.				wu
3	Tench	1001 Front St.	3/15/19	MUP19-02	Annual Waterfront Market	Submittal is under review. Deemed complete and noticing begins 4/30/19.				wu
4	Griggs	495 Atascadero Ave	2/25/19	CUP19-03 / CDP19-006	<b>Coastal Development Permit and Conditional use permit to approve as-built shed on RV park site.</b>	Under review. Additional information requested 3/14/19. Project deemed complete 3-28-19, scheduled for PC hearing on May 21, 2019. Approved 5/21/19, permit issued.				nh



AGENDA NO: **A-2**

MEETING DATE: June 4, 2019

# Staff Report

**TO:** Planning Commission **DATE:** May 24, 2019  
**FROM:** Rob Livick, PE/PLS – Public Works Director/City Engineer  
Damaris Hanson, Environmental Program Manager  
**SUBJECT:** Annual Water Report 2018 and Recommendation for Allocation of Water Equivalency Units (WEU) for FY2019/20

## **RECOMMENDATION**

Staff recommends the Planning Commission review the annual water report for 2018 and the FY 2019/20 Water Equivalency Unit Allocation and forward the following recommendations to the City Council:

1. Allocate 50 Water Equivalency Units (WEUs) for residential development and 65 for commercial development for a total of 115 WEUs for FY2019/20

## **ALTERNATIVES**

As an alternative to authorizing development that creates new WEUs, Planning Commission could recommend to Council to place a moratorium on the establishment of any new WEU.

## **FISCAL IMPACT**

There are no fiscal impacts directly associated with the allocation of the WEUs. Staff prepares the annual water report and makes the recommendation on the authorization of WEUs as a routine annual task. Although, a moratorium on new WEUs would reduce the amount of revenue the City receives through building and planning fees, property taxes, sales taxes, and other property related revenues.

## **BACKGROUND**

Pursuant to Morro Bay Municipal Code (MBMC) Section 13.20, the Annual Water Report was prepared by the Public Works Department and taken to the Public Works Advisory Board on May 29, 2019 and is being brought to the Planning Commission for review and recommendations, then finally to City Council on June 11, 2019.

A WEU is defined as a unit of measure for water use equal to the average amount of water used by a single-family residence over the period of one year. Starting in 1977 one WEU was equal to 10,780 cubic feet of water or 166 gallons per capita per day (GPCD) per year. In 2016 this was updated to 8,732 cubic feet of water or 90 GPCD due to the historical trend of lower water use compared to previous years. The intent of the WEU allocations are to regulate the addition of new water users to the City's water system and to ensure the demand for water shall not exceed available water supply.

Prepared By: DH

Dept Review: \_\_\_\_\_

In 1984 the citizens adopted Measure F (Codified as Ordinance 266 in MBMC as Chapter 13.20), a “Growth Management System”. This measure set a maximum population of 12,200 by the year 2000. To accomplish the housing needs of this population growth, Measure F set a maximum housing unit limit of 70 new units per year with a maximum variation in the number of units in a year that cannot exceed 10 percent or 77 WEUs for residential units. City Council took action on August 27, 2007 to reduce the number of allocated housing units to 50 new housing units. Ordinance No. 266 requires an allocation mix of 60-percent single-family residential (SRF) and 40-percent multifamily residential (MFR). Since housing and population growth has not increased as projected, i.e. the City has yet to reach Measure F population of 12,200, new housing units can still be issued. The population growth estimates in the proposed General Plan predict reaching the Measure F established population in 2040.

## **DISCUSSION**

### **Current Drought Conditions**

For the first time since December 20, 2011, California is drought free as of Mid-March according to the U.S. Drought Monitor with less than 7% of the State remaining abnormally dry. While 2019 started off dry and warm but as of the end of March the State is above normal with some areas 150-300% of normal and the threat of drought is low.

### **Water Conservation**

#### *Statewide Conservation Requirements:*

The State lifted the drought Emergency in April of 2017, but the State Water Resources Control Board will continue to require reporting requirements and prohibitions on wasteful practices such as watering during or after rainfall, hosing off sidewalks and irrigating ornamental turf on public street medians. Governor Brown has stated “Conservation must remain a way of life”.

#### *Local Conservation Requirements:*

The current water conservation requirements implemented by the Council are Mandatory Water Conservation Requirements which do not restrict outdoor water use on specific days but does restrict specific times, no outdoor irrigation between the hours of 10am and 4pm. These restrictions also include no excessive gutter runoff and no washing of hardscapes except where necessary to protect the public health and safety. These regulations are inline with the Statewide Conservation Requirements.

### **Water Management Planning**

The City’s Water Management Plan is included in the OneWater Plan which was finalized in October 2018. The OneWater concept is to view all the City’s water resources (Potable water, Wastewater and Stormwater) holistically so the community can understand the complete water resources picture. The OneWater Plan completed a water supply alternatives analysis to identify reliable, drought tolerant water supplies sufficient to provide water to the City through 2050. The OneWater Plan looked at six main alternatives with sub-alternatives identified related to treatment. The OneWater Plan recommends the City move forward with Water Supply Alternative 4A. Alternative 4A would construct the advanced treatment facilities as part of the Water Reclamation Facility (WRF) project to facilitate Indirect Potable Reuse (IPR) within the Morro groundwater basin and utilize the City’s existing facilities for groundwater extraction. This future water supply option was identified as the most reliable, drought tolerant and provides sufficient water supply to the City through 2050. The City also currently receives State Water through San Luis Obispo County Flood Control and Water Conservation District and will continue to receive State Water at least through the end of the current contract, 2035.

### Projected Water Supply FY19/120

In March 2019, the California Department of Water Resources (DWR) informed the State Water Project (SWP) contractors the allocation for 2019 would be 70-percent of the contracted amount. This allocation in combination with the drought buffer is available to make up the difference between delivery requests and demand. Therefore, the City will be receiving 100-percent of the State Water Requested for 2019 (940 ac-ft). State Water allocation is determined every year, therefore should another dry year occur or several dry years in a row the City's allocation could be reduced to a 0-percent allocation. State Water is an interruptible source of water. If there is a line break/repair or an emergency Morro Bay could be without water from this source. State Water does "shut down" once a year for maintenance, typically in October and/or November and has typically been anywhere from 1-2 weeks to a month. During time of State Water shut down the City supplements the water supply with the Morro Valley wells through the Brackish Water Reverse Osmosis (BWRO) water treatment plant.

### Potable Water Production Data

As shown in Attachment 1, Water production from 1980-2018 no water was extracted from Chorro and Morro Basins for direct distribution into the water supply, 960 acre-feet were delivered from the State Water Project (SWP), and 92 acre-feet of treated Morro Basin well water from the BWRO treatment plant. Attachment 2 provides an historical record of water production and use from 1960 through 2018. Beginning in 1997, per capita water use has been re-calculated, based upon the amount of water delivered to customers (metered/sold) rather than gross production, to closely reflect actual community consumption practices. Both attachments 1 and 2 show a trend for the City water consumption to be decreasing over time while the City's population has slightly increased.

### WEU Summary of FY 2018-2019 activity:

The Council authorized 115 WEUs for FY 2018/19. Thirty WEUs to be used for single-family dwellings and 20 for multiple-family dwellings with 65 allowed for commercial/Industrial uses. Those WEUs were allocated on a first-come, first-served basis. The tracking of the WEUs utilized for FY 2017/18 indicates 37 of the 115 WEUs allocated were used as follows:

- 0.59 Commercial (Virg's Landing)
- 15 Single-Family, (2 more SFR possible before July 1<sup>st</sup>)
- 0 Multi-Family

The reason for an increase in SFR this fiscal year is due to two larger subdivisions that were approved several years prior, have recently recorded their subdivision map and are moving forward with building. This is not a comprehensive list of all building activity, but rather a list of those activities which required a WEU allocation.

### **Conclusion:**

Staff recommends the Planning Commission recommend to City Council to allocate 115 WEUs for FY 2019/20. Fifty WEUs, 30 for SFR and 20 for MFR. Also allocate 65 WEUs for Commercial/Industrial development for a total of 115 WEUs.

### **ATTACHMENTS**

1. Table 1: Water Production by source
2. Table 2: Per Capita Water Use

TABLE 1

WATER PRODUCTION DATA 1980 - 2018  
(Acre Feet - AF)

Year	Chorro Basin	Morro Basin	** R/O Plant	State Water	TOTAL (AF)
1980	1079	672	*	*	1751
1981	1143	584	*	*	1727
1982	1061	526	*	*	1587
1983	995	537	*	*	1532
1984	1097	572	*	*	1669
1985	1108	582	*	*	1690
1986	1059	552	*	*	1611
1987	1124	531	*	*	1655
1988	1120	528	*	*	1648
1989	1047	512	*	*	1559
1990	963	564	*	*	1527
1991	808	449	*	*	1257
1992	1049	270	*	*	1319
1993	994	397	*	*	1391
1994	954	460	*	*	1414
1995	986	420	*	*	1406
1996	1261	240	*	*	1501
1997	985	249	*	301	1535
1998	38	*	*	1288	1326
1999	34	*	*	1359	1393
2000	4	*	*	1396	1400
2001	11	*	*	1399	1410
2002	1	32	48	1373	1454
2003	1	28	13	1379	1421
2004	49	213	10	1205	1477
2005	204	150	0	1007	1361
2006	257	80	25	1009	1371
2007	276	35	19	1116	1446
2008	184	52	28	1175	1439
2009	235	80	64	1069	1448
2010	74	54	258	873	1259
2011	14	0.5	84	1144	1243
2012	0	3.9	70	1129	1203
2013	0	27	107	1137	1271
2014	0	0	41	1141	1183
2015	0	0	138	952	1088
2016	0	0	36	958	994
2017	0	0	106	925	1031
2018	0	0	93	960	1053

\*\* R/O Plant Production numbers include both Morro Groundwater treated via Brackish Water Reverse Osmosis (BWRO) as well as Sea Water Reverse Osmosis (SWRO).

TABLE 2

TOTAL HISTORIC WATER PRODUCTION & RAINFALL  
FOR THE CITY OF MORRO BAY

Year	Rainfall	City Population	Production in acre feet	Production in millions of gallons	Average daily production in millions of gallons	Average use in gallons per capita per day
1960	10.48	5,599	894	291	0.8	142
1961	8.6	*	842	274	0.75	*
1962	17.22	*	999	326	0.89	*
1963	18.52	*	840	274	0.75	*
1964	11.26	*	881	287	0.79	*
1965	16.08	6,400	1000	326	0.89	140
1966	11.24	6,500	1188	387	1.06	163
1967	20.09	6,600	1194	389	1.07	161
1968	9.64	6,750	1298	423	1.16	172
1969	28.74	6,900	1255	409	1.12	162
1970	9.84	7,109	1534	500	1.37	193
1971	14.2	7,450	1533	500	1.37	184
1972	7.41	7,517	1547	504	1.38	184
1973	27.51	7,725	1424	464	1.27	165
1974	22.35	7,942	1482	483	1.38	167
1975	14.43	8,165	1510	492	1.35	165
1976	11.38	8,394	1574	513	1.41	167
1977	8.35	8,525	1249	407	1.12	131
1978	29.68	8,625	1430	466	1.28	148
1979	17.06	9,150	1614	526	1.44	157
1980	20.99	9,064	1651	538	1.47	162
1981	13.11	9,206	1727	563	1.54	168
1982	20.01	9,297	1586	517	1.42	152
1983	35.01	9,435	1534	500	1.37	145
1984	10.08	9,599	1669	544	1.49	155
1985	10.02	9,747	1691	551	1.51	155
1986	17.17	9,881	1614	526	1.44	146
1987	12.29	9,819	1655	539	1.48	150
1988	15.01	9,975	1648	537	1.47	147
1989	10.88	10,133	1559	508	1.39	137
1990	8.78	9,664	1527	498	1.36	139
1991	16.01	9,806	1256	410	1.12	114
1992	19.63	9,736	1319	430	1.18	121
1993	24.21	9,979	1391	452	1.24	124
1994	11.05	10,071	1414	462	1.26	126
1995	40.01	9,518	1418	462	1.27	133
1996	15.47	9,687	1501	462	1.34	138
1997	18.56	9,696	1535	489	1.37	141
1998	18.01	9,845	1326	432	1.18	120
1999	13.11	9,871	1393	454	1.24	126
2000	19.63	10,410	1400	456	1.25	120
2001	16.04	10,486	1410	459	1.26	118
2002	9.36	10,510	1454	474	1.3	123
2003	13.75	10,485	1421	466	1.28	122
2004	9.48	10,522	1477	481	1.32	125
2005	30.19	10,270	1361	444	1.22	118
2006	18.9	10,491	1371	447	1.23	117
2007	7.24	10,436	1446	471	1.29	118
2008	13.34	10,548	1439	469	1.23	122
2009	12.25	10,555	1448	472	1.29	120
2010	17.26	10,608	1259	410	1.12	106
2011	12.99	10,234	1243	405	1.11	108
2012	10.16	10,327	1203	392	1.07	105
2013	4.05	10,370	1349	440	1.21	117

TABLE 2

TOTAL HISTORIC WATER PRODUCTION & RAINFALL  
FOR THE CITY OF MORRO BAY

Year	Rainfall	City Population	Production in acre feet	Production in millions of gallons	Average daily production in millions of gallons	Average use in gallons per capita per day
2014	12.62	10,234	1183	385	1.05	103
2015	8.55	10,544	1088	354	0.97	92
2016	18.79	10,284	994	324	0.88	86
2017	18.73	10,284	1031	336	0.92	89.5
2018	15.1	10,581	1053	342	0.94	88.6

a: [average] determined from metered water sold, not water produced  
Population from US Census estimates



AGENDA NO: B-1

MEETING DATE: June 4, 2019

## Staff Report

**TO:** Planning Commissioners      **DATE:** May 28, 2019

**FROM:** Willow Urquidi, Assistant Planner

**SUBJECT:** 985 Shasta Avenue; Coastal Development Permit and Conditional Use Permit (CDP19-014/CUP19-05) Request for a Coastal Development Permit (CDP19-014) and Conditional Use Permit (CUP19-05) as Special Use Permit approval to construct two 60'x12' bocce ball courts and one 15'x16' greenhouse for public recreation and community garden purposes on a vacant 3,872 sf lot adjacent to the Community Development/Public Works Department building. The property is zoned R-4 (Multiple Residential-Hotel-Professional) and is located outside the Coastal Commission Appeals Jurisdiction.

### **RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by approving Planning Commission **Resolution 16-19** (Exhibit A) which includes the Findings and Conditions of Approval for the project depicted on site development plans dated May 26, 2019.

### **APPLICANT:**

Kirk Carmichael, Recreation Manager; City of Morro Bay

### **ADDRESS/APN:**

985 Shasta Avenue; 066-065-003

### **PROJECT DESCRIPTION:**

The Applicant is requesting approval for two 60'x12' bocce ball courts and one 16'x15' greenhouse for recreation and community garden purposes. The proposed project is a public recreational facility as described in Morro Bay Municipal Code (MBMC 17.30.030.D.4 The proposed project will include landscaping, incorporate public seating, and will meet ADA requirements.



Prepared By: WU

Department Review: SG

**PROJECT SETTING:**

The project is located in an R-4 (Multiple Residential-Hotel-Professional) Zone, outside the Coastal Commission Appeals Jurisdiction and designated as Planning Area 7, Central Morro Bay, in the Local Coastal Plan. This 3,872 sq. ft. lot is not visible from Scenic Highway 1.

<b>Adjacent Zoning/Land Use</b>			
<b>North:</b>	R-4 (Multiple Residential-Hotel-Professional)	<b>South:</b>	G-O/S.4 (General Office/Special Overlay Zone)
<b>East:</b>	G-O/S.4 (General Office/Special Overlay Zone)	<b>West:</b>	R-4 (Multiple Residential-Hotel-Professional)

<b>Site Characteristics</b>	
<b>Site Area</b>	3,872 square feet
<b>Existing Use</b>	Vacant
<b>Terrain</b>	Undeveloped
<b>Vegetation/Wildlife</b>	N/A
<b>Archaeological Resources</b>	N/A
<b>Access</b>	Dunes Street and Shasta Avenue

<b>General Plan, Zoning Ordinance, &amp; Local Coastal Plan Designations</b>	
<b>General Plan/Coastal Plan Land Use Designation</b>	Mixed Use
<b>Base Zone District</b>	R-4 (Multiple Residential-Hotel-Professional)
<b>Zoning Overlay District</b>	N/A
<b>Special Treatment Area</b>	N/A
<b>Combining District</b>	N/A
<b>Specific Plan Area</b>	N/A
<b>Coastal Zone</b>	Located outside the Coastal Commission Appeal Jurisdiction

Zoning Ordinance Standards		
	Standards	Proposed
Front Setback	*As determined by Special Use Permit. See Project Evaluation discussion below	0.8'
Side-Yard Setback		5.5' (interior) 6' (exterior)
Rear Setback		1.4'
Height		Approx. 10'
Lot Coverage		44%
Parking		None

**PROJECT DISCUSSION:**

**Background**

There is a limited historical record of the property in City records. Originally, the property consisted of residential structures built prior to the City’s incorporation in 1964. There are records of minor additions to the structures, however the site remained substantially unchanged from the initial construction.

In 2012, Planning Commission approved Coastal Development Permit #CP0-371 for demolition of the three residential units addressed 975, 983, and 985 Shasta. The site was being used for Police and Fire Department trainings and the structures were no longer habitable at the time of demolition. According to the Staff Report dated March 28, 2012, City Council gave direction that the site would eventually be used for a “Community Garden” type use.



**Existing Site facing SW**



**Existing Site Facing NW**

## Project Evaluation

The proposed facilities on the site are two bocce ball courts and one greenhouse for public recreation and community garden purposes. The City will be entering into Community Benefit Agreements with both Morro Bay in Bloom for use of the Green House, and possibly maintenance of the onsite landscaping and Morro Bay Senior Citizens, Inc. for use of the bocce ball courts. One bocce ball equipment set would be available for rent at the Recreation Department for the general public, and one would be available at the Morro Bay Senior Citizens, Inc. office for registered members. Pursuant to MBMC Section 17.24.070, Special Use Permits are an allowable use in the R-4 Zone subject to obtaining a Conditional Use Permit. Section 17.30.030.D.4 allows for “Public buildings, parks and other public recreational facilities,” but specifies that any other special events “involving the congregation of large numbers of persons, where the use of property will not exceed one-week occupancy” will require a Temporary Use Permit.

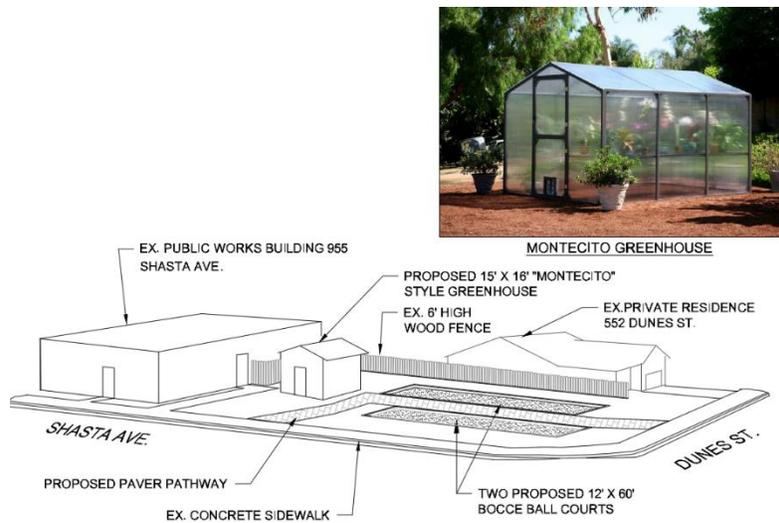


**Proposed Aerial Site Plan**

Due to the nature of the discretionary process of approving a Special Use Permit, there are no required development standards, as they are to be determined by the body approving the project. With that said, the setbacks of the greenhouse structure and bocce ball facilities are less than what are normally required for a project in an R-4 Zone. However, the adjacent properties on either side of the project site are City owned. The Public Services building at 955 Shasta sits directly south of the site, and the unoccupied City-owned single-family residence is located to the west at 570 Dunes. The 1.4-foot rear setback for the greenhouse structure is appropriate for the full enjoyment and utilization of the site, and that the project

as designed would not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use.

In approving a Special Use, it is the duty of the Planning Commission to find that the characteristics of the project will not be unreasonably incompatible with the uses permitted in surrounding areas: damage or nuisance from noise, smoke, odor, dust or vibration; hazard, or nuisance from explosion, contamination, or fire; hazard occasioned by unusual volume or character of traffic or the congregating of a large number of people or vehicles; or height of structure. Planning Staff has found the proposed project to meet all of these requirements.



**Proposed Site Rendering**

**Parking**

Due to the size and nature of the lot, no off-street parking is proposed. Parking is available in the two public parking lots across the street both on Kennedy Way and Shasta Avenue. MBMC Section 17.44.020.6.A. states that “off-street parking requirements may be met partially or wholly upon a site other than the site on which the use and/or structure is located.” Staff has found that the public parking lots would adequately provide the parking necessary for the proposed use of this site, and that allowing the use of these public lots would not be a grant of special privilege, would not be a detriment to health, safety, or general welfare of the community, and that requiring on-site parking would limit the Applicant’s (as well as the public’s) full enjoyment of the site.

**PUBLIC NOTICE:**

Notice of this item was posted at the site and published in the San Luis Obispo Tribune newspaper on May 24, 2019, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

**ENVIRONMENTAL DETERMINATION:**

Pursuant to the California Environmental Quality Act the project is Categorically Exempt under the Class 3(c), Section 15303, exemption for construction of limited numbers of new, small facilities or structures. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

**CONCLUSION:**

The proposed project is consistent with all applicable standards of the Zoning Ordinance, applicable provisions of the General Plan, and Local Coastal Plan. The project has been found to be exempt from CEQA.

**RECOMMENDATION:**

Staff recommends the Planning Commission approve the requested Coastal Development Permit (CDP19-014) and Conditional Use Permit (CUP19-05), as shown on plans dated May 26, 2019 by adopting Planning Commission **Resolution 16-19** which includes the Findings and Conditions of Approval for the project.

**EXHIBITS:**

- Exhibit A – Planning Commission Resolution 16-19
- Exhibit B – Bocce Ball and Recreation Improvements Submittal Package
- Exhibit C – Project Rendering

# EXHIBIT A

Planning Commission Resolution 16-19

CDP19-014 and CUP19-05

Page 1

## RESOLUTION NO. PC 16-19

### A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING COASTAL DEVELOPMENT PERMIT (CDP19-014) AND CONDITIONAL USE PERMIT (CUP19-05) AS A SPECIAL USE PERMIT

**WHEREAS**, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on June 4, 2019, for the purpose of considering Coastal Development Permit (CDP19-014) and Conditional Use Permit (CUP19-05) as a Special Use Permit at 985 Shasta Avenue (APN 066-065-003); and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

#### California Environmental Quality Act (CEQA)

1. The project is Categorically Exempt under the Class 3(c), Section 15303, exemption for construction of limited numbers of new, small facilities or structures. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2 apply to the project.

#### Coastal Development Permit Findings

1. That the project is development of public recreational and community garden facilities, and that the project is the consistent with the certified Local Coastal Program (LCP) and the General Plan for the City of Morro Bay.

#### Conditional Use Permit Findings

1. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that the permitted uses comply with all applicable project conditions and City regulations and is consistent with the City’s General Plan and Local Coastal Plan.
2. The project will not be injurious or detrimental to property and improvements in the neighborhood and the general welfare of the City in that the proposed public recreational and community garden use is consistent with the uses

# EXHIBIT A

identified in MBMC Section 17.30.030 Special Uses, which are an allowable use in the R-4 Zone pursuant to MBMC Section 17.24.070.

3. The project will not be unreasonably incompatible with the uses permitted in surrounding areas and will not cause damage or nuisance from noise, smoke, odor, dust, or vibration; hazard or nuisance from explosion, contamination, or fire; hazard occasioned by unusual volume or character of traffic or the congregating of a large number of people or vehicles; or the height of the structure.

**Section 2: Action.** The Planning Commission does hereby approve Coastal Development Permit (CDP19-014) and Conditional Use Permit (CUP19-05) as a Special Use Permit subject to the following conditions:

## **STANDARD CONDITIONS:**

1. Permit: This permit is granted for the land described on Assessor Parcel Number 066-065-003 to allow for two 60'x12' bocce ball courts and one 16'x15' greenhouse for recreation and community garden purposes as a Special Use consistent with MBMC Chapter 17.30 and as depicted on plans date stamped May 26, 2019, and on file with the Community Development Department, and as modified by these conditions of approval. Site development shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this approval and is diligently pursued thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Said extensions may be granted by the Director, upon finding that the project complies with all applicable provisions of the Morro Bay Municipal Code, General Plan and Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Any minor change may be approved by the Community Development Director. Any substantial change will require the filing of an application for an amendment.
4. Compliance with the Law: All requirements of any law, ordinance or regulation of the State of California, City of Morro Bay, and any other governmental entity shall be complied with in the exercise of this approval.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. This condition and agreement shall be binding on all successors and assigns.

# EXHIBIT A

6. Compliance with Conditions: Compliance with and execution of all conditions listed hereon shall be necessary, unless otherwise specified, prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Planning and Building Director and/or as authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the Morro Bay Municipal Code and is a misdemeanor.
7. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
8. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the Morro Bay Municipal Code and shall be consistent with all programs and policies contained in the certified Coastal Land Use plan and General Plan for the City of Morro Bay.

## **PLANNING CONDITIONS:**

1. CEQA Exemption: If the applicant elects to post the Categorical Exemption with the County Clerk's Office then a required fee of \$50 fee shall be made payable to "County of San Luis Obispo" and delivered to the County Clerk along with the Categorical Exemption form attached to the coastal development permit. This filing has the effect of starting a 35-day statute of limitations period for challenges to the decision in place of the 180-day period otherwise in effect.
2. Construction Hours: Construction Hours: Pursuant to section 9.28.030.1, Construction or Repairing of Buildings. The erection (including excavating), demolition, alteration or repair of any building or general land grading and contour or other noise-generating activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building shall be limited to between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the community development department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of any grading permit, a method of control to prevent dust and windblown earth problems shall be submitted for review and approval by the Building Official.

# EXHIBIT A

Planning Commission Resolution 16-19

CDP19-014 and CUP19-05

Page 4

4. Site design: All structures and facilities on site shall be as shown on plans approved by the Planning Commission and to the satisfaction of the Community Development Director.
5. The Applicant shall enter into separate Community Benefit Agreements with Morro Bay in Bloom and Morro Bay Senior Citizens Inc. for use and maintenance of onsite improvements.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 4th day of June 2019 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Chairperson Gerald Luhr

ATTEST

\_\_\_\_\_  
Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted on this 4th day of June 2019.

# BOCCE BALL AND RECREATION IMPROVEMENTS - 985 SHASTA AVE.

## LEGEND

— X —	FENCE LINE		GAS METER
— SS —	SEWER MAIN		TELEPHONE BOX
— W —	WATER MAIN		ELECTRIC BOX
— G —	GAS MAIN		STREET LIGHT
	FIRE HYDRANT	TW 58.2	TOP OF WALL ELEV.
	WATER VALVE	BW 56.5	BOTTOM OF WALL ELEV.
	WATER METER	(EG 57.2)	EX. GROUND ELEV.
	SEWER MANHOLE	(TC 56.8)	EX. TOP OF CURB ELEV.
CMB	CITY OF MORRO BAY	FS 56.5	FINISH SURFACE ELEV.
		FG 56.5	FINISH GROUND ELEV.
		TG 56.5	TOP OF GRATE ELEV.
		INV 56.5	INVERT ELEV.

### SURVEY NOTES

1. TOPOGRAPHIC SURVEY PERFORMED BY MBS SURVEYS, INC. CIRCA DECEMBER 2018.
2. UNDERGROUND UTILITY LOCATION SHOWN ARE APPROXIMATE ONLY! ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION.
3. NO BOUNDARY SURVEY WAS PERFORMED FOR THIS WORK. THE PROPERTY LINES SHOWN ARE APPROXIMATE ONLY AND ARE FOR REFERENCE ONLY.

### SITE DATA

ASSESSOR'S PARCEL NO. APN 066-065-003

LOT 14 OF BLOCK 39 OF TRACT NO. 2 AS SHOWN ON MAP FILED IN BOOK 5 AT PAGE 20, IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

TOTAL AREA = 3872 SF (0.089 ACS.)

CURRENT ZONING: R-4

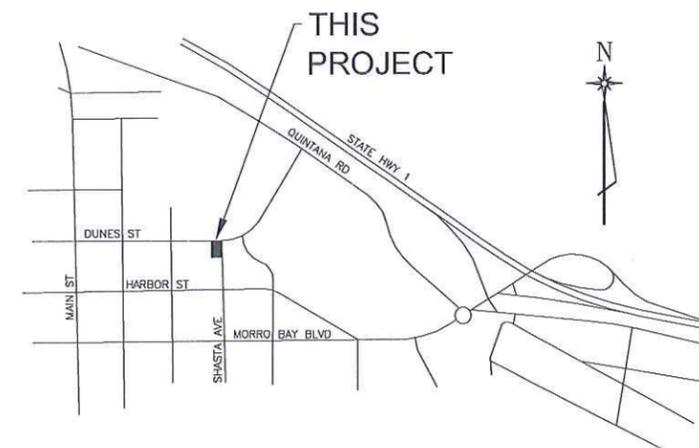
### PROPOSED SETBACK INFORMATION

SHASTA AVE. = 6.0' (BOCCE COURT)  
 DUNES ST. = 0.8' (BOCCE COURT)  
 REAR AND SIDE = 1.4' (GREENHOUSE)

### PROPOSED FOOTPRINT AREA / LOT COVERAGE

BOCCE BALL = 1,440 SF  
 GREENHOUSE = 240 SF  
 LOT COVERAGE = 44%

HEIGHT OF GREENHOUSE ABOVE AVE. NATURAL GRADE IS APPROXIMATELY 10'



VICINITY MAP - MORRO BAY

NO SCALE

### OWNER INFORMATION

CITY OF MORRO BAY  
 595 HARBOR ST.  
 MORRO BAY, CA 93442  
 805-772-6205

### ENGINEER

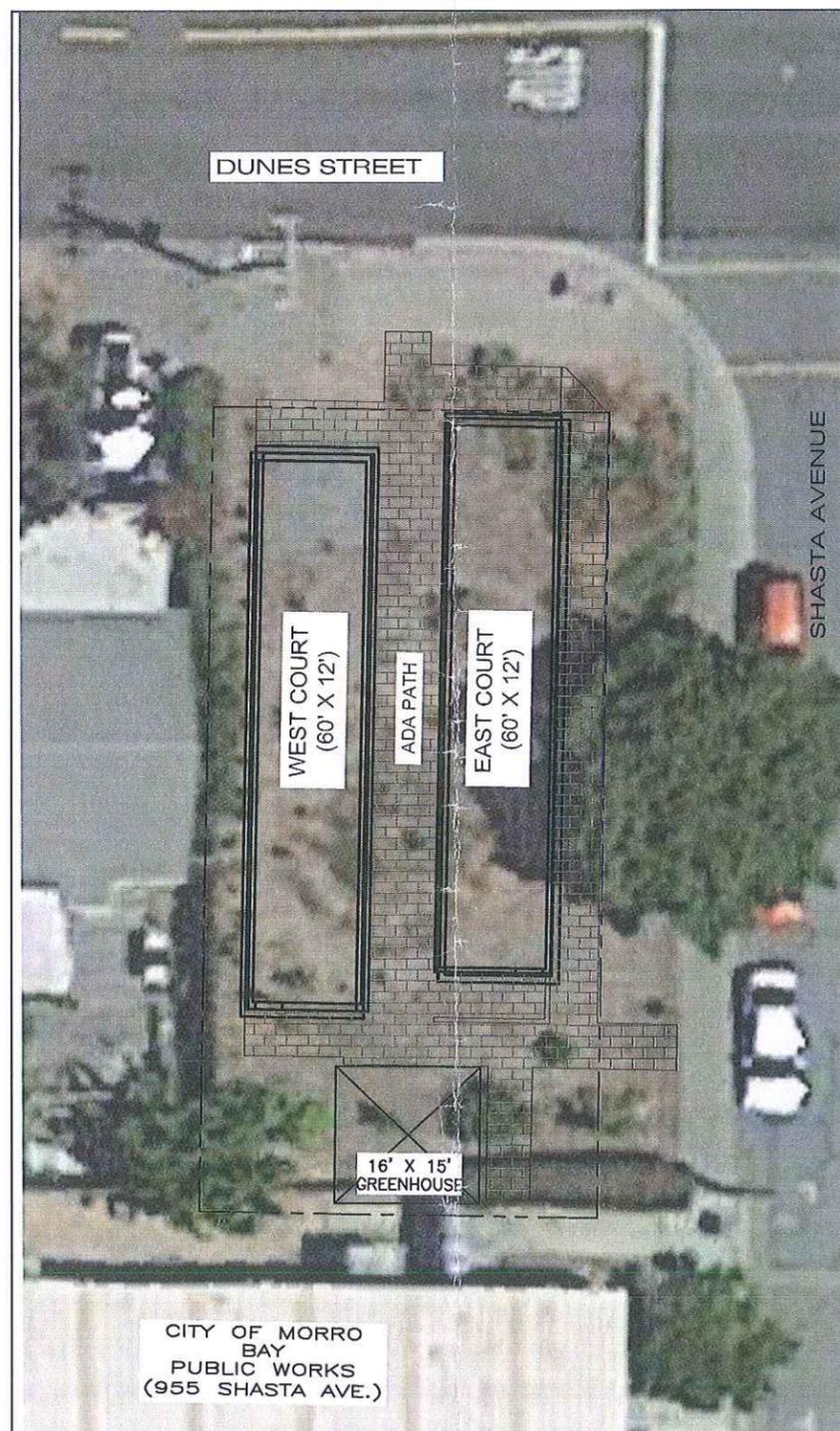
CITY OF MORRO BAY PUBLIC WORKS DEPT.  
 955 SHASTA AVE.  
 MORRO BAY, CA 93442  
 805-772-6261

### SHEET INDEX

SHT. NO.	DESCRIPTION
1	COVER
2	NOTES
3	PLAN
4	DETAILS

**RECEIVED**  
 MAY 28 2019  
 City of Morro Bay  
 Public Works Department

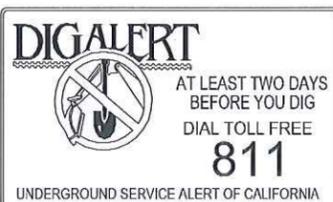
**PRELIMINARY!  
 NOT FOR  
 CONSTRUCTION!**



CITY OF MORRO BAY  
 PUBLIC WORKS  
 (955 SHASTA AVE.)

PROJECT AERIAL EXHIBIT

NO SCALE



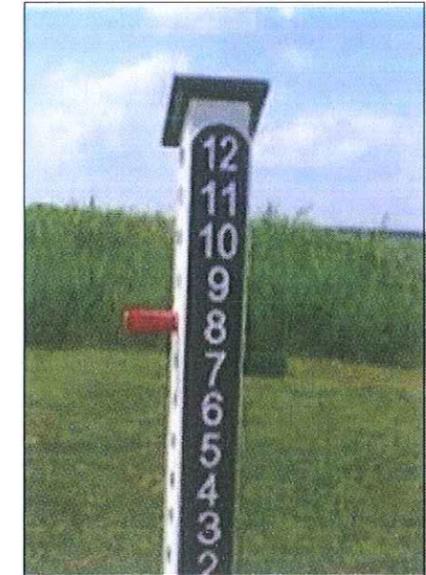
	CITY OF MORRO BAY PUBLIC WORKS DEPARTMENT 955 SHASTA AVE., MORRO BAY, CA 93442 1-805-772-6261 WWW.MORROBAYCA.GOV	
	PROJ. NAME: BOCCE BALL AND RECREATION IMPROVEMENTS - 985 SHASTA AVE.	
DESIGN:	SHT. NAME: COVER	PRJ. NO: MB2018-CM01
DRAWN: H.E.		DATE: 4/29/2019
CHECK:		SHT.: 1 OF 4
FILE:		

# Exhibit B

## CITY GENERAL NOTES

1. ANY DAMAGE, AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.
2. NO WORK SHALL OCCUR WITHIN (OR USE OF) THE CITY'S RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMITS ARE AVAILABLE AT THE CITY OF MORRO BAY PUBLIC WORKS OFFICE LOCATED AT 955 SHASTA AVE. THE ENCROACHMENT PERMIT SHALL BE ISSUED CONCURRENTLY WITH THE BUILDING PERMIT.
3. ALL CONSTRUCTION WORK SHALL CONFORM TO THE MOST CURRENT CITY OF MORRO BAY STANDARDS AND SPECIFICATIONS OR CALTRANS STANDARD PLANS AND SPECIFICATIONS AS APPLICABLE. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE CITY PUBLIC WORKS DEPARTMENT.
4. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITION OF THE JOB SITE DURING THE COURSE OF CONSTRUCTION FOR THIS PROJECT. INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS.
5. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROTECTION OF PUBLIC AND PRIVATE PROPERTY ADJACENT TO TO THE SITE AND SHALL, AT HIS EXPENSE, REPAIR OR REPLACE TO ORIGINAL CONDITION OR BETTER, ALL EXISTING IMPROVEMENTS WITHIN OR ADJACENT TO THE JOB SITE WHICH ARE NOT DESIGNATED FOR REMOVAL AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF HIS OPERATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND/OR MAINTAINING ALL-WEATHER ACCESS AT ALL TIME TO EXISTING PROPERTIES LOCATED IN THE VICINITY OF THE WORK AREA. ALL TEMPORARY ACCESS RESTRICTIONS SHALL BE APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO THE BEGINNING OF WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL EXISTING SERVICES (UTILITIES, GARBAGE COLLECTION, MAIL DELIVERY, ETC.), TO EXISTING PROPERTIES LOCATED IN THE VICINITY OF THE WORK AREA.
8. THE CONTRACTOR SHALL PREPARE AND HAVE APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT, A TRAFFIC CONTROL PLAN PRIOR TO THE BEGINNING OF CONSTRUCTION. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH). NO STREET OR LANE CLOSURE SHALL BE PERMITTED UNLESS PREVIOUSLY ARRANGED FOR AND GRANTED BY THE CITY PUBLIC WORKS DEPARTMENT.
9. AN EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE PROJECT AREA. HOWEVER, ALL EXISTING UTILITIES AND OTHER UNDERGROUND STRUCTURES ARE TO BE REGARDED AS APPROXIMATE ONLY. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING ALL UNDERGROUND UTILITIES AND OTHER FACILITIES AND FOR PROTECTING THE SAME DURING THE COURSE OF CONSTRUCTION.
10. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT 811 TWO TO TEN DAYS PRIOR TO THE START OF EXCAVATION TO REQUEST THE LOCATION OF EXISTING UNDERGROUND UTILITIES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL VERIFY WHETHER A REPRESENTATIVE OF EACH COMPANY WILL BE REQUIRED TO BE PRESENT DURING EXCAVATION. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ANY UTILITIES WHICH ARE NOT MEMBERS OF U.S.A. DURING THE SAME TIME PERIOD.
11. WHERE THE PLANS CALL FOR CONNECTING NEW STRUCTURES TO EXISTING UNDERGROUND PIPES OR STRUCTURES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE, AT THE TIME OF CONSTRUCTION, EXACT SIZES, TYPES AND LOCATIONS OF EXISTING UNDERGROUND IMPROVEMENTS AND TO FURNISH MATERIALS AS NEEDED TO MAKE REQUIRED CONNECTIONS.
12. THE CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES, IF ANY, BETWEEN THE PLANS AND/OR FIELD CONDITIONS IMMEDIATELY TO THE PUBLIC WORKS DEPARTMENT FOR RESOLUTION PRIOR TO CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR DISCREPANCIES NOT SO REPORTED AND RESOLVED.
13. SOIL TESTS SHALL BE DONE IN ACCORDANCE WITH CALTRANS STANDARDS AND SPECIFICATIONS. ALL TESTS MUST BE DONE WITHIN 15 DAYS PRIOR TO PLACING MATERIAL. TESTING RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF MATERIAL.

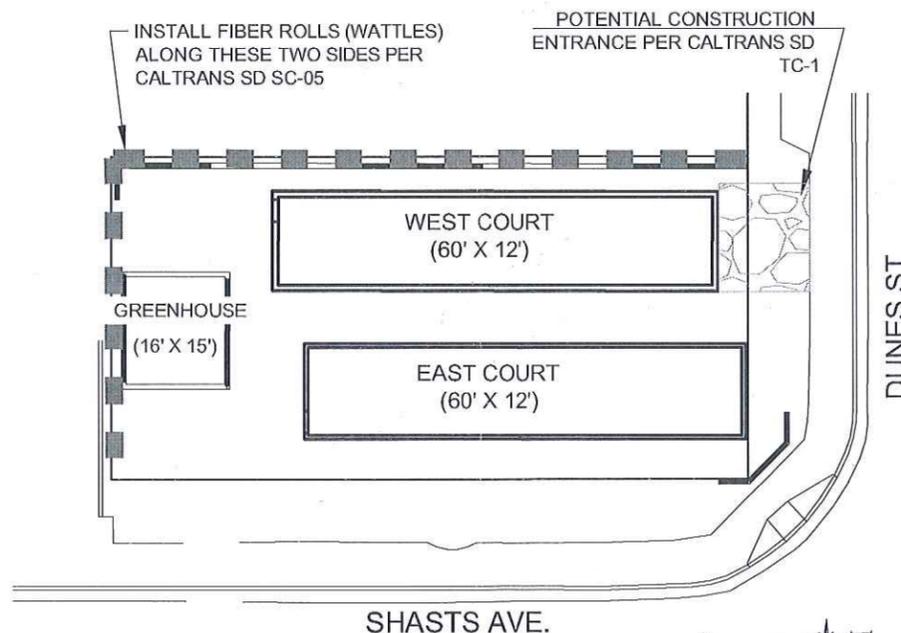
14. COMPACTION TESTS SHALL BE DONE ON SUBGRADE MATERIAL, AGGREGATE BASE MATERIAL, AND OTHER MATERIALS AS SPECIFIED BY THE CITY PUBLIC WORKS DEPARTMENT. TESTS SHALL BE COMPLETED BY A CERTIFIED SOILS ENGINEER AND APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO THE PLACEMENT OF THE NEXT MATERIAL LIFT. THE CONTRACTOR IS DIRECTED TO THE CITY STANDARDS AND SPECIFICATIONS FOR MINIMUM RELATIVE MATERIAL COMPACTION REQUIREMENTS.
15. EXISTING PAVEMENT SHALL BE SAWCUT IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS TO REVEAL A COMPETENT STRUCTURAL SECTION AND NEW PAVING SHALL BE JOINED AT THIS POINT. THE EXISTING STRUCTURAL SECTION SHALL BE INSPECTED BY THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO THE PLACEMENT OF AGGREGATE BASE
16. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND PERPETUATING ALL EXISTING SURVEY MONUMENTS WITHIN THE CONSTRUCTION AREA IN ACCORDANCE WITH SECTION 8771 OF THE LAND SURVEYORS ACT.
17. NO TREES SHALL BE REMOVED WITHOUT PERMISSION FROM THE CITY
18. THE CITY INSPECTOR, OR THEIR DESIGNATED REPRESENTATIVE, MAY REQUEST REVISIONS IN THE PLANS TO RESOLVE UNFORSEEN PROBLEMS THAT MAY ARISE IN THE FIELD. REVISIONS SHALL BE REVIEWED BY THE DESIGN ENGINEER AND THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO IMPLEMENTATION. ADDITIONALLY, THE INSPECTOR MAY ALERT THE CONTRACTOR TO DEVIATIONS IN THE WORK FROM THE PLANS. THE CONTRACTOR SHALL REMEDY THE WORK TO COMPLY WITH THE PLANS TO THE SATISFACTION OF THE INSPECTOR.
19. THE CONTRACTOR SHALL MAINTAIN A CURRENT, COMPLETE, AND ACCURATE RECORD OF ALL CHANGES WHICH DEVIATE FROM THE APPROVED PLANS AND SPECIFICATIONS IN ORDER TO PROVIDE THE PUBLIC WORKS DEPARTMENT WITH A BASIS FOR RECORD DRAWINGS. NO CHANGES SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE CITY PUBLIC WORKS DEPARTMENT AND THE DESIGN ENGINEER.



### SCOREBOARD NOTES

1. THE SCOREBOARD CONCEPT IS SHOWN ABOVE. PROVIDE SPECIFIC CUT SHEETS FOR APPROVAL PRIOR TO CONSTRUCTION

NIC - (NOT IN CONTRACT, BY OTHERS)



### EROSION AND SEDIMENT CONTROL SCHEMATIC

NO SCALE

### EROSION AND SEDIMENT CONTROL NOTES

TOTAL SITE AREA = 3872 SF (0.089 AC.);  
TOTAL DISTURBED AREA = 3700 SF (0.085 AC.)

1. MAINTAIN DUST FREE ENVIRONMENT AND KEEP ADJACENT STREETS SWEEPED.



### REQUIRED MAINTENANCE TOOLS

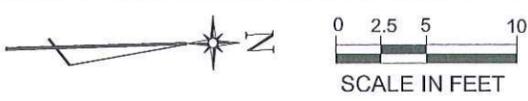
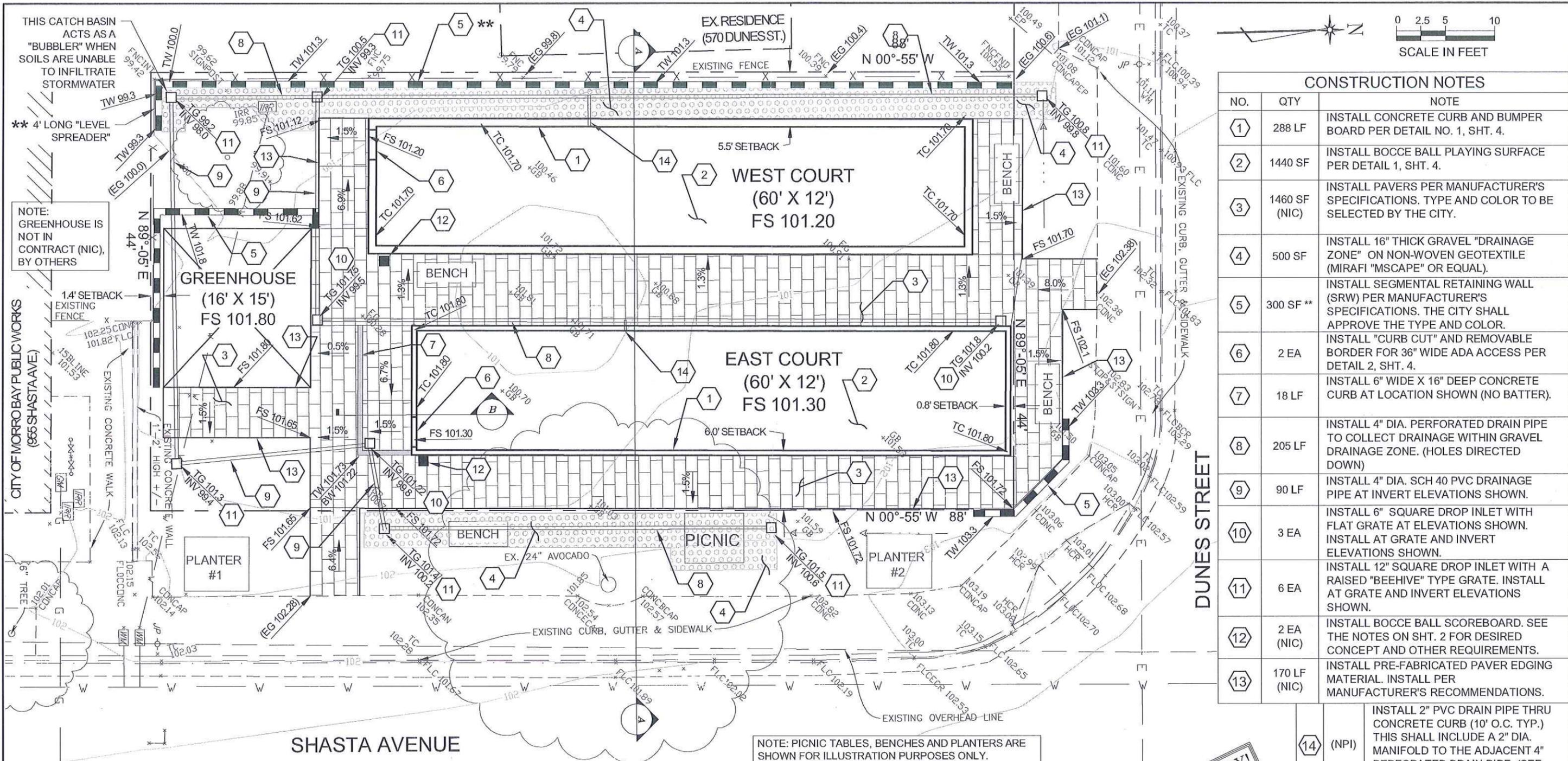
1. A 5' WIDE DRAG BROOM
2. A 36" WIDE LANDSCAPING RAKE

NIC - (NOT IN CONTRACT, BY OTHERS)

**PRELIMINARY!  
NOT FOR  
CONSTRUCTION!**

	<b>CITY OF MORRO BAY PUBLIC WORKS DEPARTMENT</b> 955 SHASTA AVE., MORRO BAY, CA 93442 1-805-772-6261 WWW.MORROBAYCA.GOV	
	PROJ. NAME: <b>BOCCE BALL AND RECREATION IMPROVEMENTS - 985 SHASTA AVE.</b>	
DESIGN: DRAWN: <b>H.E.</b> CHECK: FILE:	SHT. NAME: <b>NOTES</b>	PRJ. NO: MB2018-CM01 DATE: 4/29/2019 SHT.: 2 of 4

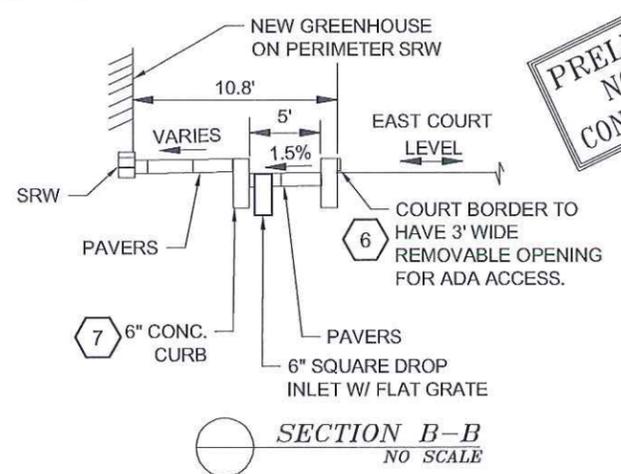
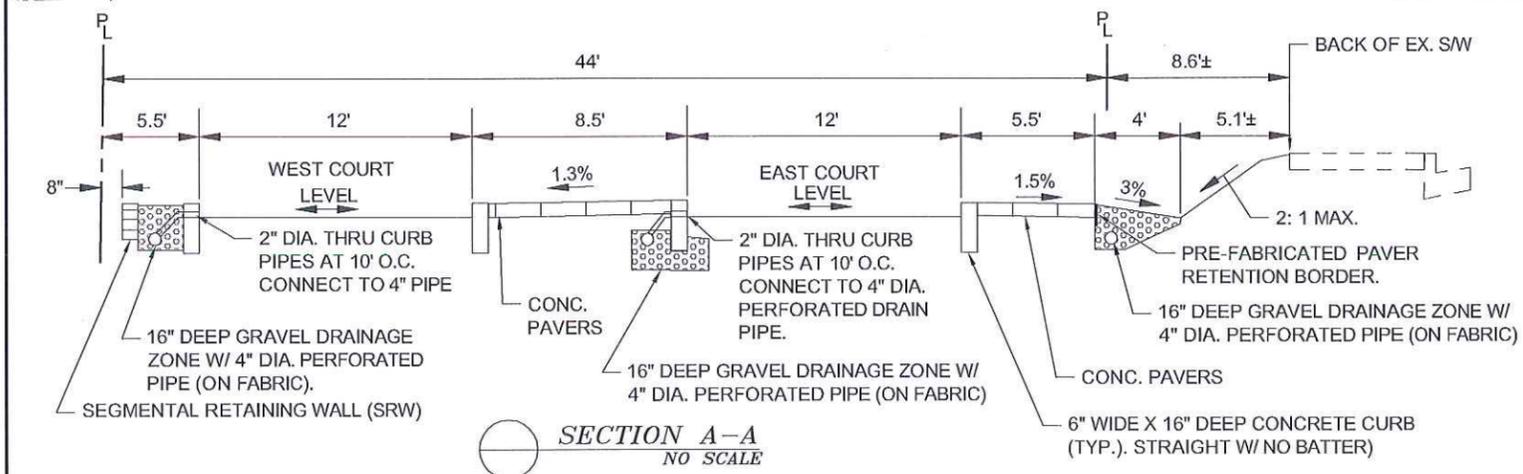
Exhibit B



CONSTRUCTION NOTES		
NO.	QTY	NOTE
1	288 LF	INSTALL CONCRETE CURB AND BUMPER BOARD PER DETAIL NO. 1, SHT. 4.
2	1440 SF	INSTALL BOCCÉ BALL PLAYING SURFACE PER DETAIL 1, SHT. 4.
3	1460 SF (NIC)	INSTALL PAVERS PER MANUFACTURER'S SPECIFICATIONS. TYPE AND COLOR TO BE SELECTED BY THE CITY.
4	500 SF	INSTALL 16" THICK GRAVEL "DRAINAGE ZONE" ON NON-WOVEN GEOTEXTILE (MIRAFI "MSCAPE" OR EQUAL).
5	300 SF **	INSTALL SEGMENTAL RETAINING WALL (SRW) PER MANUFACTURER'S SPECIFICATIONS. THE CITY SHALL APPROVE THE TYPE AND COLOR.
6	2 EA	INSTALL "CURB CUT" AND REMOVABLE BORDER FOR 36" WIDE ADA ACCESS PER DETAIL 2, SHT. 4.
7	18 LF	INSTALL 6" WIDE X 16" DEEP CONCRETE CURB AT LOCATION SHOWN (NO BATTER).
8	205 LF	INSTALL 4" DIA. PERFORATED DRAIN PIPE TO COLLECT DRAINAGE WITHIN GRAVEL DRAINAGE ZONE. (HOLES DIRECTED DOWN)
9	90 LF	INSTALL 4" DIA. SCH 40 PVC DRAINAGE PIPE AT INVERT ELEVATIONS SHOWN.
10	3 EA	INSTALL 6" SQUARE DROP INLET WITH FLAT GRATE AT ELEVATIONS SHOWN. INSTALL AT GRATE AND INVERT ELEVATIONS SHOWN.
11	6 EA	INSTALL 12" SQUARE DROP INLET WITH A RAISED "BEEHIVE" TYPE GRATE. INSTALL AT GRATE AND INVERT ELEVATIONS SHOWN.
12	2 EA (NIC)	INSTALL BOCCÉ BALL SCOREBOARD. SEE THE NOTES ON SHT. 2 FOR DESIRED CONCEPT AND OTHER REQUIREMENTS.
13	170 LF (NIC)	INSTALL PRE-FABRICATED PAVER EDGING MATERIAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
14	(NPI)	INSTALL 2" PVC DRAIN PIPE THRU CONCRETE CURB (10' O.C. TYP.) THIS SHALL INCLUDE A 2" DIA. MANIFOLD TO THE ADJACENT 4" PERFORATED DRAIN PIPE. (SEE ALSO DETAIL 1, SHT. 4).

NOTE: PICNIC TABLES, BENCHES AND PLANTERS ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY.

**PRELIMINARY!  
NOT FOR  
CONSTRUCTION!**



NPI - (NON-PAY ITEM)  
NIC - (NOT IN CONTRACT, BY OTHERS)  
\*\* - ADDITIVE ALTERNATE BID ITEM: CONTRACT TO INCLUDE 200 SF FOR WESTERLY WALL ONLY

**CITY OF MORRO BAY PUBLIC WORKS DEPARTMENT**  
955 SHASTA AVE., MORRO BAY, CA 93442  
1-805-772-6261 WWW.MORROBAYCA.GOV

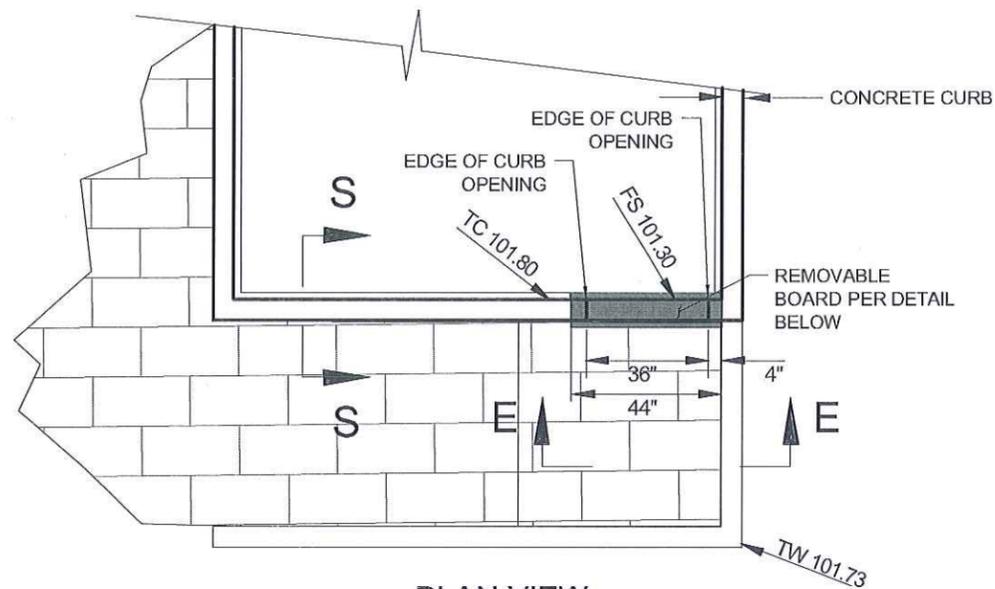
PROJ. NAME: **BOCCÉ BALL AND RECREATION IMPROVEMENTS - 985 SHASTA AVE.**

DESIGN: [Signature]  
DRAWN: H.E.  
CHECK: [Signature]  
FILE: [Signature]

SHT. NAME: **PLAN**

PRJ. NO: MB2018-CM01  
DATE: 4/29/2019  
SHT.: 3 OF 4

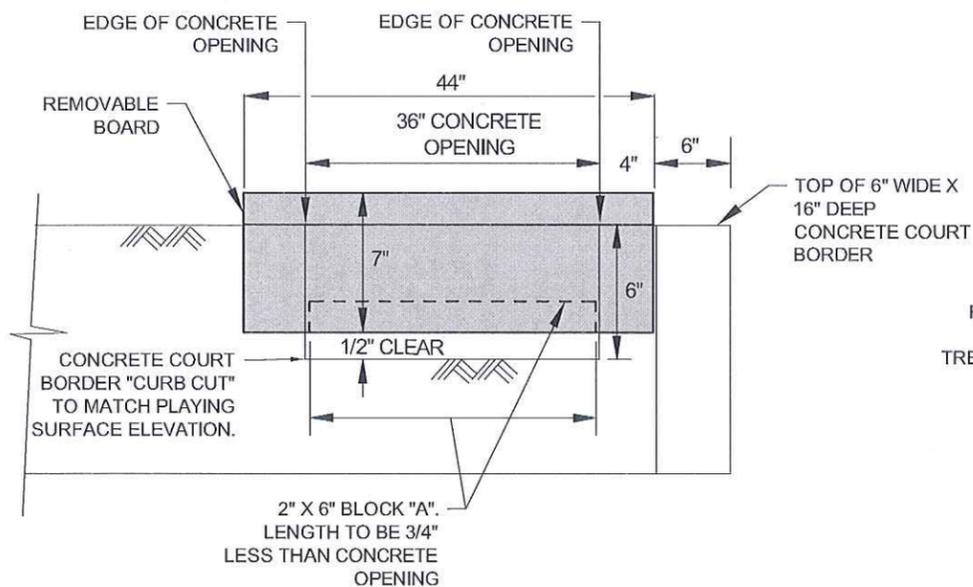
Exhibit B



PLAN VIEW

DETAIL NO. 2: REMOVABLE BOARD FOR 36" WIDE ADA ACCESS

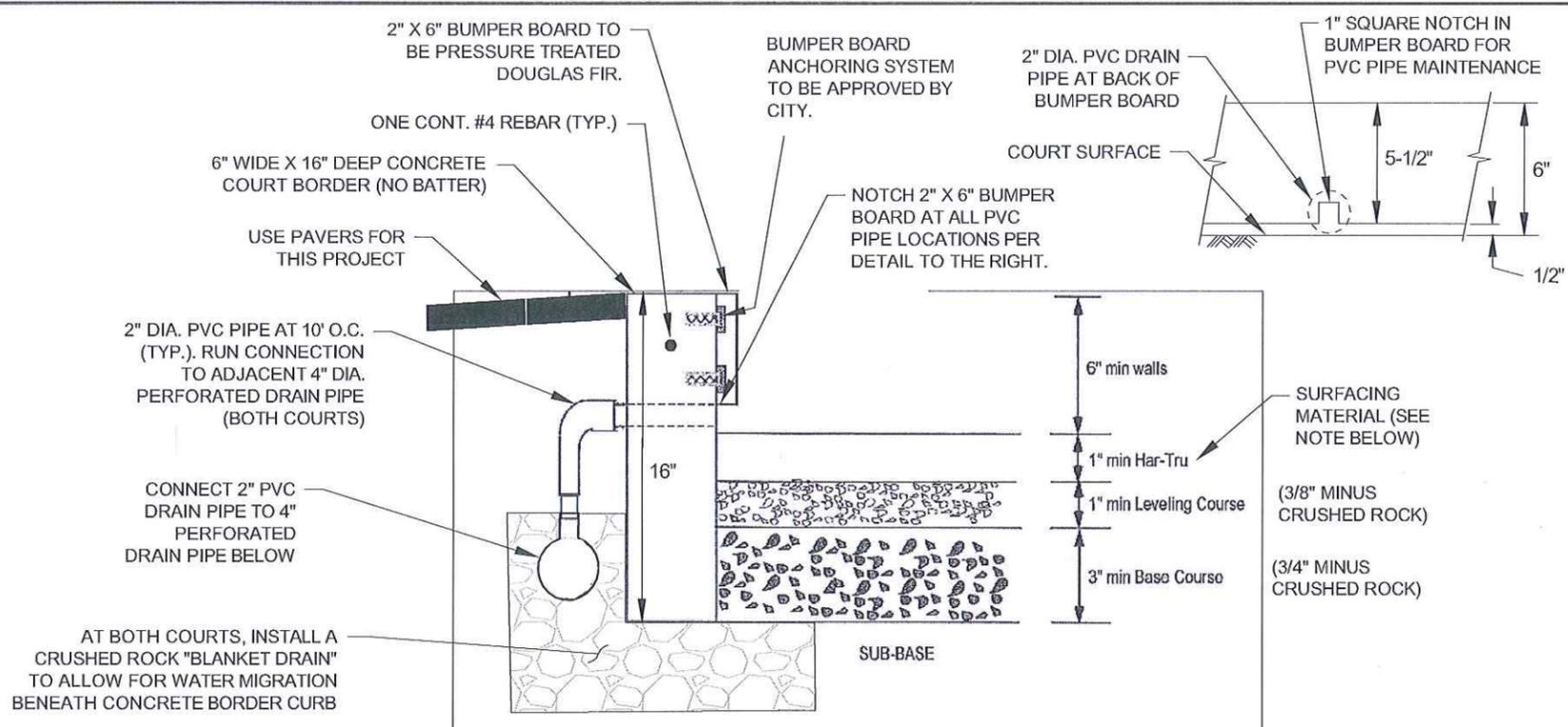
NO SCALE



SECT. E-E: ELEVATION VIEW

NO SCALE

REMOVABLE BOARD DETAIL



DETAIL NO. 1: CONCRETE CURB, BUMPER BOARD, BOCCE COURT MATERIAL AND 2" DIA. SURFACE DRAIN

NO SCALE

ADDITIONAL NOTES

1. WOOD BUMPER BOARD TO BE PRESSURE TREATED DOUGLASS FIR.
2. FASTENERS OF BUMPER BOARD TO CONCRETE TO BE SLIGHTLY RECESSED AND LOCATED ABOVE AND BELOW THE TYPICAL BOCCE BALL IMPACT ZONE.
3. SURFACING SPECIFICATION (OR APPROVED EQUAL)

The surfacing course should be constructed of 1" to 2" of a crushed metabasalt, igneous rock, blended with a gypsum binder to form a homogeneous mixture. The material should have a maximum density of more than 135 lbs. per cubic ft when tested by standard proctor. This material should be Har-Tru as manufactured by Lee Tennis, Charlottesville, VA.

The particle sizes of this product should meet the following gradation:

U.S. Standard Sieve Size	% Passing
#16	0-5%
#20	12-25%
#30	12-25%
#70	25-40%
#100	2-9%
PAN	23-33%

**PRELIMINARY!  
NOT FOR  
CONSTRUCTION!**



CITY OF MORRO BAY PUBLIC WORKS DEPARTMENT  
955 SHASTA AVE., MORRO BAY, CA 93442  
1-805-772-6261 WWW.MORROBAYCA.GOV

PROJ. NAME: BOCCE BALL AND RECREATION IMPROVEMENTS - 985 SHASTA AVE.

DESIGN:

DRAWN: H.E.

CHECK:

FILE:

SHT. NAME:

DETAILS

PRJ. NO:

MB2018-CM01

DATE:

4/29/2019

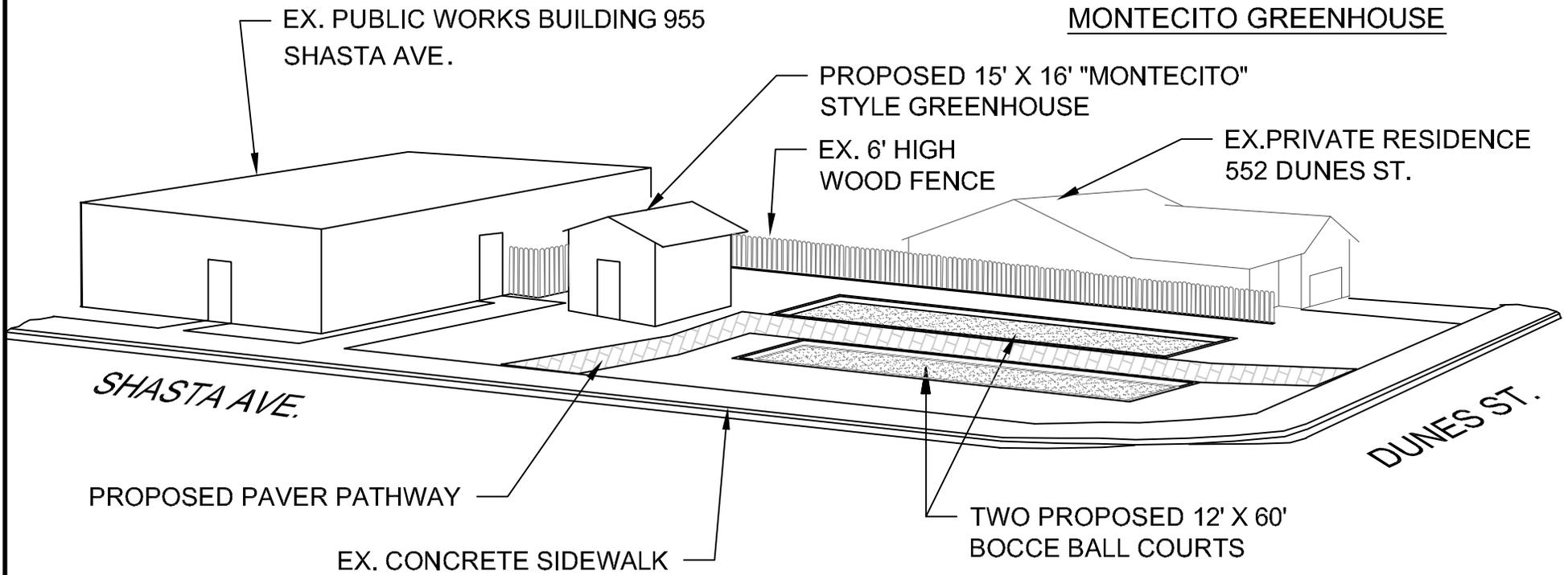
SHT.:

4 OF 4

Exhibit C



MONTECITO GREENHOUSE



RENDERING EXHIBIT OF BOCCIE BALL COURTS AND RECREATION IMPROVEMENTS  
985 SHASTA AVE. (NO SCALE)



AGENDA NO: B-2

MEETING DATE: June 4, 2019

## Staff Report

TO: Planning Commissioners

DATE: May 28, 2019

FROM: Nancy Hubbard, Contract Planner

**SUBJECT:** Application for a Conditional Use Permit (CUP 18-06), Coastal Development Permit (CDP18-008) and Parking Exception (PKG18-01) to request approval for a new 3-story building containing a 925 square foot commercial space on the ground floor with a 2,200 sf residential dwelling unit on the second and third floors. The site is located at 1130 Scott Street and is in the C-1/PD/SP Zoning district and is not located within the Coastal Commission Appeal Jurisdiction.

### RECOMMENDATION:

*DENY THE PROJECT* by approving Planning Commission **Resolution 11-19** that includes Findings for denial of the project, as depicted on site development plans submitted to the City on March 12, 2019.

### ALTERNATE PLANNING COMMISSION ACTIONS:

1. Approve Conditional Use Permit (CUP 18-06), Coastal Development Permit (CDP18-008) and Parking Exception (PKG18-01) (staff will present revised Resolution at next available PC Hearing)
2. Make a motion for a continuance and provide direction to staff and applicant regarding desired project revisions

### LEGAL

#### DESCRIPTION/APN:

066-036-032

### PROJECT

#### DESCRIPTION:

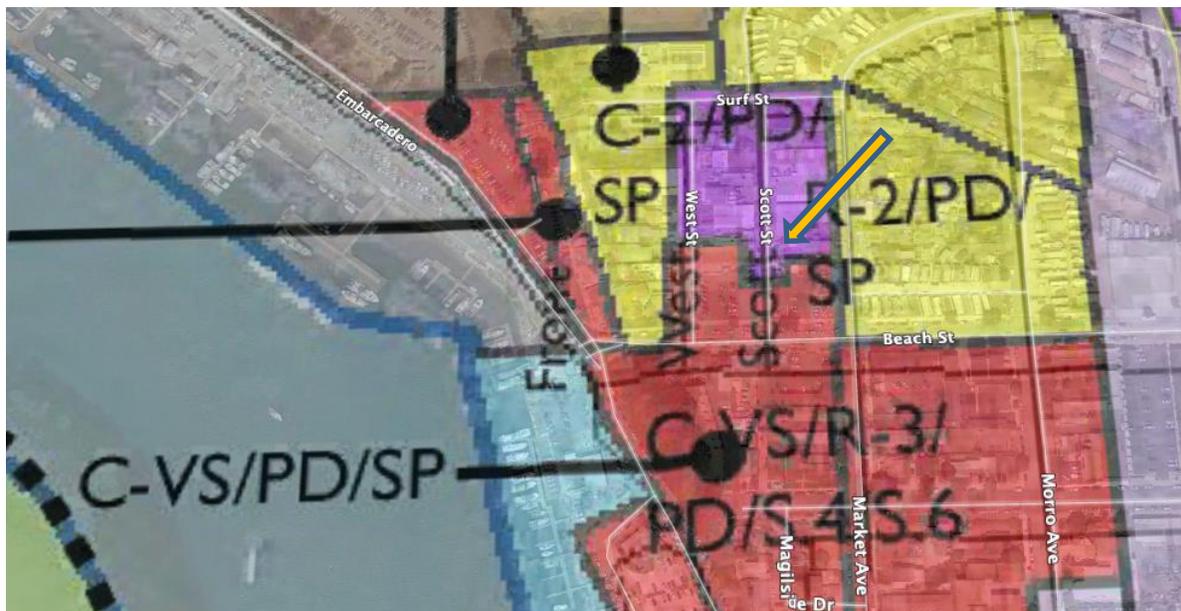
The Applicant is requesting approval of a Conditional Use Permit, a Coastal Development Permit and a Parking Exception for a proposed new 3-story building that will include 925 s.f. of ground floor



commercial space and 249 s.f. single car residential garage space, plus a 2,200 s.f. residential dwelling unit on the 2<sup>nd</sup> and 3<sup>rd</sup> floors with 1,132 s.f. of residential decks on the 2<sup>nd</sup> floor, the 3<sup>rd</sup> floor and a rooftop deck. The Parking Exception is required because the design provides only one residential garage space with a tandem residential parking space in the driveway. If the residential component was less than 1000 square feet, only one residential parking space would be required. The estimated 2 parking spaces required for the commercial space is proposed to be open parking spaces in the driveway. Other issues with the parking design related to the width of the driveway, addition of an accessible space, the proximity of the open parking spaces to the street and the sidewalk and designing to retain pedestrian accessibility along the sidewalk. See also 'Project Analysis' and 'Parking Exception' sections.

**PROJECT ZONING:**

The project site is zoned C-2 with a Planned Development (PD) overlay and is in the Beach Street Specific Plan - area D (SP). In the Local Coastal Plan, the site is in the Bayfront – Area 6 with a Service Commercial land use designation. The parcel is 2,240 square feet and is currently undeveloped. The General Commercial C-2 zoning district allows for a commercial district intended for heavier types of commercial and semi-industrial uses, which are not dependent on pedestrian traffic, and are more appropriately located away from the central business district. The C-2 zone locations are situated specifically with the intention to not be in close proximity to residential dwelling units in order to protect residential uses from adverse impacts of commercial uses such as noise vibration and from uses which may be visually incompatible (MBMC 17.24.100). The only residential use allowed in the C-2 zone is one residence for security purposes. The site is not located within the Coastal Commission Appeals Jurisdiction.



Adjacent Zoning/Land Use			
<b>North:</b>	C-2/PD/SP – General Commercial/ Planned Development/ Specific Plan	<b>South:</b>	C-VS/PD/SP – Visitor Serving Commercial/ Planned Development/ Specific Plan area
<b>East:</b>	C-2/PD/SP immediately adjacent; R- 2/PD/SP within 100 feet.	<b>West:</b>	C-VS/PD/SP – Visitor Serving Commercial/ Planned Development/ Specific Plan area

Site Characteristics	
<b>Site Area</b>	2240 square feet
<b>Existing Use</b>	Undeveloped
<b>Terrain</b>	Primarily Flat
<b>Vegetation/Wildlife</b>	none
<b>Archaeological Resources</b>	N/A
<b>Access</b>	Scott Street

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
<b>General Plan/Coastal Plan Land Use Designation</b>	Planning Area 3, Mixed Use “F”
<b>Base Zone District</b>	C-2
<b>Zoning Overlay District</b>	Planned Development
<b>Special Treatment Area</b>	None
<b>Combining District</b>	n/a
<b>Specific Plan Area</b>	Beach Street Area
<b>Coastal Zone</b>	Not within the Coastal Commission Appeal Jurisdiction

**PROJECT ANALYSIS:**

**Background**

In June 2006, a previous CUP/CDP application was proposed on site and denied by Planning Commission because the residential component of the proposal was not ‘secondary’ to the commercial use. That proposal was for 1320 sf of commercial and 1320 sf of Residential. The previous owner resubmitted a new plan with 1320 sf of commercial on the ground floor, 333 sf of office on the second floor and a 940 sf one-bedroom security residential unit also on the second floor. The submittal also included

a request for parking-in-lieu fees for 2 spaces that were not able to be on the site. The Planning Commission approved this project in August 2006 with a condition that the project have a restrictive covenant requiring annual verification that active businesses were using the non-residential portions of the building. The project was never constructed; and the permit approval expired. The intent of the General and Service Commercial zoning and land use designation is clearly to reserve valuable space for service commercial businesses that are not compatible in residential neighborhoods. The C-2 zoning designation allows only one security residential unit, and it is required to be secondary to the primary use of commercial.

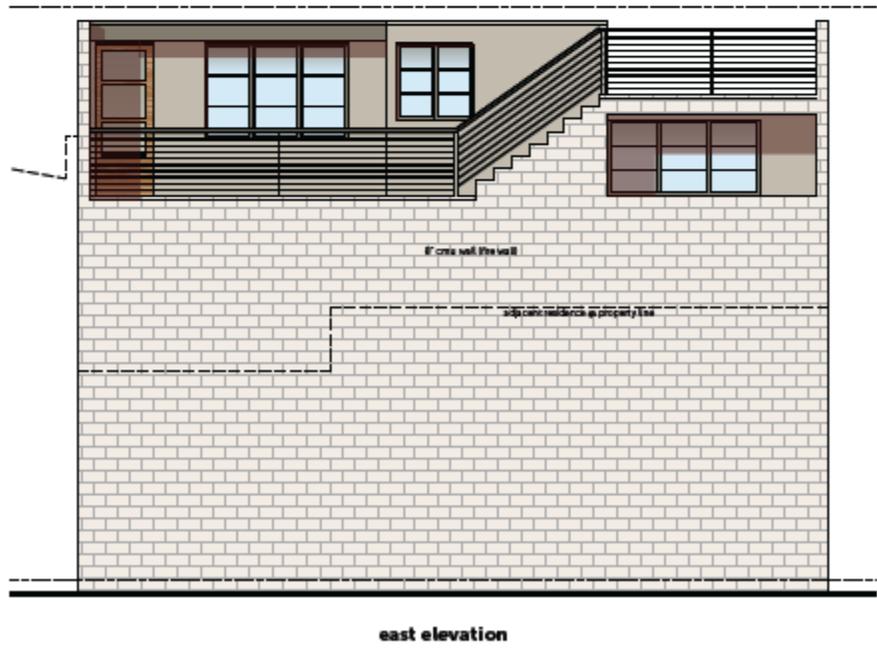
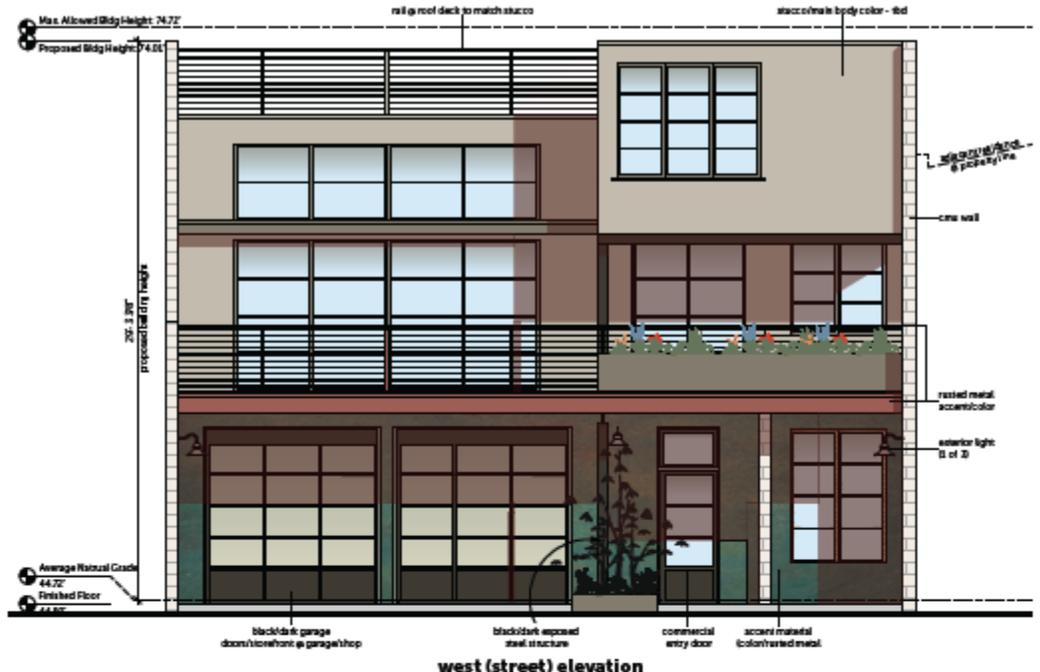
The applicant submitted a plan similar to the current plan in September 2018, which has been through several rounds of comments from the City Departments in an attempt to get a design that meets the zoning and land use requirements. On April 16, 2019, the applicant submitted a revised plan that included ground floor commercial, second floor residential and third floor office space. However, there were complexities in providing accessibility to the offices on the third floor and the layout and function not only seemed awkward, but also disingenuous in that the office space, surrounded by residential deck space, seemed more likely to be part of the residential space than a viable leasable business office space. The applicant withdrew that redesign and requested that staff move forward with the current plan of 925 sf of commercial and 2200 sf of residential with 1132 sf of outdoor residential decks.

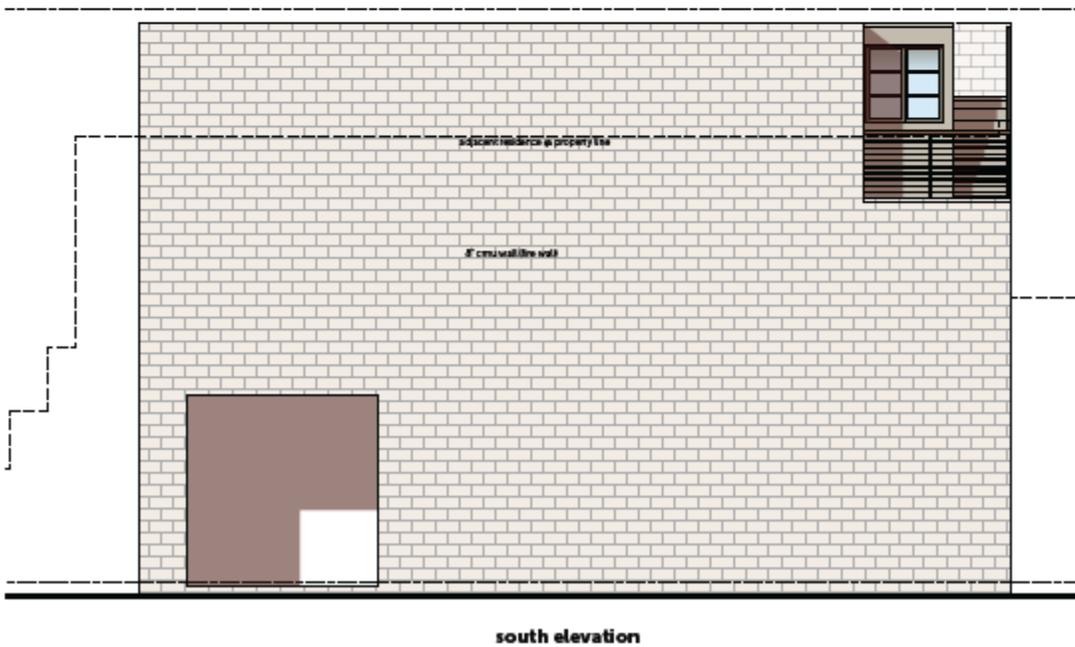
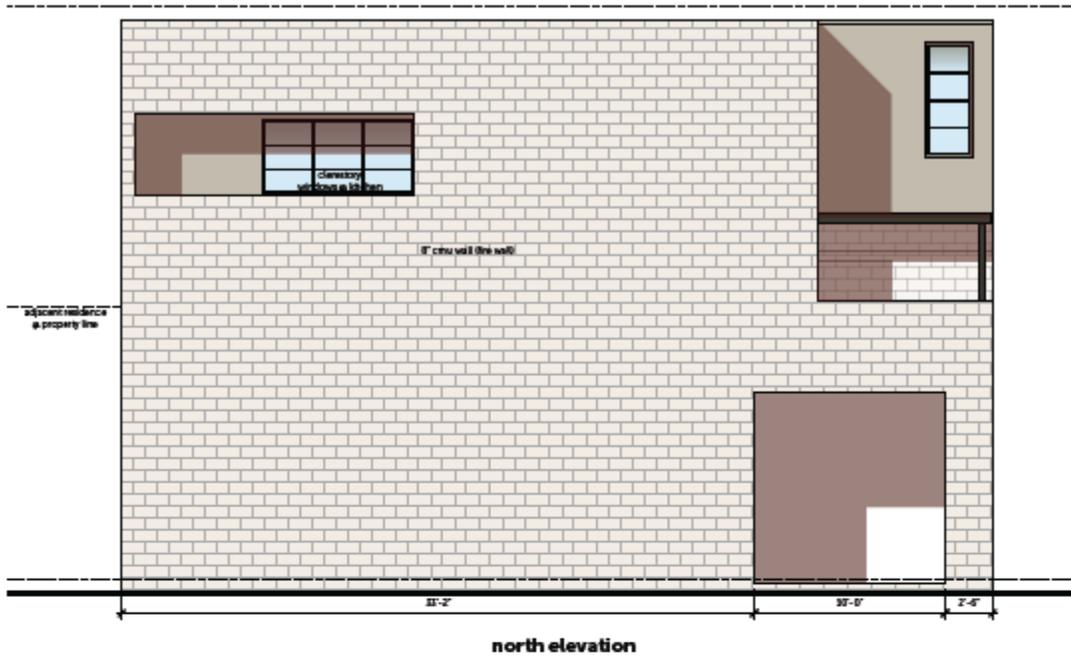
	<b>C-2 Standards</b>	<b>Proposed Project</b>
<b>Front Setback</b>	0 feet (Avg 2 feet)	20 feet
<b>Side-Yard Setback</b>	0 feet, or 10 feet if adjacent to a residential district	0 feet on the north, 8 inches on the southerly line
<b>Rear Setback</b>	0 feet (10 feet if adjacent to residential district)	2 feet, 2 inches (only 8 inches from encroaching building)
<b>Height (from ANG)</b>	30 Feet, or 25 feet if within 20 feet of a residential district other than R-4	29 feet, 3 inches

**DEVELOPMENT STANDARDS/DESIGN GUIDELINES:**

The proposed project meets the setback and height standards. The site is not adjacent to a residentially zoned district.

Residential Design standards generally do not apply to security residential units since they are secondary to the primary commercial use. In this commercial zone, there is a zero-foot setback on three sides of the property resulting in a building with fewer windows or building articulation on the sides and rear of the building. The architectural design is Industrial/Modern and would be one of the more attractive buildings in the area.





**PARKING EXCEPTION:**

The applicant is requesting a parking exception to allow one garage space and one open tandem space to meet the residential parking requirement for the proposed security residence. Additionally, the applicant is proposing a 35-foot wide driveway (lot width is

under 41 feet) and open parking for residential and commercial uses in the driveway. The parking in the driveway is immediately adjacent to the back of sidewalk.



Pursuant to Section 17.44.050, the Planning Commission can grant a parking exception upon the following findings:

1. *The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity.*

Staff response: This project's design for on-site parking is very similar to the property immediately south of the proposed project, which has a 2-car garage plus space for 3 cars in the driveway with a very wide driveway. Any parking space in the subject property's driveway would also need to back out onto Scott Street. The sidewalk/driveway configuration will need modifications to provide pedestrian access along the sidewalk. Staff does not believe a parking exception would be a grant of special privilege.



2. *The exception will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic safety problems will result from the proposed modification of parking standards*

Staff Response: This street has parking problems, with many businesses built to the edge of the public right of way. Many of the properties have frontage on both Scott Street and Morro Ave, so they have more opportunities to provide parking on the other frontage street.

3. *The exception is reasonably necessary for the applicant's full enjoyment of uses like those upon the adjoining real property*

**Staff Response:** The site is not large enough to provide residential and commercial parking on the site without resulting in some of the conditions that resulted in the need for a parking exception. The only alternative is for the applicant to eliminate one or more of the on-site parking spaces and request approval for parking in-lieu fees for the balance of the required parking.

**PUBLIC NOTICE:**

Notice of this item was published in the San Luis Obispo Tribune newspaper on May 24, 2019, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

**ENVIRONMENTAL DETERMINATION:**

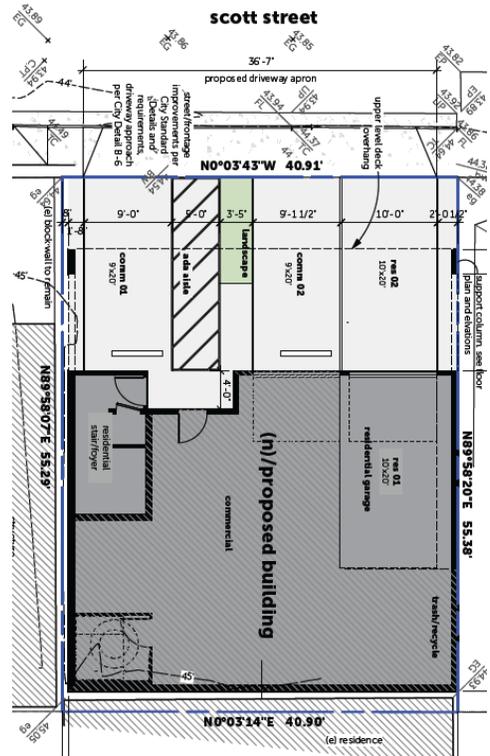
Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3c. The exemption applies to new construction of small structures such as commercial buildings in an urbanized area not more than 10,000 s.f. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

**CONCLUSION:**

The project is not consistent with the General Plan and Local Coastal Plan, which states that this area is a valuable resource for service commercial businesses that are not suitable in a residential neighborhood. The project is also not consistent with the Zoning Ordinance because the primary use based on the design appears to be residential and not commercial. The identified commercial space equals 26% of the total interior space, which does not take into consideration the 1132 sf of residential decks/entertaining spaces. A security unit is not allowed by right in the C-1 Zone, but instead requires a Conditional Use Permit to make sure it is an appropriate and compatible use. The security unit is meant to both serve as security for the primary commercial use and to be subordinate to that primary use. The applicant does not have a commercial tenant or commercial use in mind for the space and the commercial space is not physically separated from the residential garage space or residential trash area, bringing in to question the need for the security unit.

**RECOMMENDATION:**

Staff recommends the Planning Commission deny the requested Conditional Use Permit #CUP18-06, Coastal Development Permit #CDP18-008 and Parking Exception 18-01 for



the proposal commercial/residential project proposed for 1130 Scott Street, as shown on plans submitted to the City on March 12, 2019, by adopting Planning Commission **Resolution 11-19** which includes the Findings for denial of the project.

**EXHIBITS:**

Exhibit A – Planning Commission Resolution 11--19

Exhibit B – Graphics/Plans

# EXHIBIT A

## RESOLUTION NO. PC 11-19

### A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION TO DENY CONDITIONAL USE PERMIT CUP18-06, COASTAL DEVELOPMENT PERMIT CDP18-008 AND PARKING EXCEPTION PKG18-01 FOR THE PROPOSED NEW CONSTRUCTION PROJECT AT 1130 SCOTT STREET

**WHEREAS**, the Applicant applied for a Conditional Use Permit (CUP18-06), a Coastal Development Permit (CDP18-008) and a Parking Exception (PKG18-01) on September 7, 2018 for a new three-story building with 925 square feet of commercial and 2,200 square feet for a security residential unit; and

**WHEREAS**, the Planning Commission of the City of Morro Bay (the "City") conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on June 4, 2019, for the purpose of considering the CUP, CDP and PKG for a proposed new three-story building with commercial on the ground floor and residential on the second and third floor; and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the appellant, applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

#### California Environmental Quality Act (CEQA)

Pursuant to the California Environmental Quality Act, the project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3c. The exemption applies to new construction of small structures such as commercial buildings in an urbanized area not more than 10,000 s.f. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

#### Conditional Use Permit and Coastal Development Permit findings

1. The project is not consistent with the General Plan and Local Coastal Program (LCP) that specifically identifies this area as a valuable resource to provide service commercial that is not adjacent to residential neighborhoods.
2. The project is not in compliance with the zoning code, which specifically limits the residential development in the C-2 zone to 'security use residence

# EXHIBIT A

only', defined as a single-family dwelling located in the rear half or second story of a permitted business or industrial use. The security unit use is meant to serve and be subordinate to the primary commercial use of the property and should not therefore represent the majority of the square footage on the lot. The zoning of the property is commercial, and the majority of the building square footage should be allocated to that primary use.

3. The project is not in compliance with the General Plan and certified Local Coastal Program but is unlikely to be detrimental to the health, safety, and general welfare of persons residing or working in the surrounding neighborhood.

### Parking Exception Findings:

Pursuant to Section 17.44.050, the Planning Commission can grant a parking exception upon the following findings:

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity.
2. Due to the unique nature of Scott Street in that area, the exception will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic safety problems will result from the proposed modification of parking standards
3. The exception is reasonably necessary for the applicant's full enjoyment of uses like those upon the adjoining real property

**Section 2: Action.** The Planning Commission does hereby deny Conditional Use Permit (CUP18-06), Coastal Development Permit (CDP18-008) and Parking Exception (PKG18-01) based on the above findings.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 4th day of June 2019 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Chairperson Gerald Luhr

ATTEST

\_\_\_\_\_  
Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted on this 4th day of June 2019.

# Commercial with Residence Security Unit

# KENNEY COMMERCIAL

1130 Scott Street, Morro Bay, CA 93442

## DIRECTORY

**Owner:** for Travis Kenney  
5185 Venado Avenue  
Atascadero, CA 93422  
(805) 801-6575  
Email: hollywoodshr@yahoo.com

**Architect of Record:** JADE ARCHITECTURE  
Alison Edwards, C-34194  
5120 Sycamore Road  
Atascadero, CA 93422  
Phone: (805) 234-0799  
Email: alison@jadearchitecture.net

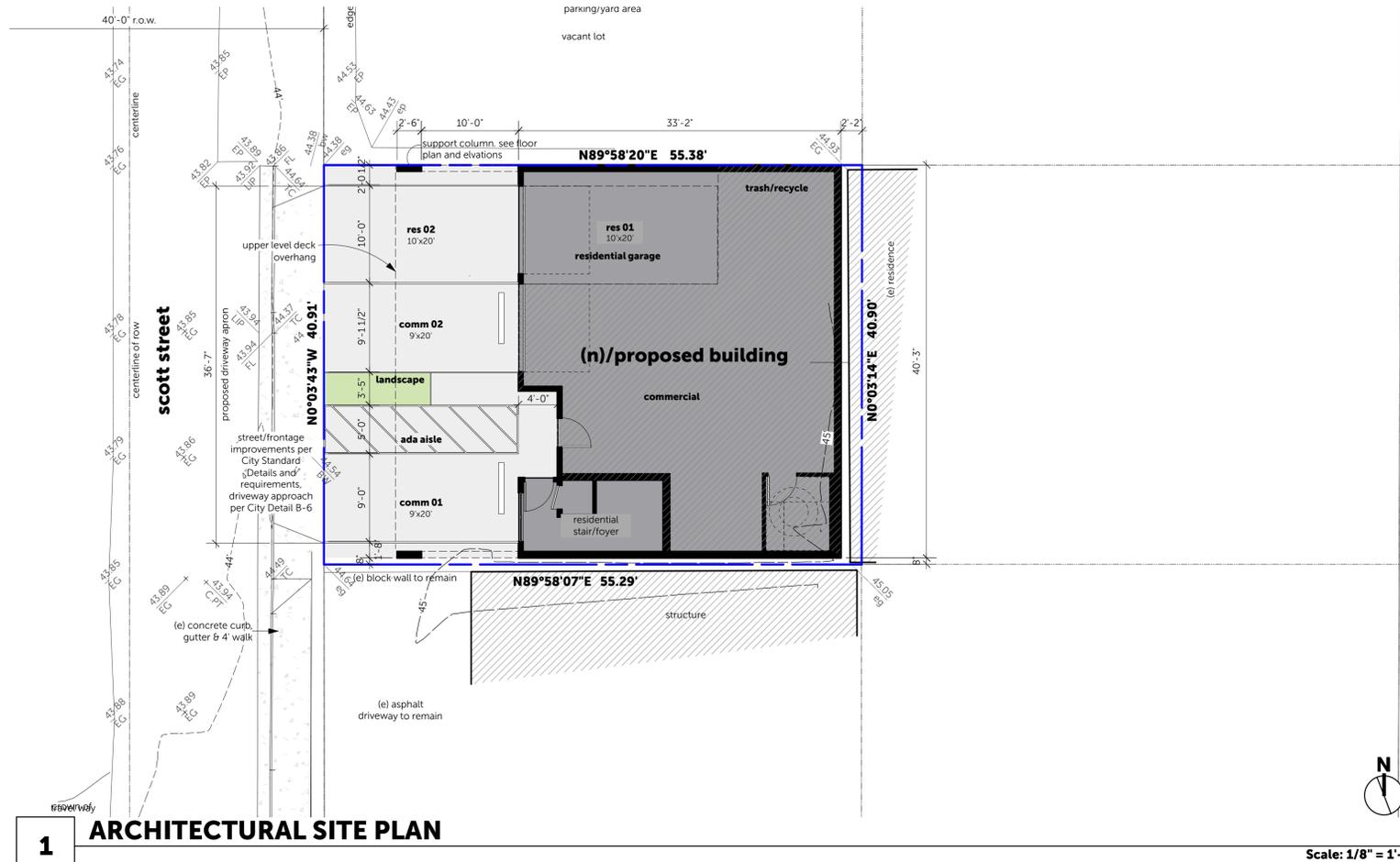
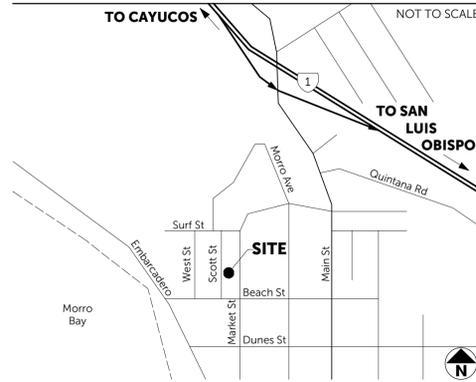
**Geotechnical Engineer:** GEOSOLUTIONS INC.  
Craig Crozier, License #C61361  
220 High Street  
San Luis Obispo, CA 93401  
Phone: (805) 543-8539  
Email: craig.crozier@gmail.com

**Structural Engineer:** WC ENGINEERING  
Walter J. Cerney, PE 62318  
710 Lemore Ave  
Pismo Beach, CA 93449  
Phone: (805) 773-6899  
Email: wcerney@sbcbglobal.net

**Energy Compliance:** TBD

**Fire Protection:** TBD

## VICINITY MAP



**1 ARCHITECTURAL SITE PLAN**

Scale: 1/8" = 1'-0"

## PROJECT DATA

**SCOPE OF WORK**  
A proposal for a new 925 s.f. Commercial space, and 2,198 s.f. Residential Security Unit. Commercial space is located on ground floor/street level, with residence above. Client/Tenant shall apply for Tenant Improvement/Conditional Use Permit upon determination of commercial business type/use.

**PROJECT ADDRESS** 1130 Scott Street, Morro Bay, CA 93442

**APN** 066-036-032

**LOT SIZE** 2,240 s.f.

**UTILITIES**  
Electricity PG&E  
Natural Gas Southern California Gas Company  
Water Service City of Morro Bay  
Sewer Service City of Morro Bay

## PLANNING DATA

**ZONING**  
OVERLAY ZONE C-2 Commercial  
SPECIFIC PLAN PD Planned Development  
SP \*Beach Street Area Specific Plan - Area D  
\*Overriding zoning based on C-2 and nearest residential district R-2

**FIRE INFORMATION**  
JURISDICTION City of Morro Bay  
HAZARD ZONE LRA - Local Responsibility Area

**SETBACKS/YARDS**  
Front/Street Setback 2'0"  
Side Yard 0'  
Rear/Other Yard 0'

**LOT COVERAGE**  
ALLOWED Building Coverage 2,016 s.f. 90%  
PROPOSED Building Coverage 1,819 s.f. 81%  
\*includes lower level bldg footprint and second level decks  
Driveway/Flatwork 277 s.f. \*uncovered portion  
REQUIRED Landscape 41 s.f. \*5% of 815 s.f.  
PROPOSED Landscape 44 s.f.

**MAXIMUM HEIGHT**  
ALLOWED 30'0" \*above average natural grade: 44.43'+45.00'/2=44.72'  
PROPOSED 29'3" \*Refer to Elevations for Building Height Illustration

**BUILDING AREAS**  
First Commercial Space 925 s.f. \*total commercial  
Res Garage 249 s.f.  
Res Stairs 125 s.f.  
First Floor - Total 1,299 s.f.  
Second Floor - Res/Living 1,416 s.f.  
Third Floor - Res/Living 782 s.f.  
Total Conditioned 2,198 s.f. \*incl 138 accessory stor  
Second Floor Deck, Covered 160 s.f.  
Second Floor Deck, uncovered 220 s.f.  
Third Floor Deck 140 s.f.  
Roof Deck 612 s.f.

**PARKING**  
REQUIRED Vehicle (4) Spaces Includes (1) HC Space  
\*925 s.f./500 = 1.87; + (2) per residence  
PROPOSED Vehicle (4) Spaces Includes (1) HC Space  
\*provides (1) residential covered  
\*residential spaces are tandem \*lot is 40' in width (17.44 050)  
\*requesting allowance to increase driveway apron to 37'5"

## BUILDING CODE DATA

**FIRE PROTECTION** Sprinklers Required Yes  
Sprinklers Proposed Yes, see below  
Fire Alarm Required/Prop. No, per 907.2.9 exception 2

## OCCUPANCY, SEPARATION, CONSTRUCTION TYPE, FIRE SEPARATION

occupancy group	proposed area	allowable height	allowable stories	allowable area	use only for separated occupancies	
					const. type	fire separation
cbc 302.1					table 504.3	table 506.2
Group F-1	925 s.f.	60'	2	34,000 s.f.	V-B	S1
Group U	249 s.f.	60'	2	22,000 s.f.	V-B	S1
Group R-3	2,198 s.f.	40'	3	UL s.f.	V-B	S13D
Group S-2	138 s.f.	-	-	- s.f.	-	accessory

Unity Formula a1/A1 + a2/A2 + a3/A3 = 0.03 + 0.01 + 0.00 = 0.04 ≤ 1.0

F-1 and U - nonseparated  
F-1/U to R-3 - Separated, 1 hour rated assemblies

## SHEET INDEX

T1.0	TITLE SHEET and ARCHITECTURAL SITE PLAN
A1.0	FLOOR PLANS - first and second
A1.1	FLOOR PLANS - third and roof/deck
A2.0	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS
1 of 1	TOPOGRAPHIC SURVEY



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805-234-0799  
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Atascadero, CA 93422

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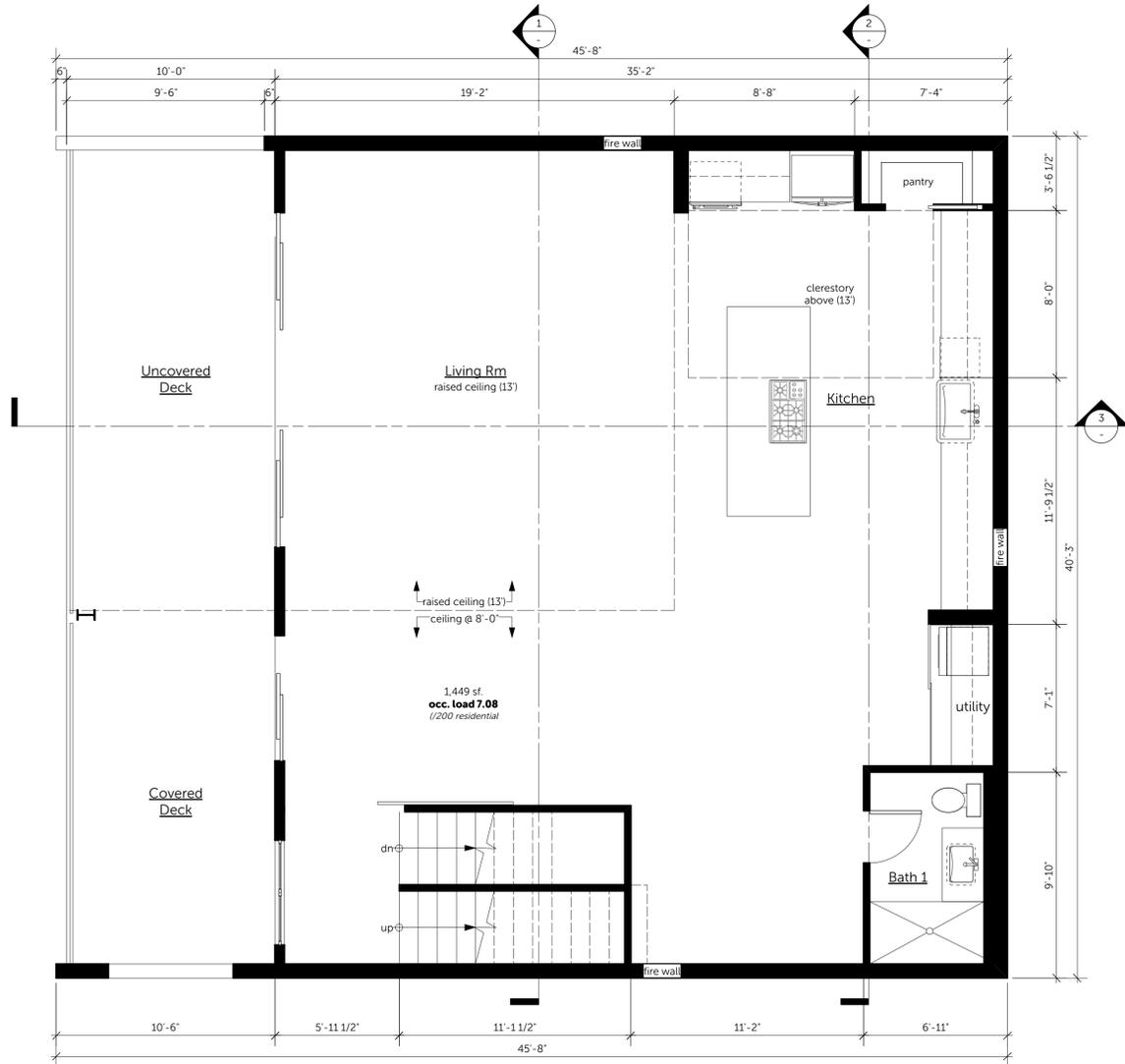
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Commercial with Residence Security Unit  
**KENNEY COMMERCIAL**  
for Travis Kenney  
1130 Scott Street,  
Morro Bay, CA 93442

**TITLE SHEET and ARCHITECTURAL SITE PLAN**

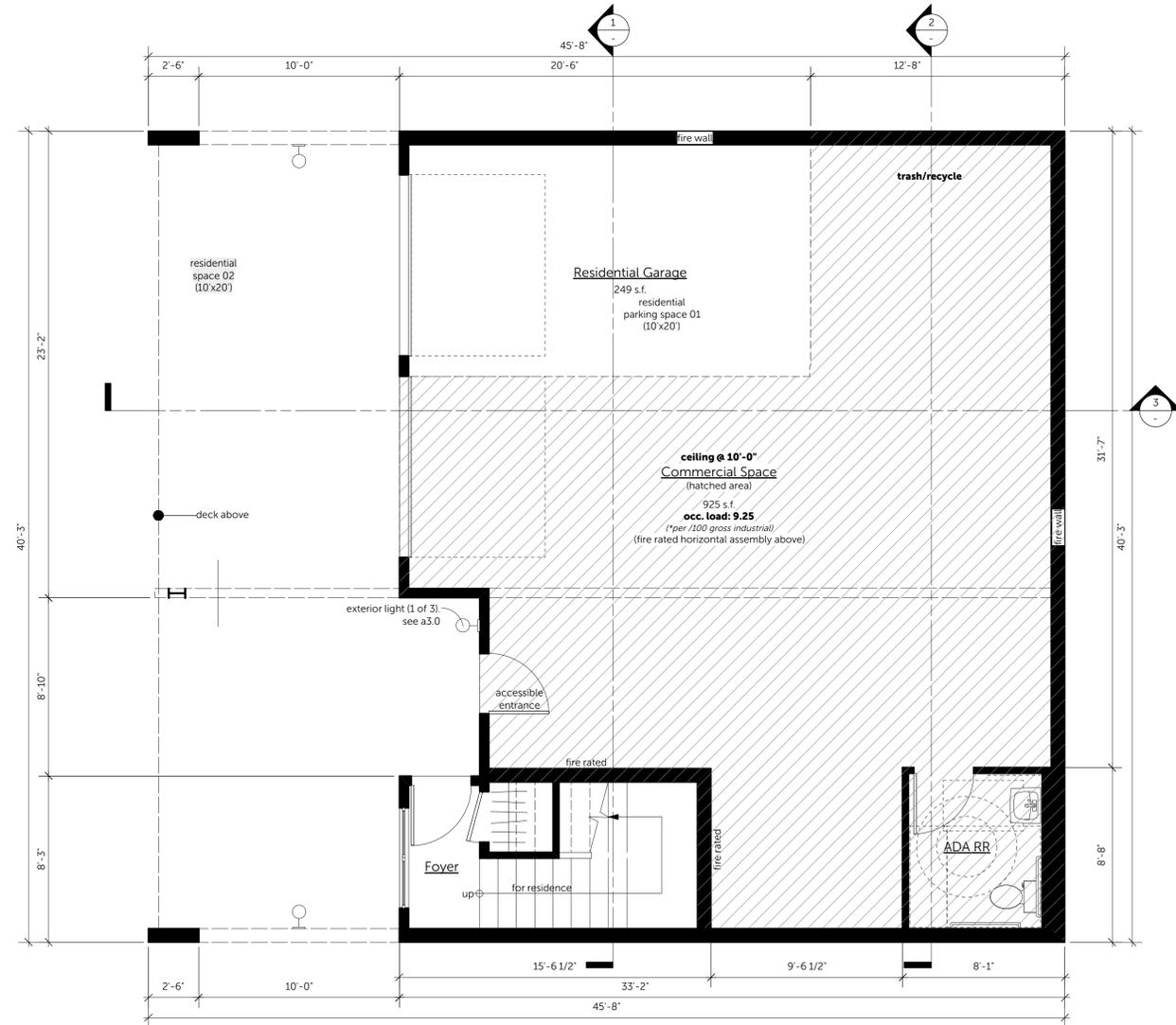
DATE: January 17, 2019  
JOB NO.: 18-012  
DRAWN BY: A. Edwards  
REVISIONS:

SHEET:  
**T1.0**



**second floor plan**

Scale: 1/4" = 1'-0"



**first floor plan**

Scale: 1/4" = 1'-0"



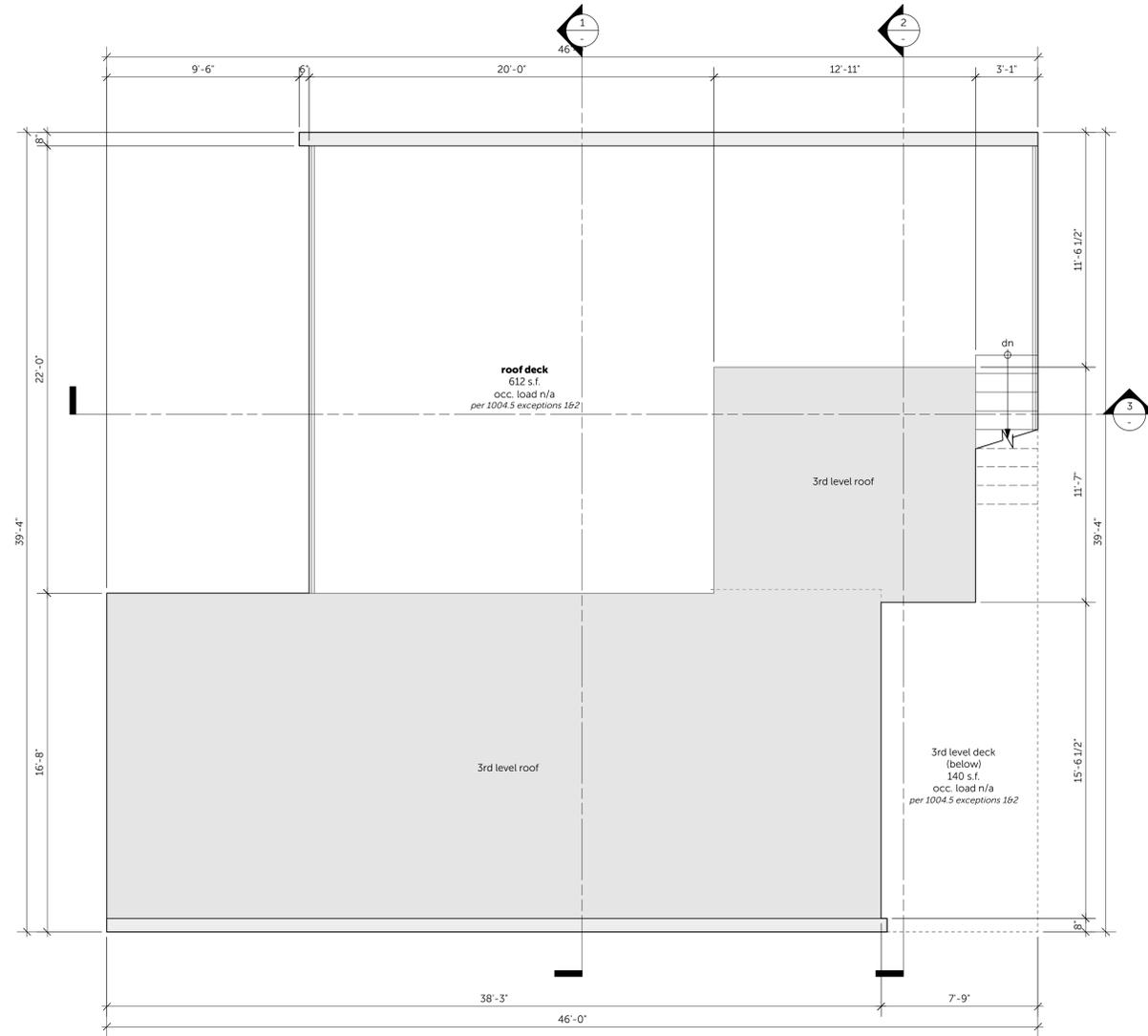
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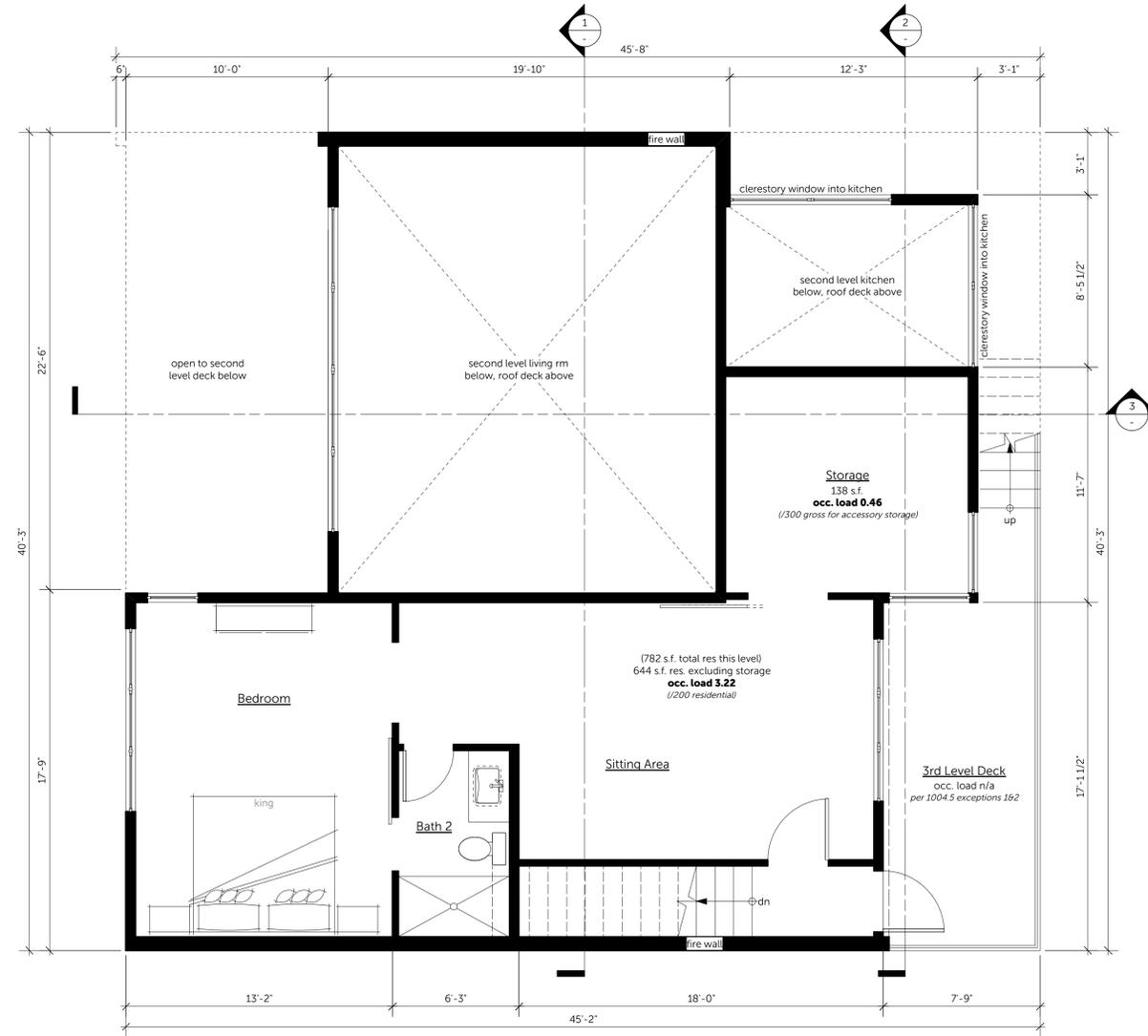
**FLOOR PLANS**  
 first and second

DATE: January 17, 2019  
 JOB NO.: 18-012  
 DRAWN BY: A. Edwards  
 REVISIONS:

SHEET:  
**A1.0**



**roof/roof deck plan**  
Scale: 1/4" = 1'-0"



**third floor plan**  
Scale: 1/4" = 1'-0"



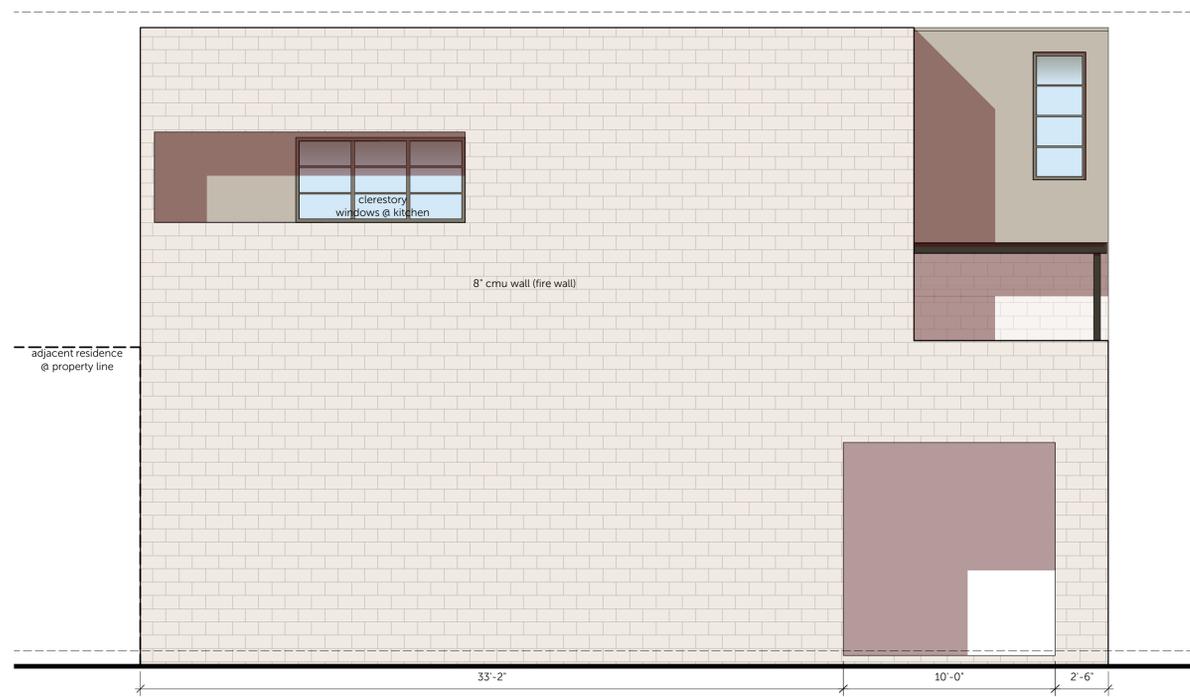
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**FLOOR PLANS**  
**third and roof/deck**

DATE: January 17, 2019  
JOB NO.: 18-012  
DRAWN BY: A. Edwards  
REVISIONS:

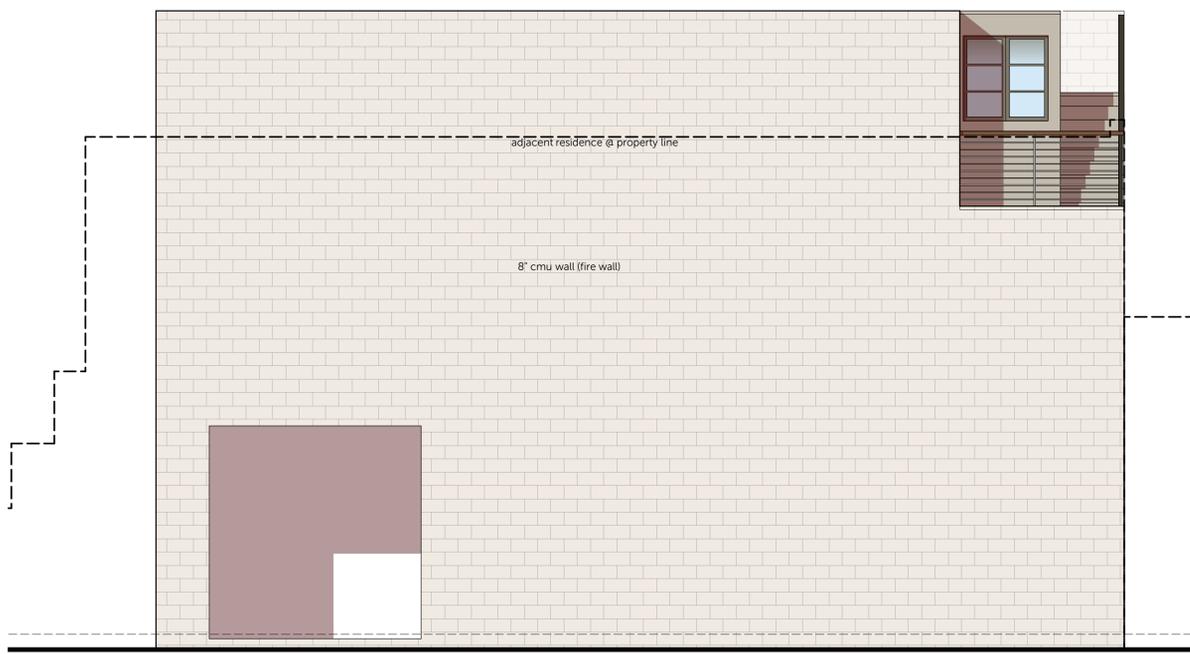
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**A1.1**



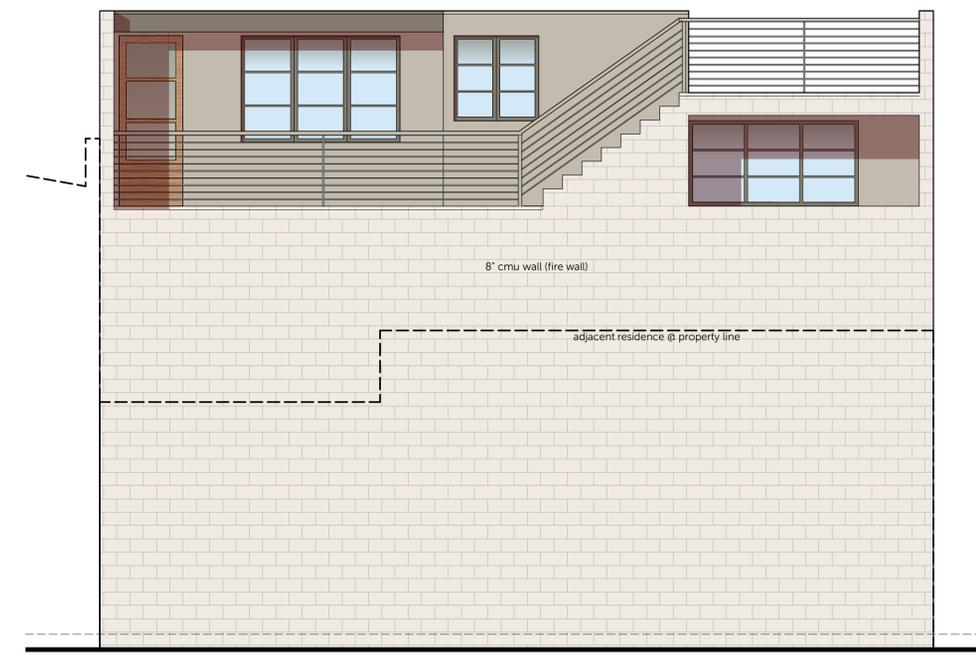
north elevation



west (street) elevation



south elevation



east elevation



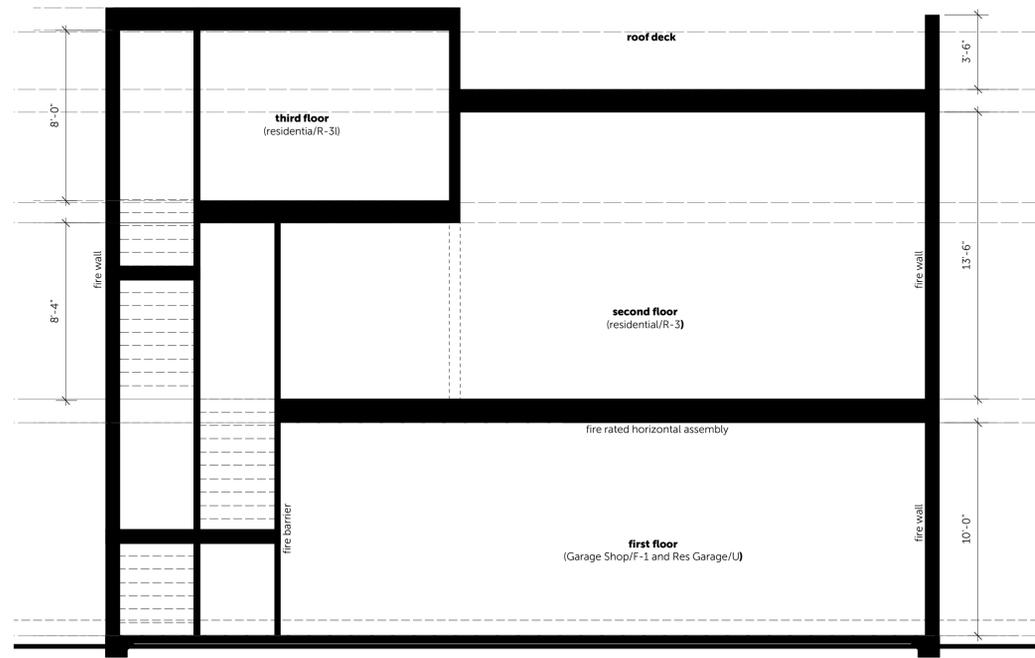
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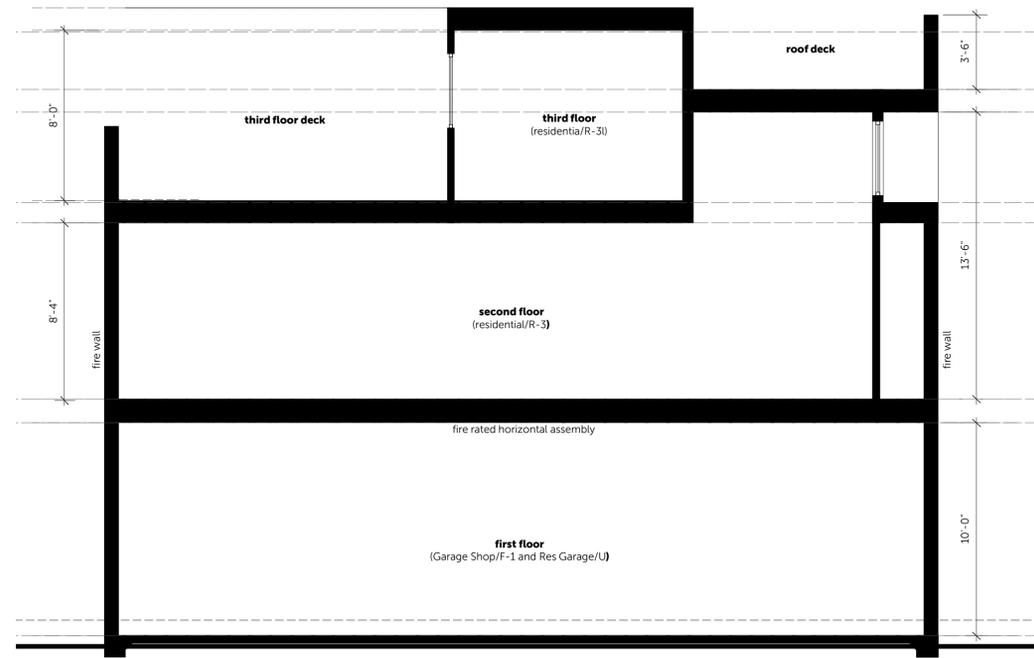
**EXTERIOR ELEVATIONS**

DATE: January 17, 2019  
 JOB NO.: 18-012  
 DRAWN BY: A. Edwards  
 REVISIONS:

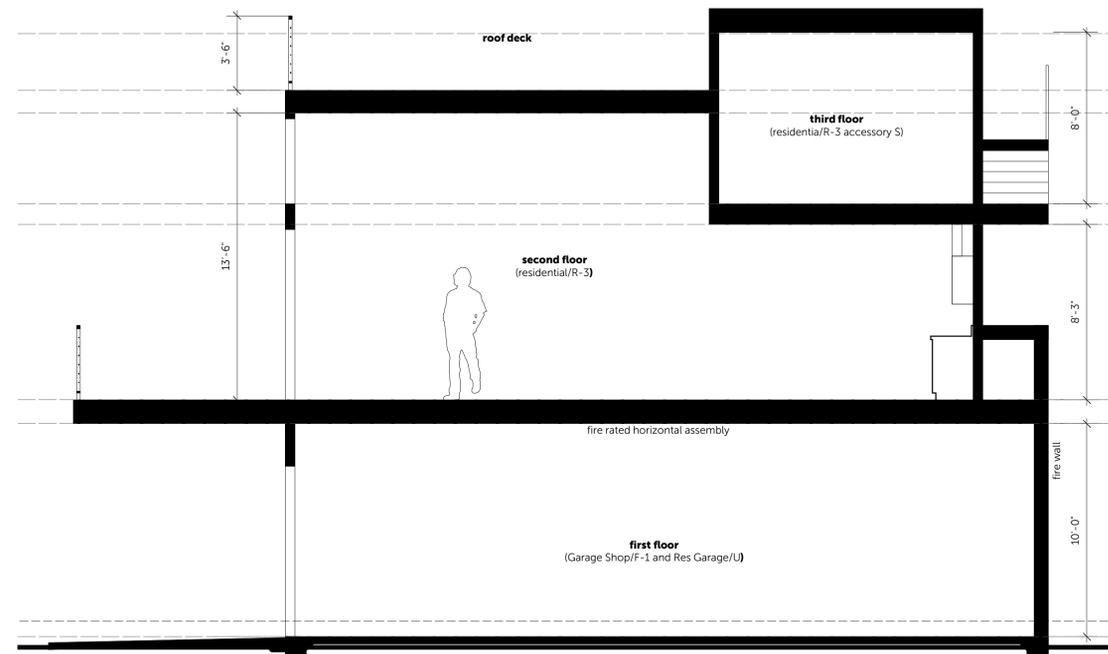
SHEET:  
**A2.0**



section 1



section 2



section 3



18" Shade Hi-Lite Gooseneck, Warehouse Collection, H-15118 Series

Brand: Hi-Lite  
 Light Bulb: (1) 100W (8"-11") or 200W (12"-27") E26 Socket LED Lamp Compatible (Lamp not Included)  
 Materials: Aluminum  
 Height: 10"  
 Width: 18"  
 Voltage: 120  
 UL Listed: Rated For Wet Locations  
 Lead time: 4-6 weeks  
 SEE SPEC SHEETS AND COLOR CHART FOR MORE OPTIONS  
 THIS PRODUCT IS NON-RETURNABLE, ORDER CAN NOT BE CANCELED AFTER 48 HOURS

Alison Edwards

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 alison@jadearchitecture.net  
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Commercial with Residence Security Unit

**KENNEY COMMERCIAL**

for Travis Kenney  
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 Morro Bay, CA 93442

**BUILDING SECTIONS**

DATE: January 17, 2019  
 JOB NO.: 18-012  
 DRAWN BY: A. Edwards

SHEET:

**A3.0**



AGENDA NO: B-3

MEETING DATE: June 4, 2019

## Staff Report

**TO:** Planning Commissioners

**DATE:** May 24, 2019

**FROM:** Nancy Hubbard, Contract Planner

**SUBJECT:** Application for a Conditional Use Permit (CUP 18-07), Coastal Development Permit (CDP18-010) and Parking Exception (PKG18-03) for approval of a new ADU containing 409 square foot attached to an existing 1063sf residential dwelling. The project also includes a new 112 sf deck and some exterior changes to windows and doors along the front of the home. The application is also requesting after-the-fact approval for a 137-sf addition to the existing home and an 80-sf detached bathroom that will become part of the new ADU, both constructed without planning approval or building permits. The site is located at 982 Carmel and is in the R-1 Zoning district and is not located within the Coastal Commission Appeal Jurisdiction.

**RECOMMENDATION:**

*APPROVE THE PROJECT* by approving Planning Commission **Resolution 12-19** that includes Findings and Conditions of Approval for the project, as depicted on site development plans submitted to the City on March 21, 2019.

**APPLICANT:** Hadi Hobab

**AGENT:** Misa Kashefi

**LEGAL DESCRIPTION/APN:**

066-204-009,

Lot 3, Block 5 of Tract 106.02





**PROJECT DESCRIPTION:** The Applicant is requesting approval of a Conditional Use Permit, a Coastal Development Permit and a Parking Exception for a proposed new 409 s.f. accessory dwelling unit (ADU) attached to an existing 2 story single family home. The existing home is 1063 sf, plus a non-permitted 137-sf addition at the back of the home and an 80-sf detached bathroom in the backyard. The proposed ADU will incorporate the 80-sf. bathroom into the new design. The project also includes a new 112 sf deck at the front of the home, and some changes in exterior windows and doors also along the front of the home. The Parking Exception is required because the original home built in 1954 included only a single car carport (legal, non-conforming). The front yard of the existing home is entirely paved, and that area has been used as open parking for the occupants of this property. See also 'Project Analysis' and 'Parking Exception' sections.

**PROJECT ZONING:**

The project site is zoned R-1 and is surrounded by single family homes within the same zoning classification. In the Local Coastal Plan, the site is in the Central Morro Bay – Area 7 with a Moderate Density Residential land use designation. The existing home is legal, non-conforming because it is greater than 1000 square feet in size, but does not provide the required 2 covered, and enclosed parking spaces. The existing home also has a 3-foot side yard setback on the west side of the home, which does not meet the

required 5-foot side yard setback. All of the front yard has been paved for parking use, in violation of Section 17.44.030 that requires no more than 50% of the property frontage be used as a driveway and a minimum of 22 feet of non-driveway be provided to allow for on-street parking. Since this section of Carmel Street does not include curbs and gutters, the entire front yard has been functioning as a driveway. This application for a CUP/CDP and Parking Exception is necessary to resolve the code violations related to the unpermitted additions, and to identify a specific location for the 2<sup>nd</sup> required parking space and allow the front yard to be restored to a combination of driveway and landscape area. The site is not located within the Coastal Commission Appeals Jurisdiction.

<b>Adjacent Zoning/Land Use</b>			
<b>North:</b>	R-1 – Moderate density single family homes	<b>South:</b>	R-1 – Moderate density single family homes
<b>East:</b>	R-1 – Moderate density single family homes	<b>West:</b>	R-1 – Moderate density single family homes

<b>Site Characteristics</b>	
<b>Site Area</b>	5200 square feet
<b>Existing Use</b>	Single Family non-conforming home
<b>Terrain</b>	Primarily Flat
<b>Vegetation/Wildlife</b>	Minimal urban landscaping
<b>Archaeological Resources</b>	N/A
<b>Access</b>	Carmel Street

<b>General Plan, Zoning Ordinance, &amp; Local Coastal Plan Designations</b>	
<b>General Plan/Coastal Plan Land Use Designation</b>	Central Morro Bay, Area 7, Moderate Residential
<b>Base Zone District</b>	R-1
<b>Zoning Overlay District</b>	None
<b>Special Treatment Area</b>	None
<b>Combining District</b>	n/a
<b>Specific Plan Area</b>	None
<b>Coastal Zone</b>	Not within the Coastal Commission Appeal Jurisdiction

**PROJECT ANALYSIS:**

**Background**

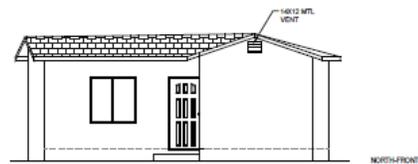
This home was original built in 1954 and in the SLO county records it is shown as originally a 280 square foot home with an addition of 783 square feet for a total of 1063 square feet. The records show it had an attached carport and no garage. Between 2007 and 2009, the entire front yard was paved and has been used as a parking area. The street in that area has no sidewalks or curbs, so most of the homes in the area have paved or rocked the portion of City Right of Way in front of their homes. From historic aerial photographs, the 2 shed buildings in the backyard have been there for at least 15 years, it is unknown if they are the same buildings that exist on the site now, or if the bathroom facilities in the one shed building were added more recently. This address has been the subject of a code violation for non-permitted additions since September 2018 when the owners applied for a building permit. The current owners purchased the home in 2018.

	R-1 Standards	Existing Home	Proposed Project (including after-the-fact additions)
<b>Front Setback</b>	20 feet	22 feet	20 feet, 1 inch
<b>Side-Yard Setback</b>	5 feet	3 feet on the west, 8 feet on the east	6 feet, 9 inches (west) and 5 feet, 1 inch (east)
<b>Rear Setback</b>	10% of depth of the lot which results in 9 feet, 5 inches	37 feet average	9 feet, 9 inches
<b>Height (from ANG)</b>	25 feet	17 feet	11 feet for ADU, 12 feet for deck railing at front of home
<b>Lot Coverage</b>	45%	26%	39%

**DEVELOPMENT STANDARDS/DESIGN GUIDELINES:**

The proposed project meets the setback and height standards and although the existing home is legal, non-conforming as to the carport parking and the west side yard setback, the new proposed deck in front and ADU are in conformance with all the setback requirements.

Residential Design Guidelines are met by enhanced visibility of the front entry from the proposed relocation of the front door and front yard modifications creating better compatibility with the homes in the surrounding area. The ADU, although not visible from the street, provides architectural interest and material consistency with the changes to the exterior of the existing home. The proposed



SECOND DWELLING FRONT ELEVATION

deck at the front of the home will provide visual relief effectively breaking up the existing 2 story façade, already stepped back in accordance with design guidelines.



**PARKING EXCEPTION:**

The applicant is requesting a parking exception to allow an existing covered carport and a new open 10x20 parking space to meet the parking requirement for a single-family residence. Additionally, the applicant is willing to convert approximately 45 lineal feet of the 75 feet of frontage back to a rock/landscape area that will not be available for parking.

Pursuant to Section 17.44.050, the Planning Commission can grant a parking exception upon the following findings:

1. *The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity.*
2. *The exception will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic safety problems will result from the proposed modification of parking standards*
3. *The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property.*

**PUBLIC NOTICE:**

Notice of this item was published in the San Luis Obispo Tribune newspaper on May 24, 2019, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

**ENVIRONMENTAL DETERMINATION:**

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1e. The exemption applies to additions to existing structures provided that the addition will not result in an increase of more than 50% of the floor area of the structures before the addition. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

**CONCLUSION:**

The project is consistent with the General Plan and Local Coastal Plan, which states that this area is a moderate density residential neighborhood. The project is consistent with the Zoning Ordinance because ADU's are allowed in residential zones as long as there is a primary dwelling unit on the site. The ADU is of a moderate size and conforms to all of the development standards of the zone.

**RECOMMENDATION:**

Staff recommends the Planning Commission approve the requested Conditional Use Permit #CUP18-07, Coastal Development Permit #CDP18-010 and Parking Exception 18-03 for the proposed new ADU, deck and slight modifications to the exterior frontage of the existing home and approve the as-built addition proposed for 982 Carmel Street,

as shown on plans submitted to the City on March 21, 2019, by adopting Planning Commission **Resolution 12-19** which includes the Findings and Conditions of Approval for approval of the project.

**EXHIBITS:**

Exhibit A – Planning Commission Resolution 12-19

Exhibit B – Graphics/Plans

# EXHIBIT A

## RESOLUTION NO. PC 12-19

### A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT CUP18-07, COASTAL DEVELOPMENT PERMIT CDP18-010 AND PARKING EXCEPTION PKG18-0-3 APPROVING THE NEW ADU, NEW DECK, NEW 137 SF ADDITION AND EXTERIOR IMPROVEMENTS AT 982 CARMEL STREET

**WHEREAS**, The Property Owner applied for a Conditional Use Permit (CUP18-07), a Coastal Development Permit (CDP18-0010) and a Parking Exception (PKG18-03) on September 19, 2018 for new construction of an ADU and deck and after-the-fact approval of a 137 square foot addition to the existing home, plus an 80 square foot bathroom in a detached building that will become part of the ADU. The parking exception is requested to allow an existing carport and a new open parking space to meet the residential parking requirement; and

**WHEREAS**, the Planning Commission of the City of Morro Bay (the "City") conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on June 4, 2019, for the purpose of considering the approval of the CUP, CDP and PKG for a proposed new ADU, a new deck and as-build approval for 2 additions completed without City of Morro Bay planning permits; and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the appellant, applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

#### California Environmental Quality Act (CEQA)

Pursuant to the California Environmental Quality Act, the project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1e. The exemption applies to additions to existing structures provided that the addition will not result in an increase of more than 50% of the floor area of the structures before the addition. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

#### Conditional Use Permit and Coastal Development Permit findings

1. The project is accessory to a primary use consistent with the Zoning Ordinance. The project is consistent with applicable provisions of the Local

## EXHIBIT A

- Coastal Program (LCP) that allows a moderate density residential. The project will not have any substantial adverse impacts on the environment or coastal resources.
2. The project is in compliance with the General Plan and certified Local Coastal Program and will not be detrimental to the health, safety, and general welfare of persons residing or working in the surrounding neighborhood.
  3. The existing non-conforming conditions are legal non-conforming resulting from the 1954 original home construction.

### Parking Exception Findings

- A. The parking exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity. The granting of the parking exception will not constitute a special privilege as the carport was original to the 1954 home and is considered legal, non-conforming and the allowance of second parking space adjacent to the carport will meet the requirement for 2 parking spaces for the primary residence; and
- B. The exception will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic safety problems will result from the proposed modification of parking standards; and
- C. The exception which would allow the carport to remain and provide for another off-street parking space is reasonably necessary for the applicant's full enjoyment of single family use similar to those upon the adjoining real property.
- D.

**Section 2: Action.** The Planning Commission does hereby approve Conditional Use Permit (CUP18-07), Coastal Development Permit (CDP18-010) and Parking Exception (PKG18-03) subject to the following conditions:

### **STANDARD CONDITIONS:**

1. Permit: Conditional Use Permit (CUP18-07), Coastal Development Permit (CDP18-010) and Parking Exception (PKG18-03) approve a new ADU, a new deck and after-the-fact approval of 2 additions to the existing home that were done without a permit. The site is zoned R-1. The project is not located within the Coastal Commission appeals jurisdiction.
2. Inaugurate Within Two Year: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this approval and is diligently pursued thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Said extensions may be granted by the Director, upon finding that the project complies with all applicable provisions

## EXHIBIT A

of the Morro Bay Municipal Code, General Plan and Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

3. Changes: Any minor change may be approved by the Community Development Director. Any substantial change will require the filing of an application for an amendment.
4. Compliance with the Law: All requirements of any law, ordinance or regulation of the State of California, City of Morro Bay, and any other governmental entity shall be complied with in the exercise of this approval.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: Compliance with and execution of all conditions listed hereon shall be necessary, unless otherwise specified, prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Planning and Building Director and/or as authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the Morro Bay Municipal Code and is a misdemeanor.
7. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
8. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the Morro Bay Municipal Code and shall be consistent with all programs and policies contained in the certified Coastal Land Use plan and General Plan for the City of Morro Bay.

### **PLANNING DEPARTMENT CONDITIONS:**

1. Parking on-site: Parking on site can only occur within the designated parking spaces or within the driveway area. No parking shall occur within the rocky landscape area as shown in the approved plans.
2. Carport: The carport shall remain open on the three sides not adjacent to the dwelling unit. All coverings on the carport shall be removed.

## EXHIBIT A

3. Landscaping: The landscape and irrigation plan shall be designed in accordance with the State Department of Water Resources Model Efficient Landscape Ordinance as applicable.

### **BUILDING DEPARTMENT CONDITIONS:**

#### **A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:**

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
6. A soils investigation performed by a qualified professional shall be required for this project. All cut, and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.

## EXHIBIT A

7. **BUILDING PERMIT APPLICATION.** To apply for building permits, submit three (3) sets of construction plans to the Building Division.
8. The Title sheet of the plans shall include:
  - a. Street address, lot, block, track and Assessor Parcel Number.
  - b. Description of use.
  - c. Type of construction.
  - d. Maximum Height of the building allowed and proposed.
  - e. Floor area of the building(s).
  - f. Vicinity map.
  - g. Minimum building set back per zoning designation or conditional use approval.

All construction will conform to the 2016 California Building Code (CBC), 2016 California Residential Code (CRC), 2016 California Fire Code (IFC), 2016 California Mechanical Code (CMC), 2016 California Plumbing Code (CPC), 2016 California Electrical Code (CEC), 2016 California Energy Code, 2016 California Green Code (CGBC), and Accessibility Standards where applicable and all City codes as they apply to this project.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

### **B. CONDITIONS TO BE MET DURING CONSTRUCTION:**

1. **SITE MAINTENANCE.** During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
2. **ARCHAEOLOGICAL MATERIALS.** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.

## EXHIBIT A

3. A licensed surveyor or engineer shall verify pad elevations, setbacks, prior to foundation inspection, and/or building height prior to framing inspection when determined necessary by the Planning Division.

### **C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:**

1. Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.
2. Title 24 form(s) 2F-6R (Certificate of installation) for building, mechanical, electrical and plumbing systems.

### **PUBLIC WORKS CONDITIONS:**

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website [www.morro-bay.ca.us/EZmanual](http://www.morro-bay.ca.us/EZmanual) Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. All proposed projects must complete the "SFR Performance Requirement Determination Form" to prove compliance.
2. Sediment Control Plan: Show on plans sediment control measures at location where new connection to ADU will be added. Show on plans the control measures to provide protection to prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
3. Allen Block Wall: Survey sheet shows existing garden wall (on west side of residence) extending into the City right-of-way. The portion of the wall extending into the right-of-way will need to be removed or a "Special Encroachment Permit" (\$1,542 fee) needs to be requested. For a "Special Encroachment Permit", submit fee payment and an 8.5"x11" size exhibit. Exhibit shall show the plan layout of the frontage and garden wall. Label and dimension garden wall portion going into the City right-of-way, the right-of-way width and street.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an

## EXHIBIT A

encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.

### **FIRE DEPARTMENT CONDITIONS:**

1. Use of Extension Cords: Extension cords shall not be used as a substitute for permanent wiring (CFC 8506.1).

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 4th day of June 2019 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Chairperson Gerald Luhr

ATTEST

\_\_\_\_\_  
Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted on this 4th day of June 2019.

All design and ideas on these drawings are for use on the specified project and are not to be duplicated or published in any form without the written consent of AMG Drafting + Design

Ph. (559) 308-8101  
amgdrafting@att.net  
Alex M. Guzman



REVISIONS
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SECOND DWELLING UNIT FOR:	HADI HOBAB
982 CARMEL STREET MORRO BAY CA 93442	

Date:	JUL/2018
Drawn by:	AM
Checked by:	AMG
Scale:	1" = 8'
Job #	18-033
Sheet	

G.1

PROPOSED ACCESSORY UNIT

SITE DATA:

OWNER: HADI HOBAB  
982 CARMEL STREET  
MORRO BAY, CA. 93442  
805-538-0523

PROJECT ADDRESS: 982 CARMEL STREET  
MORRO BAY CA 93442

ZONING: R-1  
A.P.N. 066-204-009  
PARCEL SIZE: 5,200 S.F. (0.119 AC)

EXISTING FIRST FLOOR: 807 S.F.  
FIRST FLOOR ADDITION: 137 S.F.  
EXISTING SECOND FLOOR: 263 S.F.  
PROPOSED ACCESSORY UNIT: 409 S.F.  
TOTAL LIVING AREA: 1,616 S.F.  
PROPOSED BALCONY AREA: 31.1%  
TOTAL LOT COVERAGE AREA: 25' TABLE 504.3 CBC 2016  
BUILDING HEIGHT ALLOWABLE: 2,047 S.F.  
EXISTING IMPERVIOUS AREA:

SHEET INDEX

- G.1 - PROJECT DATA, NOTES & SITE PLAN
- A.1 - FLOOR & FOOTING PLAN
- A.2 - EXTERIOR ELEVATIONS
- S.1 - ROOF & FLOOR FRAMING PLAN
- E.1 - ELECTRICAL & MECHANICAL PLAN
- A.1.1 EXISTING FIRST FLOOR PLAN & BALCONY FLOOR/FOUNDATION PLANS
- S.3.1 BALCONY FLOOR FRAMING PLANS
- S.4 - FOUNDATION PLAN - ADDITION
- D.1 - TYPICAL FRAMING DETAILS
- T.1 - ENERGY REPORT (T-24)
- T.2 - MANDATORY MEASURES & GREEN CODE MANDATORY MEASURES

GENERAL NOTES:

1. These drawings and copies thereof are legal instruments of service for the use of the owner and authorized agents, on the designated property only.
2. Dimensions, grade, and details shall be verified prior to commencement of construction. Typical details apply where specific details are not given.
3. All trades shall be responsible for knowledge of relative information contained in these documents and the conditions under which they will be expected to perform.
4. Deviations from these documents necessitated by field conditions shall be brought to the attention of the general contractor immediately.
5. All construction shall conform with the current building codes and all laws and ordinances of the agencies having jurisdiction and shall include but not be limited to title 24 and 2016 CBC, CRC 2016, & 25 CCR CHAPTER 2 & 2.1.

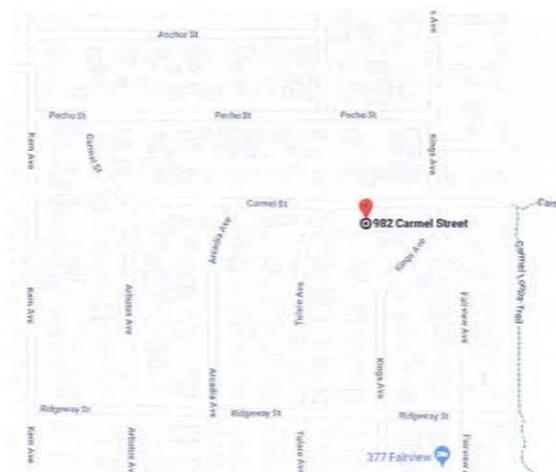
NOTE:  
EXISTING WALLS AND GATES AT CARPORT TO BE REMOVED

CITY NOTES:

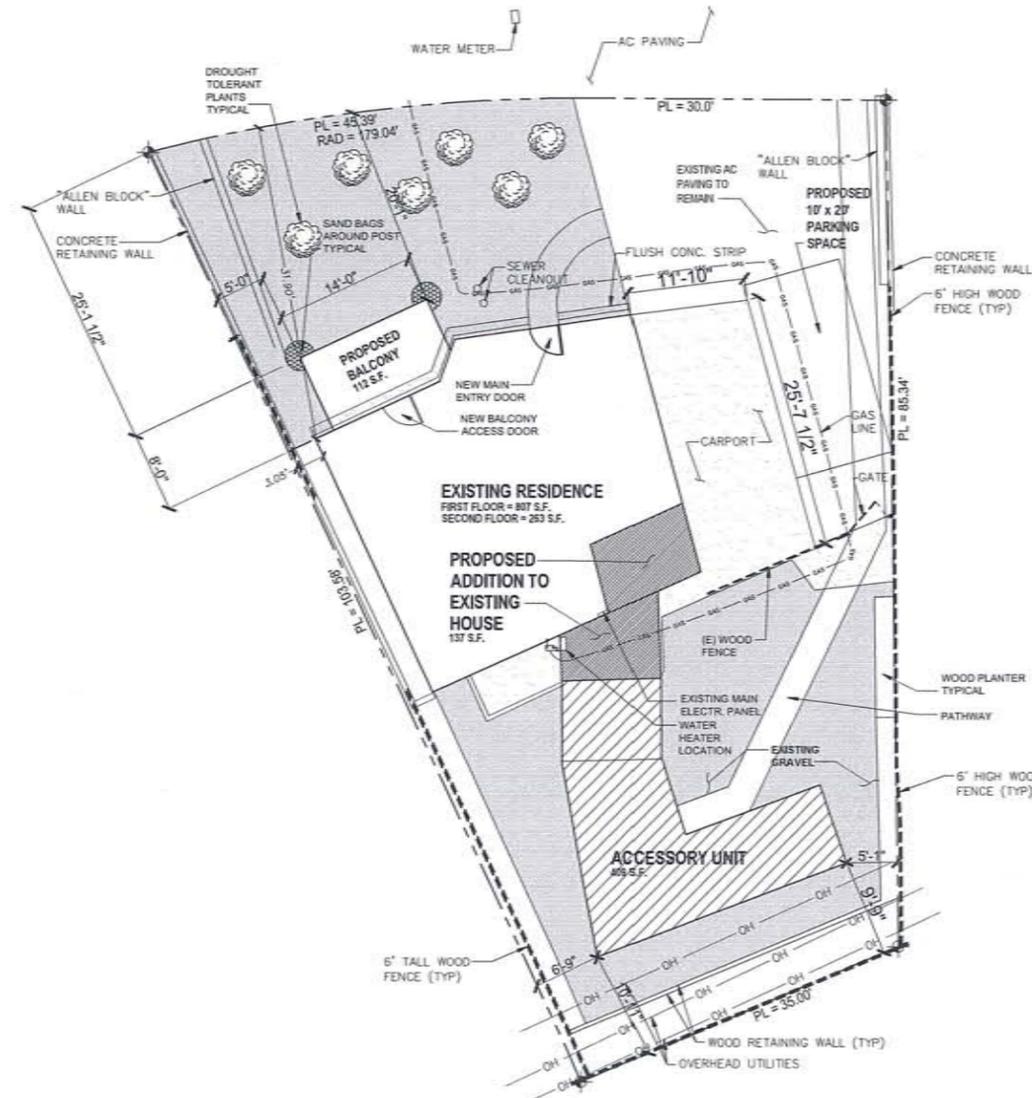
1. Any damage, as a result of construction operations for this project, to City Facilities, i.e. curb/barr, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the city's right of way without an encroachment permit. Encroachment permits are available at the city of Morro Bay Public Works office located at 955 Shasta Ave. The encroachment permit shall be issued concurrently with the building permit.

ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE LATEST EDITION THESE CODES, STANDARDS, REFERENCES, ETC. AS ADOPTED AND AMENDED BY AUTHORITY HAVING JURISDICTION AND/OR BE ADJUSTED TO CONFORM WITH ANY AND ALL APPLICABLE CODES. CONTRACTOR AND/OR SUBCONTRACTOR SHALL MAKE THEMSELVES AWARE OF THESE CODES, STANDARDS, REFERENCES, ETC. AND NOTIFY THE OWNER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND/OR SPECIFICATIONS PRIOR TO ORDERING AND/OR INSTALLATION OF THEIR WORK PRODUCT. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA ENERGY CODE (CEC)
- 2016 CALIFORNIA FIRE CODE (CFC)
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS)
- 2016 CALIFORNIA REFERENCED STANDARDS CODE

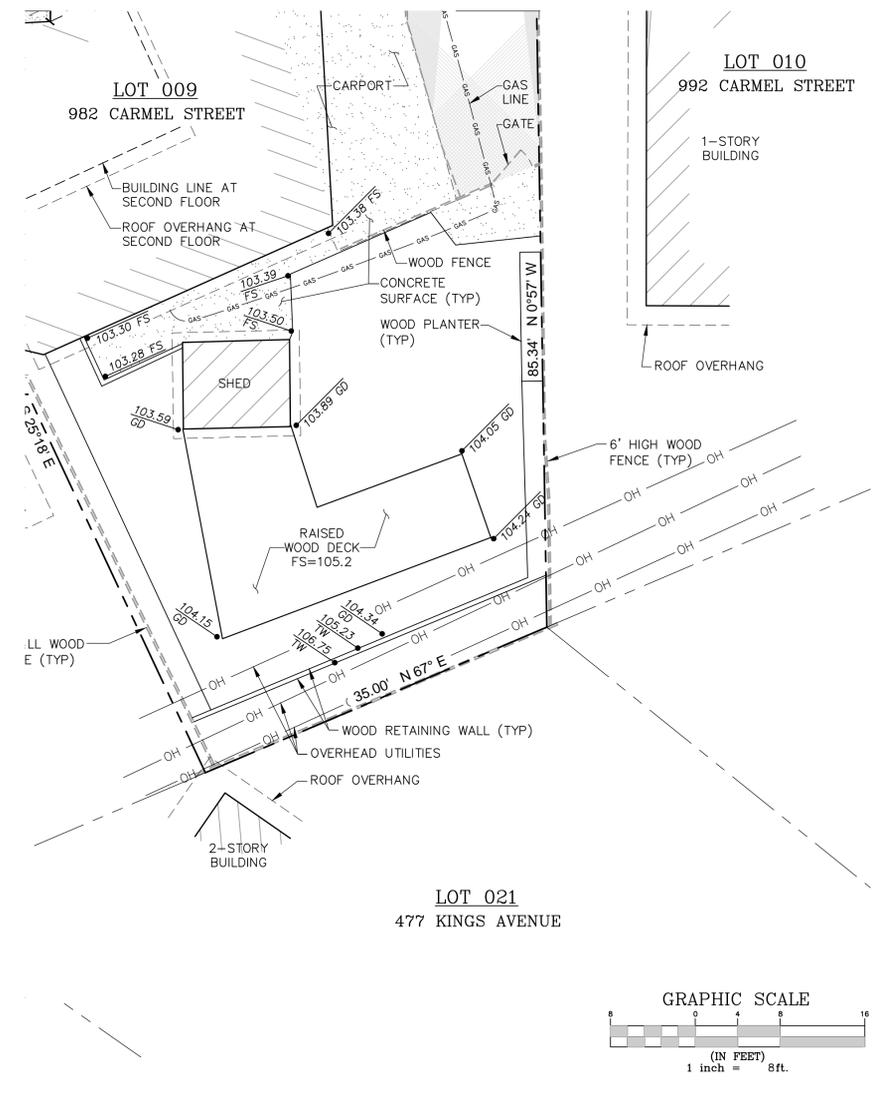


VICINITY MAP  
N.T.S.



SITE PLAN

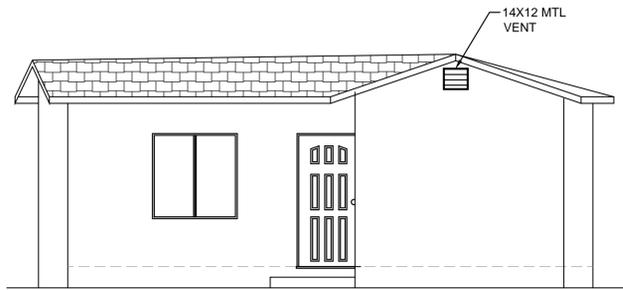




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 DRAWN BY: SCH  
 DATE: 11/15/18

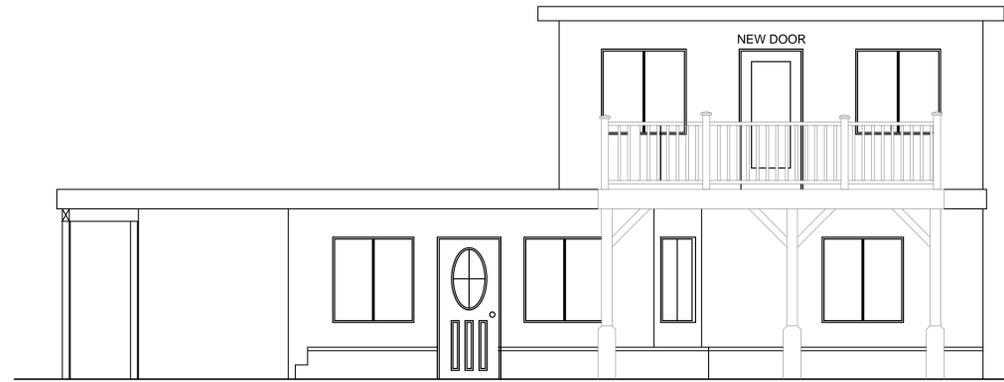
**SITE SURVEY**  
 982 CARMEL STREET  
 MORRO BAY, CA  
 ASSESSORS PARCEL NUMBER: 066-204-009

1  
 1

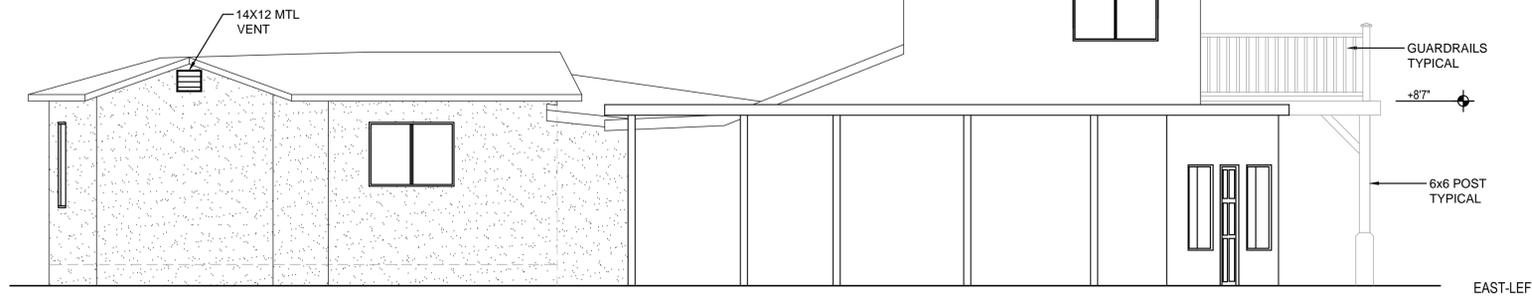


NORTH-FRONT

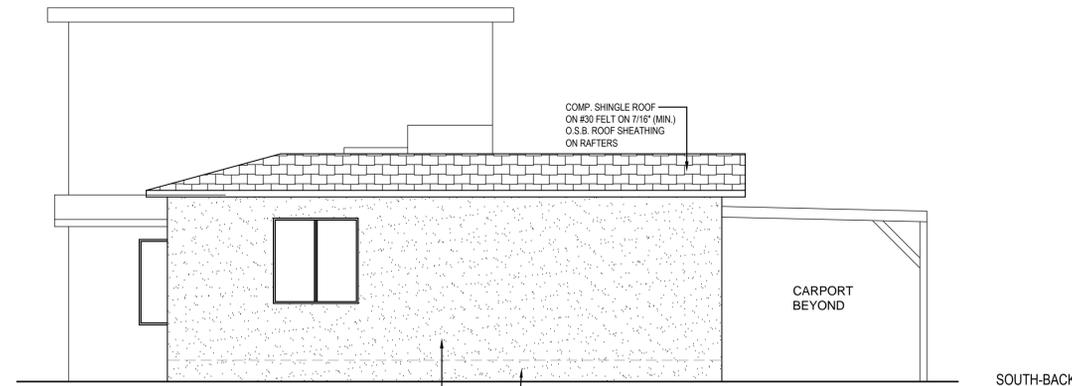
SECOND DWELLING FRONT ELEVATION



NORTH-FRONT



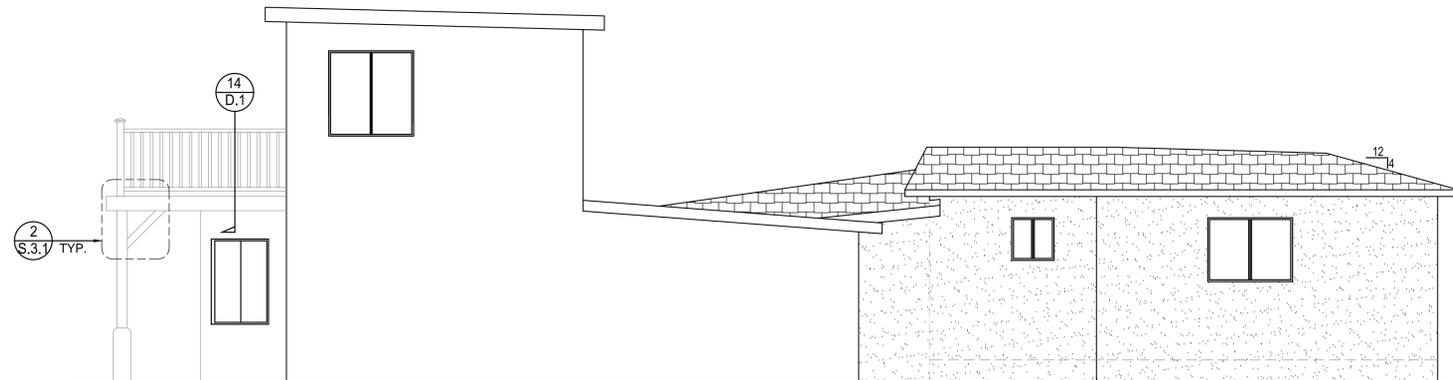
EAST-LEFT



SOUTH-BACK

3 COAT (7/8") STUCCO ON INTEGRAL WIRE MESH/BUILDING PAPER. PROVIDE 2 LAYERS OF GRADE "D" PAPER UNDER STUCCO WHEN APPLIED OVER O.S.B. SHEATHING- SEE BRACED WALL PANEL PLAN

PROVIDE CONC. G.I. MTL. WEEP SCREED @ MIN. 6" TO FIN. GRADE & 2" TO CONC. FLAT WORK, TYP. @ ALL STUCCO AREAS. SEE 16/0.1



WEST-RIGHT

EXTERIOR ELEVATION

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amgdrafting@att.net  
Alex M. Guzman



REVISIONS

SECOND DWELLING UNIT FOR:  
**HADI HOBAB**

982 CARMEL STREET MORRO BAY CA 93442

Date: JUL/2018  
Dwn. by: AM  
Chk. by: AMG  
Scale: 1/4" = 1'-0"  
Job # 18-033  
Sheet

A.2

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Date: JUL/2018  
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Chk. by: AMG  
Scale: 1/4" = 1'-0"  
Job # 18-033  
Sheet

S.1

LUMBER SCHEDULE			
ID	SIZE	SPECIE/ GRADE	SPACING
STUDS	2X	DF #2 (OR BETTER)	16" O.C.
TOP PLATE	DBL. 2X	DF #2 (OR BETTER)	
HEADERS	4X, 6X	DF #2 (OR BETTER)	U.N.O.
BEAMS	4X	DF #2 (OR BETTER)	U.N.O.
SILL PLATE	2X PT	DF #2 (OR BETTER)	

TABLE R602.5.1(1) RAFTER SPAN FOR COMMON LUMBER SPECIES (ROOF LIVE LOAD = 20 PSF, NOT CEILING ATTACHED TO RAFTERS, L/D = 180)					
RAFTER SPACING (inches)	SPECIES AND GRADE	DEAD LOAD = 10 psf			
		2 x 6	2 x 8	2 x 10	2 x 12
24	Douglas fir-larch SS	9-7	10-9	12-10	13-9
	Douglas fir-larch #1	8-7	10-0	11-10	12-9
	Douglas fir-larch #2	8-7	12-6	15-10	18-0

LUMBER SCHEDULE			
ID	SIZE	SPECIE/ GRADE	SPACING
STUDS	2X	DF #2 (OR BETTER)	16" O.C.
TOP PLATE	DBL. 2X	DF #2 (OR BETTER)	
HEADERS	4X, 6X	DF #2 (OR BETTER)	U.N.O.
BEAMS	4X	DF #2 (OR BETTER)	U.N.O.
SILL PLATE	2X PT	DF #2 (OR BETTER)	

TABLE R602.4(1) CEILING JOIST SPANS FOR COMMON LUMBER SPECIES (Uninhabitable attics without storage, LIVE LOAD = 10 PSF, L/D = 240)					
CEILING JOIST SPACING (inches)	SPECIES AND GRADE	DEAD LOAD = 5 psf			
		2 x 6	2 x 8	2 x 10	2 x 12
24	Douglas fir-larch SS	10-9	12-6	15-1	18-0
	Douglas fir-larch #1	10-0	12-6	15-1	18-0
	Douglas fir-larch #2	9-9	12-9	15-7	18-1

TABLE R502.3.1(2) FLOOR JOIST SPANS FOR COMMON LUMBER SPECIES (Residential living areas, LIVE LOAD = 40 PSF, L/D = 360)					
FLOOR JOIST SPACING (inches)	SPECIES AND GRADE	DEAD LOAD = 10 psf			
		2 x 6	2 x 8	2 x 10	2 x 12
16	Douglas fir-larch SS	10-4	13-7	17-4	21-1
	Douglas fir-larch #1	9-11	13-1	16-6	19-1
	Douglas fir-larch #2	9-9	12-9	15-7	18-1

UNDER FLOOR VENTILATION REQUIREMENTS:  
PROVIDE MIN. 1 1/2" SQ. FT. FOR EA. 25 LIN. FT. OF EXTERIOR WALL. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. FOR EA. 150 SQ. FT. OF UNDER-FLOOR AREA. OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL. THE REQUIRED AREA OF SUCH OPENINGS SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES. OPENINGS SHALL BE COVERED W/CORROSION RESISTANT WIRE MESH W/MESH OPENINGS OF 1/4" IN DIMENSION. (TYP.)

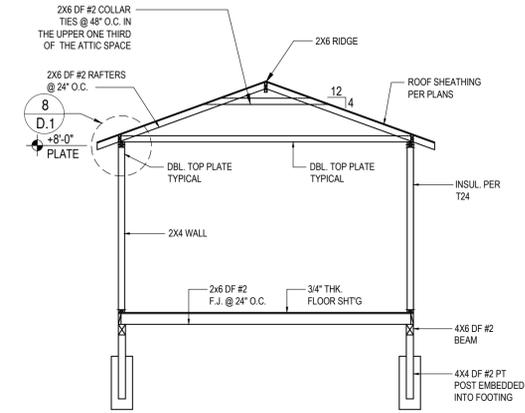
UNDER FLOOR VENTILATION CALCS. (BEDROOM, PHASE-I)

360 SQ. FT. / 150 = 2.67 SQ. FT. X 144 = 386 SQ. IN REQ'D.  
(7) 14"x6" UNDER FLOOR VENT W/52 SQ. IN. EA. = 364 SQ. IN. PROVIDED

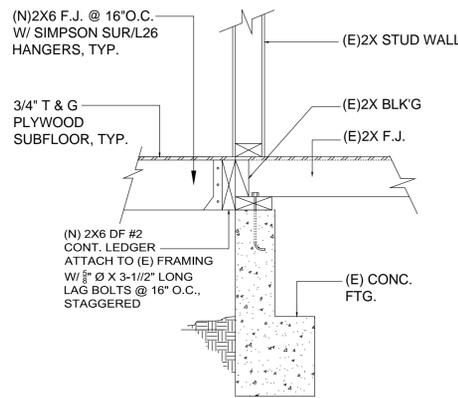
**ATTIC VENT CALCS.**

VENT REQUIREMENTS NOTES:  
THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 40% & NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATOR LOCATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATING PROVIDED BY EAVE OR CORNICE VENTS.  
ALTERNATIVE FOR 1/300 WITH CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.  
R603.3 WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. PROVIDE A MINIMUM 1 INCH AIR SPACE BETWEEN INSULATION & ROOF SHEATHING AT THE VENT(S). INSTALL 4 FT. LONG MINIMUM Baffles WHERE CORNICE OR EAVE VENTS ARE INSTALLED. 1/16" MINIMUM, 1/4" MAXIMUM MESH AT ALL ATTIC VENTS, INCLUDING CONTINUOUS VENTS.  
350 S.F. TOTAL ATTIC AREA = 150x144 = 336 SQ. IN. REQ'D

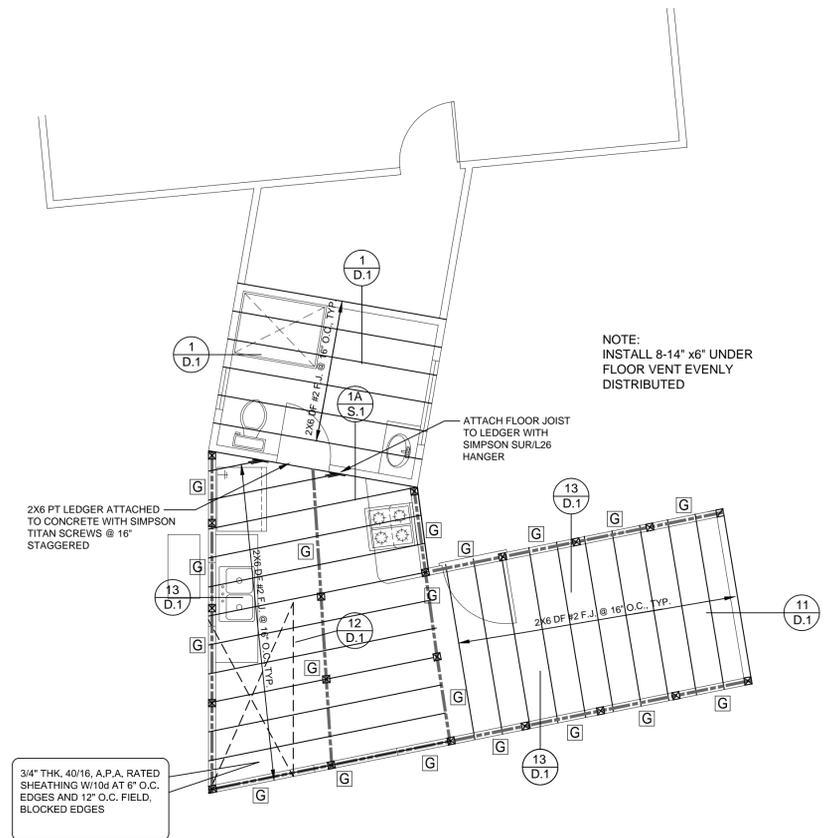
- (1) CONSTRUCTION METAL INC. 14X24 VENTS (147 S.I. EACH) =
- (1) CONSTRUCTION METAL INC. 14X18 VENTS (110 S.I. EACH) =
- (2) CONSTRUCTION METAL INC. 14X12 VENT ( 93 S.I. EACH) = 186 S.I.
- ( ) CONSTRUCTION METAL INC. BH24 LOW PROFILE VENT (100 S.I. EACH) =
- ( ) O'HAGIN LOW PROFILE VENT (MODEL #NFVA. 72 S.I. EACH) =
- (4) CONSTRUCTION METAL INC. EAVE VENTS (43 S.I. EACH) = 172 S.I.
- TOTAL PROVIDED = 358 S.I.



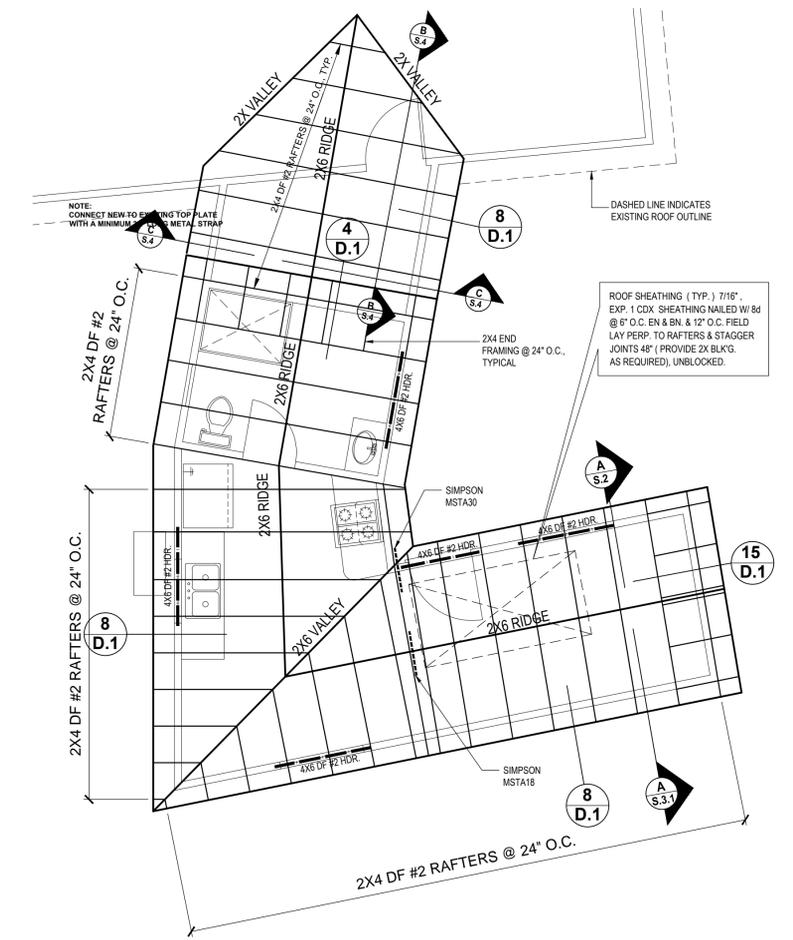
A - SECTION



1A - LEDGER CONNECTION



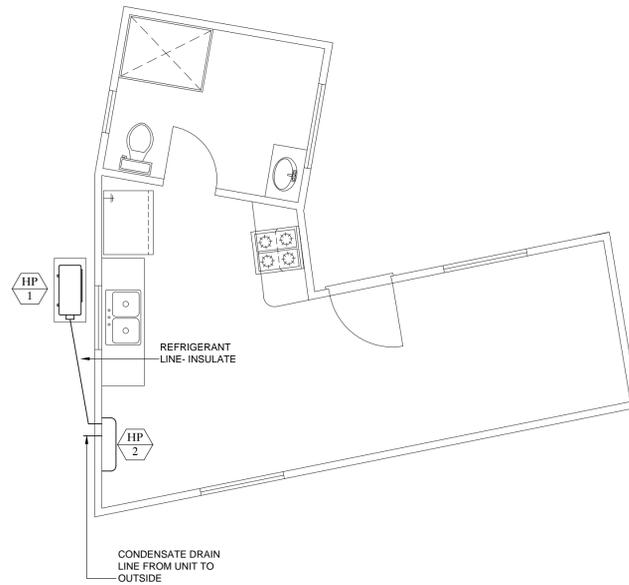
FLOOR FRAMING PLAN



ROOF FRAMING PLAN

**HVAC SCHEDULE**

EQUIP #	ITEM	WT (LBS)	DESCRIPTION
HP 1	FLEXI MULTI INVERTER OUTDOOR UNIT	68	GREE NEO18HP230V1A HEAT PUMP. HEATING: 23,000 BTUH ; COOLING: 21,400,000 TOTAL, 18.0 SEER, 12.0 EER, 15.0 AMPS, (MAX).
HP 2	INDOOR UNIT	20	GREE NEO18HP230V1A HEAT PUMP. HEATING: 23,000 BTUH ; COOLING: 21,400,000 TOTAL, 18.0 SEER, 12.0 EER, 15.0 AMPS, (MAX).
EF 1	INTERMITTENT EXHAUST FAN		NUTONE HD50NT (OR EQUAL)- 50 CFM, 1.5 (3.0 MAX.) SONES WITH BACKDRAFT DAMPER, 4" DIA. FLEX DUCT WITH CAP TO OUTSIDE



PROPOSED MECHANICAL PLAN

**ELECTRICAL LEGEND**

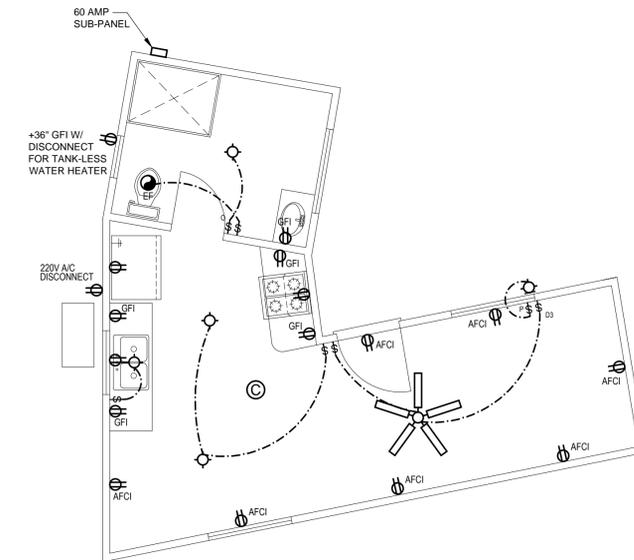
- Ⓢ COMBINATION CARBON MONOXIDE & SMOKE ALARM KIDDE MODDEL 210006377 OR EQUAL
- Ⓢ P MANUAL ON & OFF SWITCH WITH PHOTOCONTROL AND MOTION SENSOR
- Ⓢ 0 SWITCH WITH OCCUPANCY SENSOR
- Ⓢ 0.3 3-WAY SWITCH WITH DIMMER CONTROL
- Ⓢ D SWITCH WITH DIMMER CONTROL
- EF ● NUTONE HD50NT (OR EQUAL)- 50 CFM, 1.5 (3.0 MAX.) SONES WITH BACKDRAFT DAMPER, 4" DIA. FLEX DUCT WITH CAP TO OUTSIDE
- ⊙ WALL MOUNTED HIGH EFFICACY LIGHT FIXTURE
- GFI GROUND FAULT INTERRUPT CIRCUIT @ +42" IN BATHS AND GARAGES AND +48" IN KITCHENS
- AFCI ARCH FAULT CIRCUIT INTERRUPT
- SD SMOKE ALARM/DETECTOR (KIDDE MODEL 21007915 OR EQUAL APPROVED)
- WP-GFCI GROUND FAULT CIRCUIT INTERRUPT WITH WATER PROOF COVER
- LED LIGHT FIXTURE

**ELECTRICAL NOTES**

- SMOKE ALARMS SHALL BE INSTALLED PER CRC SECTION R314 (VERIFY)
- SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH SLEEPING ROOM.
  - SMOKE DETECTORS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
  - ALARMS SHALL BE HARD WIRED INTO THE ELECTRICAL SYSTEM INTERCONNECTED TO SOUND SIMULTANEOUSLY AND SHALL BE EQUIPPED WITH A BATTERY BACK -UP.
  - MULTI-PURPOSE CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH SECTION R315 AND ALL APPLICABLE STANDARDS FOR LISTING AND APPROVAL BY THE STATE FIRE MARSHALL. (CRC R315.1.5.
  - ALL SMOKE DETECTORS SHALL BE DIRECT WIRED, INTERCONNECTED, SHALL EQUIPPED WITH A BATTERY BACKUP AND SHALL EMIT A SIGNAL WHEN THE BATTERY LEVEL IS LOW. 2013 CEC R314.4
  - SMOKE ALARMS AND CARBON MONOXIDE SENSORS SHALL NOT BE INSTALLED WITHIN 36" OF SUPPLY AND RETURN REGISTERS. (NFPA 72, SECTION 29.8.3.4(6) & (7).
  - SMOKE ALARMS SHALL BE INSTALLED MINIMUM OF 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
  - INSTALLATION NEAR BATHROOMS SHALL BE NOT LESS THAN 3 FEET HORIZONTALLY DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT REQUIRED BY OTHER SECTIONS OF THIS CODE.
  - HIGHEST PORTION OF A SLOPE OR WITHIN 12 INCHES OF THE HIGHEST POINT OF A COFFER CEILING.

**CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER CRC SECTION R315 (VERIFY)**

- CARBON MONOXIDE SENSOR SHALL BE INSTALLED
- OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- MULTI-PURPOSE CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH SECTION R315 AND ALL APPLICABLE STANDARDS FOR LISTING AND APPROVAL BY THE STATE FIRE MARSHALL. (CRC R315.1.5.
- ALL CARBON MONOXIDE ALARMS ARE REQUIRED TO BE INTERCONNECTED AND EQUIPPED WITH A BATTERY BACKUP. 2013 CEC R315.1.2.



PROPOSED ELECTRICAL PLAN

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REVISIONS

SECOND DWELLING UNIT FOR:

**HADI HOBAB**

982 CARMEL STREET MORRO BAY CA 93442

Date: JUL/2018  
Dwn. by: AM  
Chk. by: AMG  
Scale: 1/4" = 1'-0"  
Job # 18-033  
Sheet

E.1

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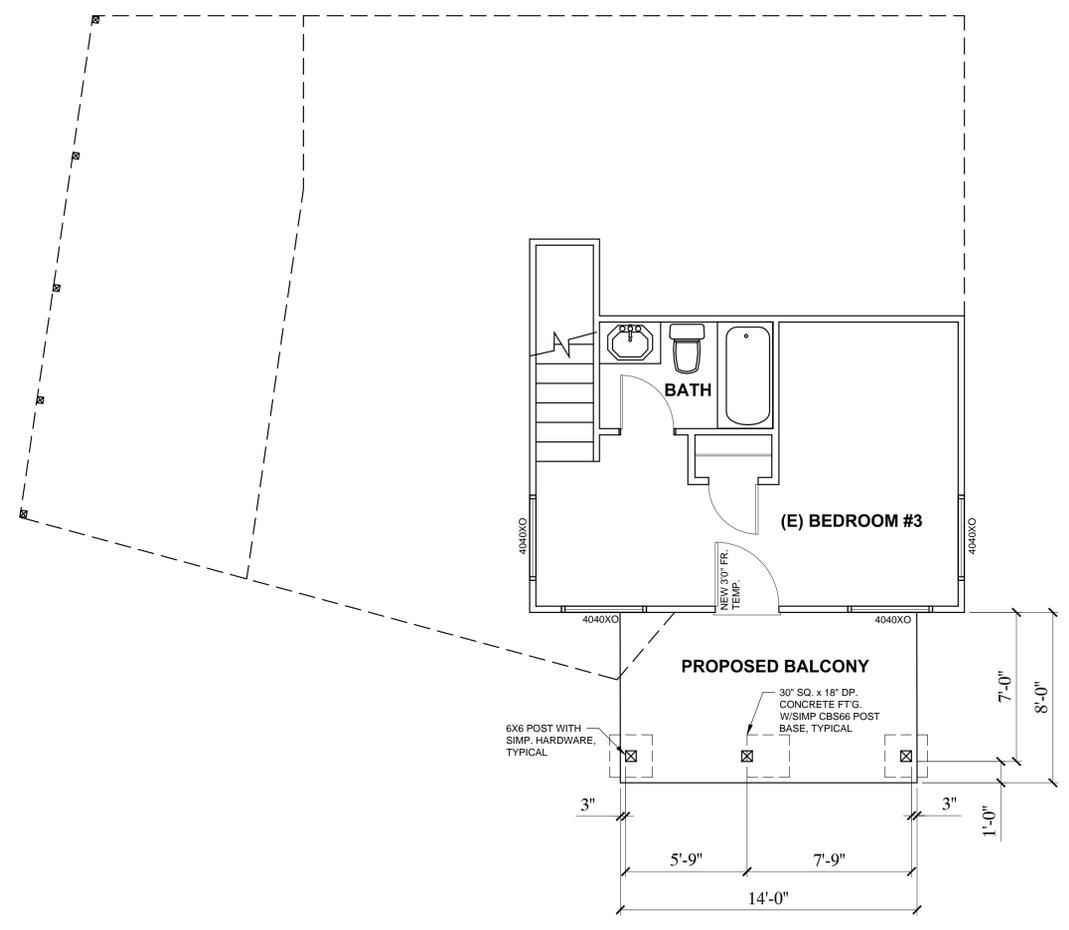
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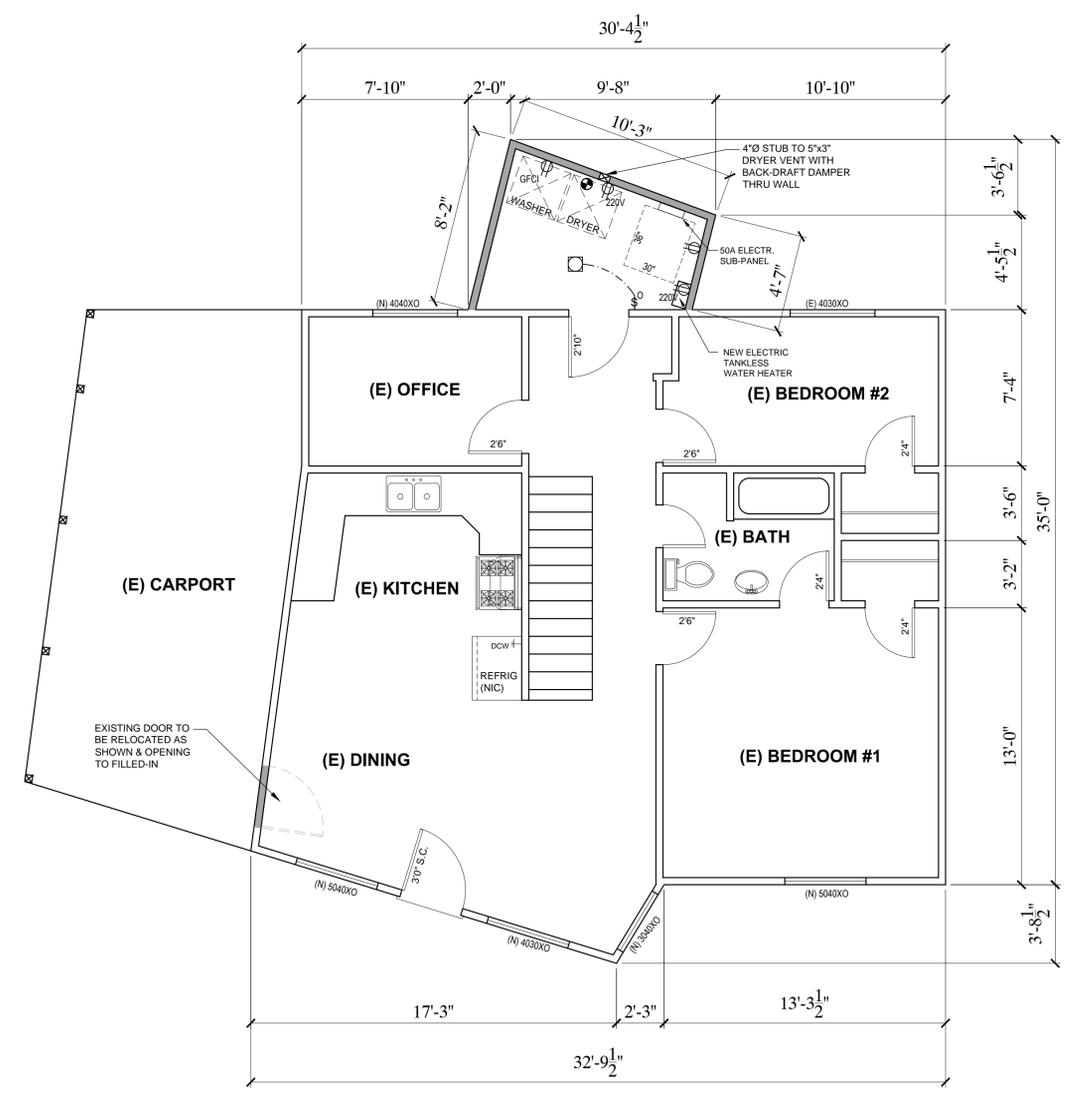
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A.1.1

WALL LEGEND	
	NEW 2X4 DF #2 OR BETTER STUDS @ 16" O.C.
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED



PROPOSED FLOOR/FOOTING PLAN (BALCONY)



EXISTING FIRST FLOOR PLAN (MAIN RESIDENCE)



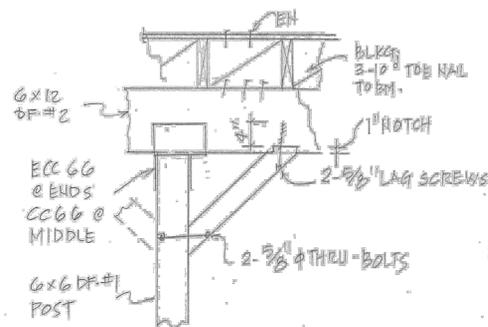
REVISIONS

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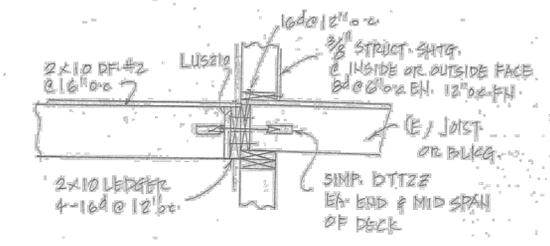
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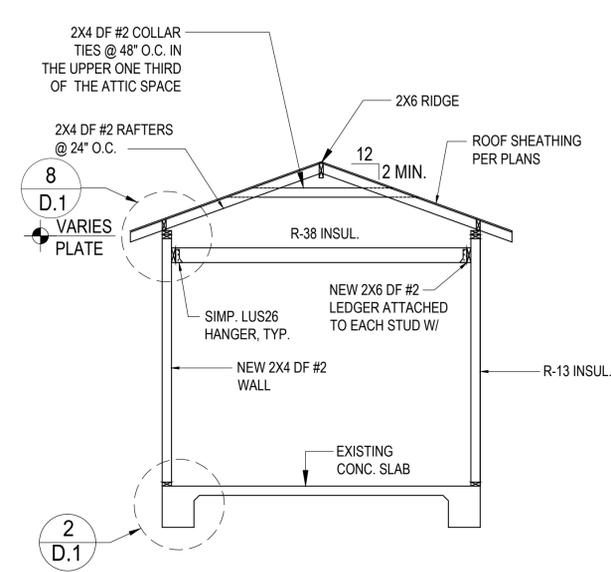
S.3.1



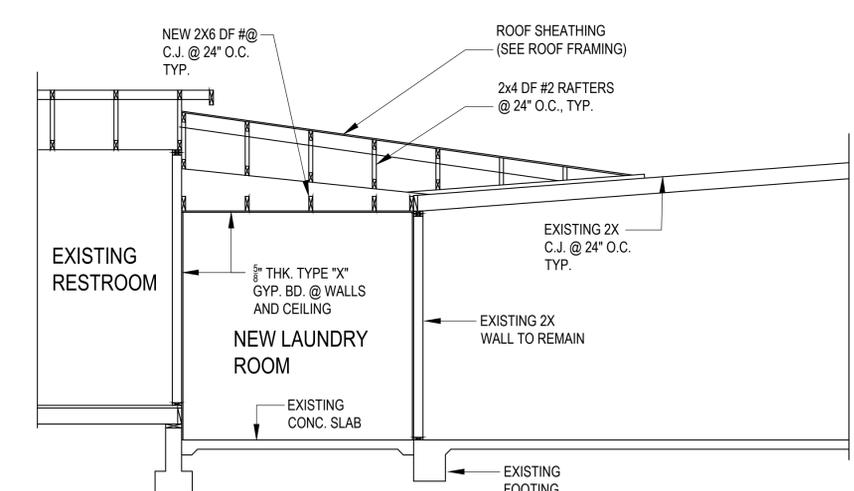
2 - POST/BEAM POST CONNECTION



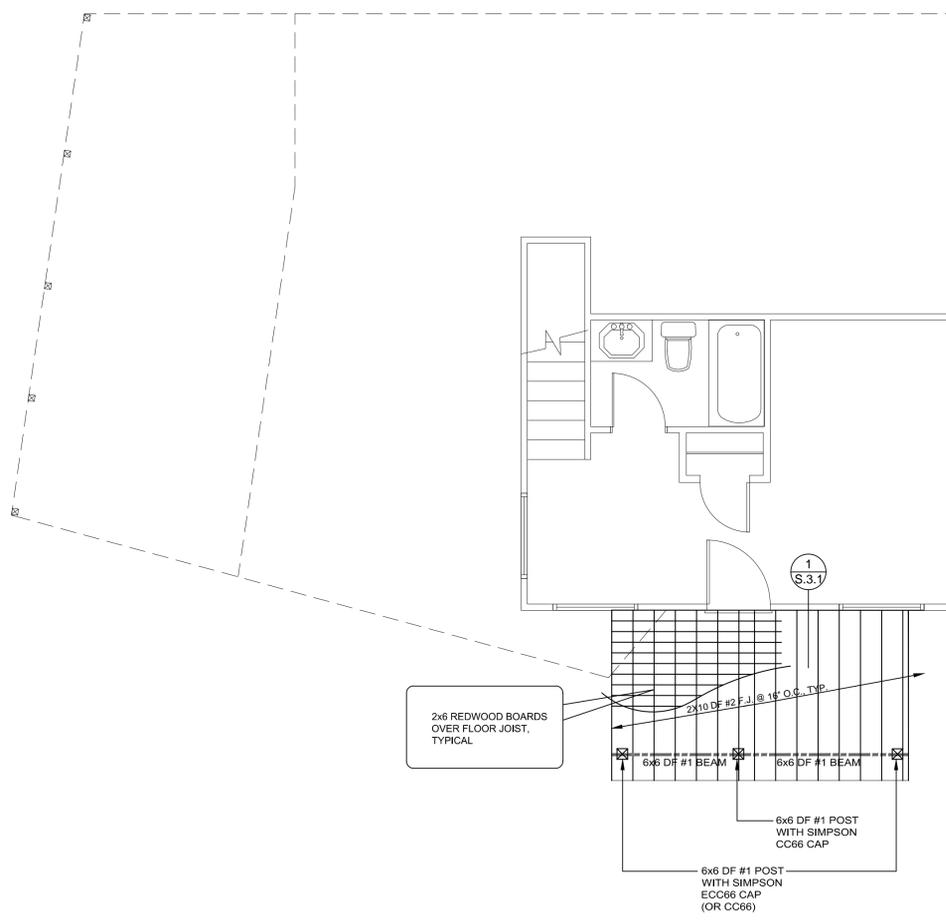
1 - FLOOR JOIST STRAPPING



C - SECTION



B - SECTION



FLOOR FRAMING PLAN (BALCONY)

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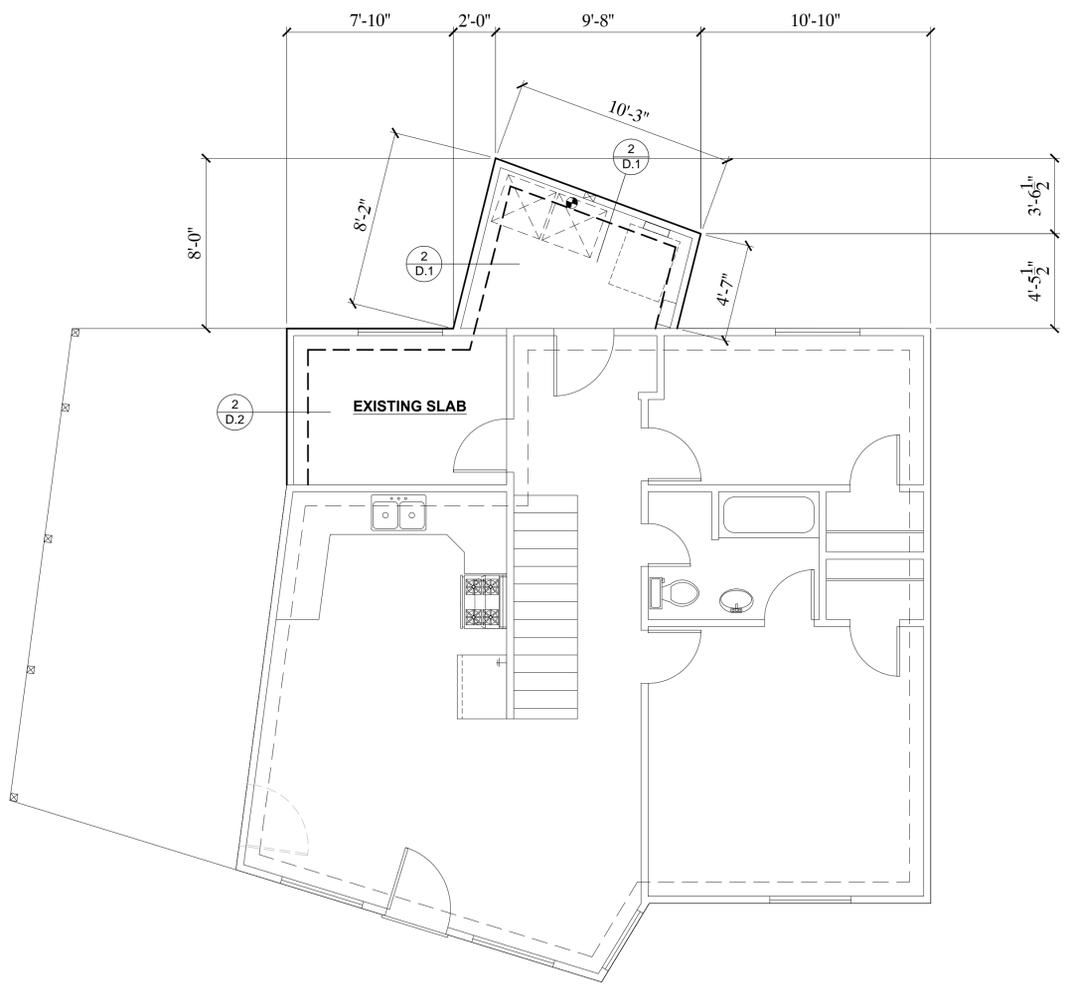


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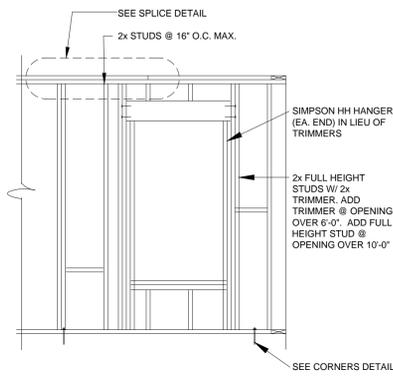
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S.4



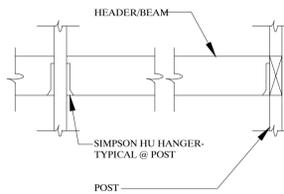
FOUNDATION PLAN



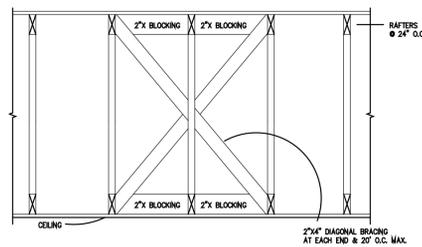
SEE FASTENING SCHEDULE

HEADER SCHEDULE (1)		
SPAN	BEARING (1)	NON-BEARING (1)
UP TO 4'-0"	4x6	4x4
4'-1" TO 8'-0"	4x8	4x6
8'-1" TO 10'-0"	4x10	4x8
10'-0" TO 12'-0"	4x12	4x10

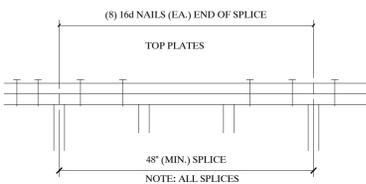
- HEADERS TO BE SAME WIDTH AS STUDS OR MULTIPLE 2X'S.
- DEPTH SHOWN IS NOMINAL SIZE.
- ALL HEADER TO BE D.F. #2 (U.O.N.)



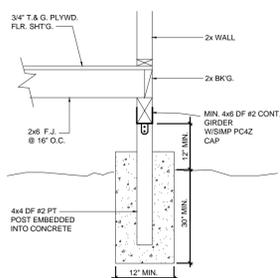
4 - TYPICAL WALL FRAMING



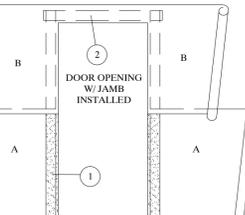
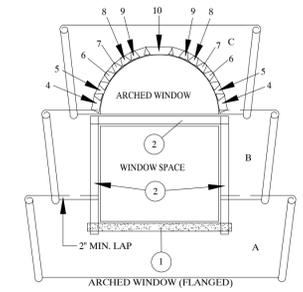
7 - ROOF/FLOOR NAILING



10 - PLATE SPLICE



13 - GIRDER/POST/FOOTING PERPENDICULAR

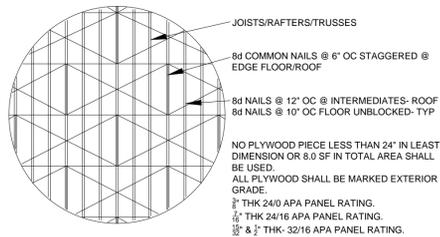


EXTERIOR DOOR OPENING WITH JAMB INSTALLED, STUCCO MOLD OR TRIM AFTER FLASHING.

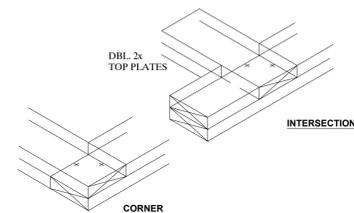
APPLIES AT THE FOLLOWING CONDITIONS:  
 ALL STUCCO APPLICATIONS & SIDING WHERE SIDING IS NOT ITS OWN WEATHER-RESISTIVE BARRIER PER R.I.C. SECTION 12.01.  
 1. INSTALL MIN. 6\"/>



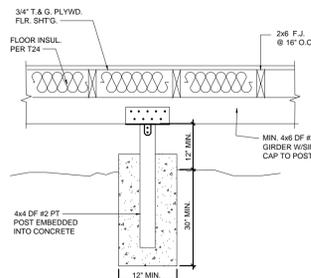
3 - WINDOW/DOOR FLASHING



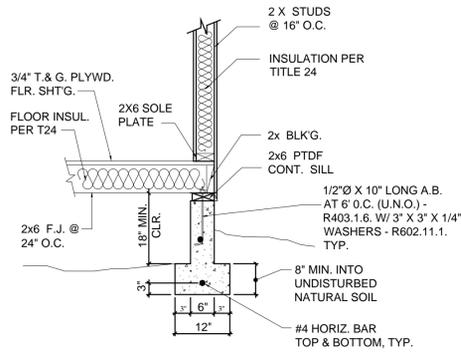
6 - CROSS BRACING



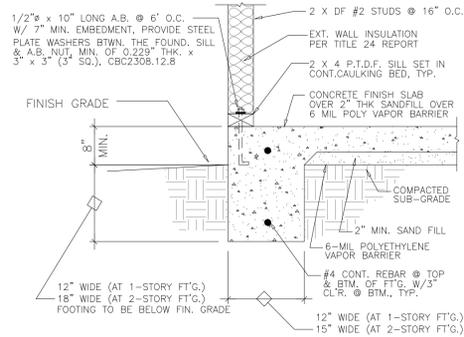
9 - PLATE CORNERS



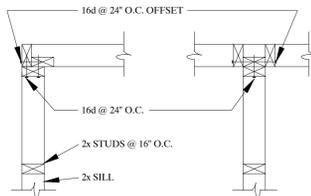
12 - GIRDER/POST/FOOTING PARALLEL



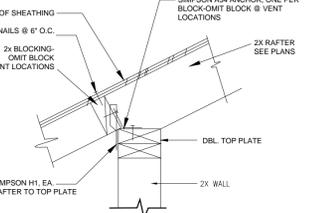
1 - FOOTING



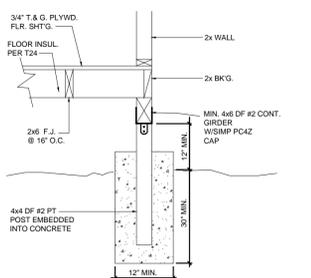
2 - EXTERIOR FOOTING



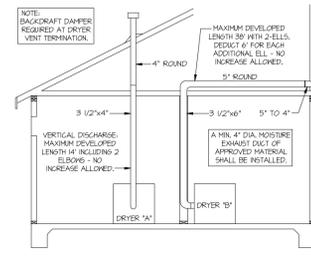
5 - WALL CORNERS



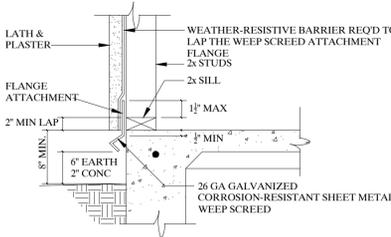
8 - RAFTER/WALL DETAIL



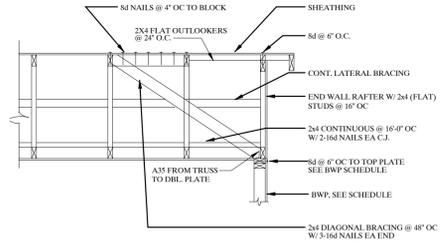
11 - GIRDER/POST/FOOTING PARALLEL



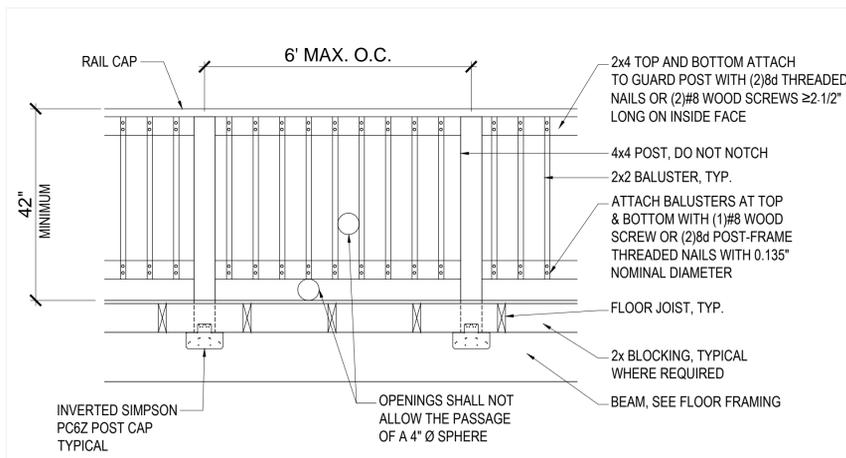
16 - WEEP SCREED



15 - TYPICAL END WALL FRAMING



15 - TYPICAL END WALL FRAMING



14 - GUARDRAIL

TABLE R602.3(1)			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER <sup>(a,b,c,d)</sup>	SPACING OF FASTENERS
<b>ROOF</b>			
1	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d (2 <sup>1/2</sup> "x0.113")	
2	CEILING JOISTS TO PLATE, TOE NAIL	3-8d (2 <sup>1/2</sup> "x0.113")	
3	CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, FACE NAIL	3-10d	
4	COLLAR TIE RAFTER, FACE NAIL, OR 1 <sup>1/2</sup> "x20 GAGE RIDGE STRAP	3-10d (3 <sup>1/2</sup> "x0.128")	
5	RAFTER TO PLATE, TOE NAIL	2-16d (3 <sup>1/2</sup> "x0.135")	
6	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTER; TOE NAIL; FACE NAIL	4-16d (3 <sup>1/2</sup> "x0.135") 3-16d (3 <sup>1/2</sup> "x0.135")	
<b>WALL</b>			
7	BUILT-UP CORNER STUDS	10d (3 <sup>1/2</sup> "x0.128")	24" O.C.
8	BUILT-UP HEADER, TWO PIECES WITH 1 <sup>1/2</sup> " SPACER	16d (3 <sup>1/2</sup> "x0.135")	16" O.C. ALONG EACH EDGE
9	CONTINUOUS HEADER, TWO PIECES	16d (3 <sup>1/2</sup> "x0.135")	16" O.C. ALONG EACH EDGE
10	CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d (2 <sup>1/2</sup> "x0.113")	
11	DOUBLE STUDS, FACE NAIL	10d (3 <sup>1/2</sup> "x0.128")	24" O.C.
12	DOUBLE TOP PLATES, FACE NAIL	10d (3 <sup>1/2</sup> "x0.128")	24" O.C.
13	DOUBLE TOP PLATES, MINIMUM 24-INCH OFFSET OF END JOISTS, FACE NAIL IN LAPPED AREA	8-16d (3 <sup>1/2</sup> "x0.135")	
14	SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d (3 <sup>1/2</sup> "x0.135")	16" O.C.
15	SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3-16d (3 <sup>1/2</sup> "x0.135")	16" O.C.
16	STUD TO SOLE PLATE, TOE NAIL	3-8d (2 <sup>1/2</sup> "x0.113") OR 2-16d (3 <sup>1/2</sup> "x0.135")	
17	TOP OR SOLE PLATE TO STUD, END NAIL	2-16d (3 <sup>1/2</sup> "x0.135")	
18	TOP PLATES, LAPS AT CORNERS & INTERSECTIONS, FACE NAIL	3-10d (3 <sup>1/2</sup> "x0.128")	
19	1" BRACE TO EACH STUDS & PLATE, FACE NAIL	2-8d (2 <sup>1/2</sup> "x0.113") 2 STAPLES 1 <sup>1/2</sup> "	
20	1 <sup>1/2</sup> " SHEATHING TO EACH BEARING, FACE NAIL	2-8d (2 <sup>1/2</sup> "x0.113") 2 STAPLES 1 <sup>1/2</sup> "	
21	1 <sup>1/2</sup> " SHEATHING TO EACH BEARING, FACE NAIL	2-8d (2 <sup>1/2</sup> "x0.113") 3 STAPLES 1 <sup>1/2</sup> "	
22	WIDER THAN 1 <sup>1/2</sup> " SHEATHING TO EACH BEARING, FACE NAIL	3-8d (2 <sup>1/2</sup> "x0.113") 4 STAPLES 1 <sup>1/2</sup> "	
<b>FLOOR</b>			
23	JOIST TO SILL OR GIRDER, TOE NAIL	3-8d (2 <sup>1/2</sup> "x0.113")	
24	1 <sup>1/2</sup> " SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d (2 <sup>1/2</sup> "x0.113") 2 STAPLES 1 <sup>1/2</sup> "	
25	2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	2-16d (3 <sup>1/2</sup> "x0.135")	
26	RIM JOIST TO TOP PLATE, TOE NAIL, (ROOF APPLICATIONS ALSO)	8d (2 <sup>1/2</sup> "x0.113")	6" O.C.
27	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	2-16d (3 <sup>1/2</sup> "x0.135")	AT EACH BEARING
28	BUILT-UP GIRDERS & BEAMS, 2-INCH LUMBER LAYERS	10d (3 <sup>1/2</sup> "x0.128")	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP & BOTTOM & STAGGERED. TWO NAILS AT ENDS & AT EACH SPLICE.
29	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	1-16d (3 <sup>1/2</sup> "x0.135")	AT EACH JOIST OR RAFTER
<b>SPACING OF FASTENERS</b>			
<b>DESCRIPTION OF BUILDING MATERIALS</b>		<b>DESCRIPTION OF FASTENER<sup>(a,b,c,d)</sup></b>	<b>INTERMEDIATE SUPPORT<sup>(e,g)</sup> (INCHES)</b>
<b>WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF &amp; INTERIOR WALL SHEATHING TO FRAMING &amp; PARTICLEBOARD WALL SHEATHING TO FRAMING</b>			
30	3/4" - 1"	6d COMMON (2 <sup>1/2</sup> "x0.113") NAIL (SUBFLOOR, WALL) 6d COMMON (2 <sup>1/2</sup> "x0.113") NAIL (ROOF)	6
31	1 1/4" - 1"	8d COMMON (2 <sup>1/2</sup> "x0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 <sup>1/2</sup> "x0.113") NAIL (ROOF)	6
32	1 1/2" - 1"	8d COMMON (2 <sup>1/2</sup> "x0.113")	6
33	1 1/2" - 1 1/2"	10d COMMON (3 <sup>1/2</sup> "x0.148") NAIL OR 8d (2 <sup>1/2</sup> "x0.113") DEFORMED NAIL	6
<b>OTHER WALL SHEATHING:</b>			
34	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 <sup>1/2</sup> GALVANIZED ROOFING NAIL, 1/2" CROWN OR 1" CROWN STAPLE 16 GA. 1 <sup>1/2</sup> " LONG	3
35	5/8" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 <sup>1/2</sup> GALVANIZED ROOFING NAIL, 1/2" CROWN OR 1" CROWN STAPLE 16 GA. 1 <sup>1/2</sup> " LONG	3
36	1/2" GYPSUM SHEATHING <sup>(f)</sup>	1 <sup>1/2</sup> GALVANIZED ROOFING NAIL, STAPLE GALVANIZED, 1 <sup>1/2</sup> " LONG; 1 <sup>1/2</sup> " SCREWS, TYPE W OR S	7
37	5/8" GYPSUM SHEATHING <sup>(f)</sup>	1 <sup>1/2</sup> GALVANIZED ROOFING NAIL, STAPLE GALVANIZED, 1 <sup>1/2</sup> " LONG; 1 <sup>1/2</sup> " SCREWS, TYPE W OR S	7
<b>WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING</b>			
38	3/4" AND LESS	6d DEFORMED (2 <sup>1/2</sup> "x0.127") NAIL OR 6d COMMON (2 <sup>1/2</sup> "x0.113") NAIL	6
39	3/4" - 1"	8d DEFORMED (2 <sup>1/2</sup> "x0.127") NAIL OR 8d COMMON (2 <sup>1/2</sup> "x0.113") NAIL	6
40	1 1/4" - 1 1/2"	8d DEFORMED (2 <sup>1/2</sup> "x0.127") NAIL OR 10d COMMON (3 <sup>1/2</sup> "x0.148") NAIL	6

a. ALL NAILS ARE SMOOTH-CROWN, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING & SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTH AS SHOWN IN TABLE FOR SHANK DIAMETER OR 0.185 INCH (20d COMMON NAIL, 30 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 BUT NOT LARGER THAN 0.177 INCH & 100 KSI FOR SHANK DIAMETERS OF 0.142 INCH OR LESS.

b. NAILS SHALL BE SPACED AT NOT MORE THAN 8 INCHES ON CENTER AT ALL SUPPORTS WHERE SPAN ARE 48 INCHES OR GREATER.

c. 4 STAPLES PER FOOT OR FOOT OF JOIST OR Rafter SHALL BE APPLIED VERTICALLY.

d. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).

e. FOR REGIONS HAVING BASIC WIND SPEED OF 115 MPH OR GREATER, 10d (3<sup>1/2</sup>"x0.128") NAILS SHALL BE USED FOR ATTACHING PLYWOOD & WOOD STRUCTURAL PANEL, ROOF SHEATHING TO FRAMING WITHIN MAXIMUM 48-INCH DISTANCE FROM GABLE END WALLS IF MEAN ROOF HEIGHT IS MORE THAN 25 FEET, UP TO 10 FEET MAXIMUM.

f. FOR REGIONS HAVING BASIC WIND SPEED OF 115 MPH OR GREATER, 10d (3<sup>1/2</sup>"x0.128") NAILS FOR ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE SPACED 6 INCHES ON CENTER. WHEN BASIC WIND SPEED IS GREATER THAN 100 MPH, NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORT SHALL BE SPACED 6 INCHES ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES & GABLE END WALLS & 4 INCHES ON CENTER FOR REMAINDER OF WALL FRAMING.

g. GYPSUM SHEATHING SHALL CONFORM TO ASTM C 1396 & SHALL BE INSTALLED IN ACCORDANCE WITH GA 203. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.

h. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS & REQUIRED BLOCKING & AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS & REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THE CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OF SOLID BLOCKING.

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D.1

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982 CARMEL STREET MORRO BAY CA 93442

**UNDER FLOOR VENTILATION REQUIREMENTS:**  
PROVIDE MIN. 1 1/2" SQ. FT. FOR EA. 25 LIN. FT. OF EXTERIOR WALL. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. FOR EA. 150 SQ. FT. OF UNDER-FLOOR AREA. OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL. THE REQUIRED AREA OF SUCH OPENINGS SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES. OPENINGS SHALL BE COVERED W/CORROSION RESISTANT WIRE MESH W/MESH OPENINGS OF 1/4" IN DIMENSION. (TYP.)

**UNDER FLOOR VENTILATION CALCS. (BEDROOM, PHASE-I)**

400 SQ. FT. / 150 = 2.67 SQ. FT. X 144 = 384 SQ. IN REQ'D.  
(B) 14"x6" UNDER FLOOR VENT W/52 SQ. IN. EA. = 416 SQ. IN. PROVIDED

- CONCRETE CONTRACTOR TO CHECK AND VERIFY FINISH FLOOR ELEVATION PRIOR TO POURING CONCRETE.
- ALL CONCRETE TO TEST 2,500 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
- ALL FOOTINGS EXTEND 12" INTO NATURAL UNDISTURBED SOIL UNLESS A SOILS TEST HAS BEEN PERFORMED.
- THE CONCRETE CONTRACTOR MUST CHECK WITH OTHER SUBCONTRACTORS FOR RELATED WORK SUCH AS PLUMBING, ELECTRICAL AND/OR MECHANICAL THAT HAS TO BE IN PLACE PRIOR TO POURING.
- USE EITHER PRESSURE TREATED WOOD OR FOUNDATION GRADE REDWOOD FOR SILLS ON CONCRETE.
- WOOD FRAMING MEMBERS THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN (8) INCHES FROM EXPOSED EARTH SHALL BE ON NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. CRC 317.1(2).
- THE MINIMUM NET HEIGHT OF THE REQUIRED EGRESS DOOR TO BE NOT LESS THAN 78" MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE DOOR STOP.
- POWDER DRIVEN FASTENERS, HILTI DNT2 AT 32" O.C. ICC-ER-ESR #2379 (OR EQUAL APPROVED)
- EXCEPT WHERE NOTED OTHERWISE, FOUNDATION BOLTS SHALL BE NOT LESS THAN 1/2" DIAMETER X 10" LONG, EMBEDDED AT LEAST 7" INTO CONCRETE AT FOOTINGS, BE PLACED NOT GREATER THAN 72" ON CENTER FOR RESIDENTIAL CONSTRUCTION (48" O.C. FOR COMMERCIAL CONSTRUCTION), AND NOT FARTHER THAN 12" FROM ENDS OF PLATES AND SPLICES, MINIMUM 2 BOLTS PER PIECE.
- SLAB FOUNDATIONS:  
A: EXCEPT WHERE OTHERWISE NOTED, CONCRETE SLAB FLOORS WILL BE NOT LESS THAN 3-1/2" THICK.
- LOCATE AND EXPOSE ALL PROPERTY CORNERS AND STRING CORNERS PRIOR TO FOUNDATION INSPECTION IN ORDER TO DETERMINE CORRECT SETBACKS.
- POWDER DRIVEN FASTENERS SHALL NOT BE USED IN STEM WALLS LESS THAN 5-1/2" WIDE OR GREATER THAN 5-1/2" HIGH.
- DOOR LANDINGS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. CRC R311.3.1 NO MORE OF 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE THE LANDING OR FLOOR. CRC R311.3.1.
- CRC R302.11.1
- FINISH FLOOR FOR THE STRUCTURE MUST BE 15 5/8" ABOVE THE CENTER LINE OF THE STREET OR 1.3' ABOVE TOP OF CURB. 2016 CRC 108.1.1.
- ALL HOLDOWNS, SPECIAL ANCHOR BOLTING REQUIREMENTS AND STRAPS THAT ARE APPLICABLE
- SILL PLATES TO BE TERMITE TREATED LUMBER, "ALL FIELD CUTS ENDS, NOTCHES & DRILLED HOLES MUST BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4", 2016 CRC R318.1.

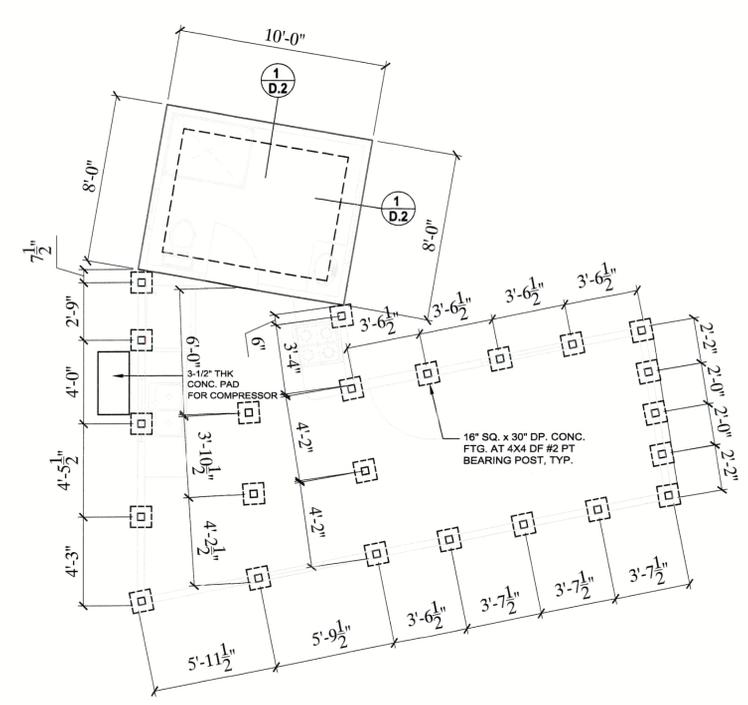
WALL LEGEND	
	NEW 2X4 DF #2 OR BETTER STUDS @ 16" O.C.

BRACED WALL PANEL LEGEND		
BRACED WALL TYPE	BRACED WALL THICKNESS	CONNECTION
	3/8" (MIN.) O.S.B. SHEATHING -2410 PANEL RATED	8D COMMON (2" LONG X 0.113" DIA.) NAILS @ 6" O.C. EDGES & 12" FIELD

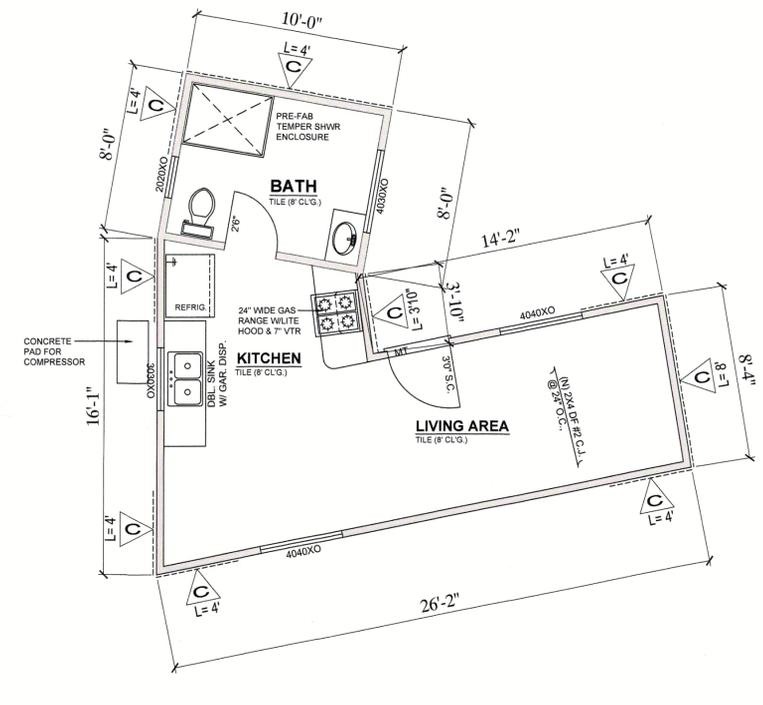
BRACED WALL PANELS PER CRC002-10  
a) Braced wall inspection required prior to covering.  
b) Exterior braced wall panels shall extend to top plate or roof framing.  
c) Sheets used in the construction of diaphragms and shear wall shall not be less than 4' x 8' in size.  
d) Minimum size sheet boundaries and changes in framing shall be 24", unless blocked.

LUMBER SCHEDULE			
ID	SIZE	SPECIE/ GRADE	SPACING
STUDS	2X	DF #2 (OR BETTER)	16" O.C.
TOP PLATE	DBL 2X	DF #2 (OR BETTER)	
HEADERS	4X, 6X	DF #2 (OR BETTER)	U.N.O.
BEAMS	4X	DF #2 (OR BETTER)	U.N.O.
SILL PLATE	2X PT	DF #2 (OR BETTER)	

**FOUNDATION NOTES**



**FOUNDATION PLAN**



**PROPOSED FLOOR PLAN**

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS IT BEARS THE STAMPS AND SIGNATURE OF THE ENGINEER AND THE "APPROVAL" STAMP OF THE JURISDICTIONAL BUILDING DEPARTMENT

THIS SEAL AND SIGNATURE CERTIFIES RESPONSIBILITY FOR STRUCTURAL ENGINEERING DESIGN ONLY, EXCLUDING ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND ALL OTHER AREAS OF RESPONSIBILITY.  
BY: DATE: 7/19/19



**DIVISION 4.1- PLANNING AND SITE DEVELOPMENT**

- 4.106.1 PRESERVATION AND USE OF AVAILABLE NATURAL RESOURCES SHALL BE ACCOMPLISHED THROUGH EVALUATION AND CAREFUL PLANNING TO MINIMIZE NEGATIVE EFFECTS ON THE SITE AND ADJACENT AREAS. PRESERVATION OF SLOPES, MANAGEMENT OF STORM WATER DRAINAGE AND EROSION CONTROL SHALL COMPLY WITH THIS SECTION.
4.106.2 PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN THE SITE. SUCH PROJECTS SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING METHODS:
1. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE.
2. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER, WEIR OR OTHER METHOD PROVIDED BY THE ENFORCING AGENCY.
3. COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE.
4.106.3 CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE, BUT ARE NOT LIMITED, TO THE FOLLOWING:
1. SWALES
2. WATER COLLECTION AND DISPOSAL SYSTEM.
3. FRENCH DRAINS
4. WATER RETENTION GARDENS
5. OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE.
EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

**DIVISION 4.2- ENERGY EFFICIENCY**

4.201.1 FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARD IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY STANDARDS.

**DIVISION 4.3- WATER EFFICIENCY & CONSERVATION**

**SECTION 4.303 INDOOR WATER USE**

- 4.303.1 PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY THE FOLLOWING:
4.303.1.1 WATER CLOSETS EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. E.P.A. WATERSEAL SPECULATION FOR TANK-TYPE TOILETS. NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE AVERAGE FLUSH VOLUME OF TWO REKED FLUSHES AND ONE FULL FLUSH.
4.303.1.2 URINALS EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.
4.303.1.3 SHOWERHEADS:
4.303.1.3.1 SINGLE SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.2 GALLONS PER MINUTE @ 80 P.S.I. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. E.P.A. WATERSEAL SPECULATION FOR SHOWERHEADS.
4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY SINGLE VALVES SHALL NOT EXCEED 2.2 GALLONS PER MINUTE @ 80 P.S.I., OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE OPERATED AT TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
4.303.1.4 FAUCETS
4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GALLONS PER MINUTE @ 60 P.S.I. THE MINIMUM FLOW RATE SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE @ 20 P.S.I.
4.303.1.4.2 THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC AREAS (OUTSIDE OF DWELLING OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE @ 60 P.S.I.
4.303.1.4.3 METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.
4.303.1.4.4 THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE @ 60 P.S.I. KITCHEN FAUCETS MAY TEMPORARILY INCREASE TO 2.2 GALLONS PER MINUTE @ 80 P.S.I. NOTE: WHEN COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.
4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REQUIREMENTS REFERENCED IN TABLE 1401.1.

**SECTION 4.304 OUTDOOR WATER USE**

- 4.304.1 AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
1. CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS WATERING NEEDS OR SOIL CONDITIONS.
2. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT. NOTE: MORE INFORMATION REGARDING IRRIGATION CONTROLLER FUNCTION AND SPECIFICATIONS IS AVAILABLE FROM THE IRRIGATION ASSOCIATION.
4.304.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REQUIREMENTS REFERENCED IN TABLE 1401.1.

**DIVISION 4.4- MATERIAL CONSERVATION & RESOURCE EFFICIENCY**

**SECTION 4.406 ENHANCED DURABILITY & REDUCED MAINTENANCE**

4.406.1 ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY USING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

**SECTION 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL & RECYCLING**

- 4.408.1 RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4 OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. EXCEPTIONS:
1. EXCAVATED SOIL & LAND-CLEARING DEBRIS
2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL ENFORCING AGENCIES IF DIVERSION OR RECYCLE FACILITIES OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
3. THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOBSITES ARE LOCATED IN AREAS BEYOND THE HAUL ROUTE OF THE DIVERSION FACILITY.
4.408.2 SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.
4.408.3 IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
4.408.4 IDENTIFY CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
4.408.5 IDENTIFY DIVERSION FACILITIES WHERE CONSTRUCTION AND DEMOLITION WASTE WILL BE TAKEN.
4.408.6 IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
4.408.7 SPECIFY THE AMOUNT OF CONSTRUCTION & DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
4.408.8 UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH SECTION 4.408.1. NOTE: THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.
4.408.9 WASTE STREAM REDUCTION ALTERNATIVE (E.R.) PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED FOUR (4) LBS./SQ. FT. OF THE BUILDING AREA SHALL MEET THE MINIMUM 50-PERCENT CONSTRUCTION WASTE REDUCTION REQUIREMENTS IN SECTION 4.408.1.
4.408.10 WASTE STREAM REDUCTION ALTERNATIVE (E.R.) PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED TWO (2) LBS./SQ. FT. OF THE BUILDING AREA, SHALL MEET THE MINIMUM 50-PERCENT CONSTRUCTION WASTE REDUCTION REQUIREMENTS IN SECTION 4.408.1.
4.408.11 DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION 4.408.4.
4.408.12 SIMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL)" LOCATED AT WWW.HCD.CA.GOV/CALGREEN BUILDING STANDARDS CODE.
4.408.13 MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C&D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CALRECYCLE).

**SECTION 4.410 BUILDING MAINTENANCE & OPERATION**

- 4.410.1 AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISK, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
A. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS, AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
C. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
D. LANDSCAPE IRRIGATION SYSTEMS.
E. WATER REUSE SYSTEMS.
3. INFORMATION FROM LOCAL UTILITY, WATER AND WATER RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5. EDUCATIONAL MATERIALS REGARDING THE RELATIVE HUMIDITY RANGE BETWEEN 30-60 PERCENT AND WHAT AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING ETC.
9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

**SECTION 4.504 POLLUTION CONTROL**

- 4.504.1 AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.
4.504.2 AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR R0C IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520, AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
4.504.3 AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR R0C IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520, AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
4.504.4 VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:
1. MANUFACTURER'S PRODUCT SPECIFICATION
2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.
4.504.5 ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING & PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
1. CARPET & CARPET INSTITUTES GREEN LABEL PLUS PROGRAM
2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH "STANDARD METHOD FOR THE TESTING & EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1 FEBRUARY, 2010 (ALSO KNOWN AS SPECIFICATION 01350).
3. NSF/ANSI 140 AT THE GOLD LEVEL (EPA LEED)
4. SCIENTIFIC CERTIFICATION SYSTEM INDOOR ADVANTAGE (TM) GOLD.
4.504.6 ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM.
4.504.7 ALL CARPET ADHESIVES SHALL MEET THE REQUIREMENT OF TABLE 4.504.1.
4.504.8 WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 90 PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
1. VOC EMISSIONS LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
2. PRODUCTS COMPLIANT WITH CHPS CRITERIA FOR THE GREENGUARD CHILDREN & SCHOOLS PROGRAM.
3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH "STANDARD METHOD FOR THE TESTING & EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1 FEBRUARY, 2010 (ALSO KNOWN AS SPECIFICATION 01350).
4.504.9 HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR LOW FORMALDEHYDE AS SPECIFIED IN ANRS AIR TOXICS CARPET MEASURE FOR COMPOSITE WOOD (17 COR 93120 ET SEQ.) BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS AS SHOWN IN TABLE 4.504.4.
4.504.10 VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:
1. PRODUCT CERTIFICATION AND SPECIFICATION.
2. CHAS/CPA OF CUSTODY CERTIFICATION.
3. PRODUCT LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCT REGULATION (SEE CCR, TITLE 17, SECTION 93120, ET SEQ.).
4. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2263 OR EUROPEAN EN 338 STANDARDS.
5. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.
4.504.11 A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST OF THE FOLLOWING:
1. A 1/4-INCH THICK BARRIER OF 1/2-INCH (MIN.) OR LARGER CLEAR AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURING. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.9R-08.
2. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
3. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.
4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

**SECTION 4.506 INDOOR AIR QUALITY AND EXHAUST**

- 4.506.1 EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
1. FANS SHALL BE "ENERGY STAR" COMPLIANT & BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST HAVE A HUMIDITY-CONTROL DEVICE.
3. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ~50 PERCENT TO A MAXIMUM OF 80 PERCENT.
4. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (E.I., BUILT-IN).
NOTES:
1. FOR THE PURPOSES OF THIS SECTION, A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION.
2. LIGHTING INTEGRAL TO BATHROOM EXHAUST FANS SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE.
4.506.2 HEATING & AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
1. HEAT LOSS AND GAIN ESTABLISHED ACCORDING TO ANSI/ACCA 2-MANUAL - 2004 (RESIDENTIAL LOAD CALCULATIONS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHOD.
2. DUCT SYSTEM ARE SIZED ACCORDING TO ANSI/ACCA 1-MANUAL D-2000 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHOD.
3. EQUIPMENT SHALL BE SIZED ACCORDING TO ANSI/ACCA 1-MANUAL D-2000 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHOD.
EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE FUNCTIONALITY ARE ACCEPTABLE.
4.506.3 DOCUMENTATION OF COMPLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION/INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY. OTHER SPECIFIC DOCUMENTATION OR SPECIAL INSPECTIONS NECESSARY TO VERIFY COMPLIANCE ARE SPECIFIED IN APPROPRIATE SECTIONS OF CALGREEN.

**SECTION 4.504 POLLUTION CONTROL**

- 4.504.1 AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.
4.504.2 FINISH MATERIALS SHALL COMPLY WITH THIS SECTION.
4.504.3 ADHESIVES, SEALANTS & CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:
1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAGM RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.
2. AEROSOLS, ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANTS OR CAULKING COMPOUNDS IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES, SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.
4.504.4 ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY VOC LIMITS IN TABLE 1 OF THE ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALLY COATED CATEGORIES IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTION 4.21, 4.36 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.

4.504.5 AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR R0C IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520, AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

4.504.6 VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:
1. MANUFACTURER'S PRODUCT SPECIFICATION
2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.

4.504.7 ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING & PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
1. CARPET & CARPET INSTITUTES GREEN LABEL PLUS PROGRAM
2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH "STANDARD METHOD FOR THE TESTING & EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1 FEBRUARY, 2010 (ALSO KNOWN AS SPECIFICATION 01350).
3. NSF/ANSI 140 AT THE GOLD LEVEL (EPA LEED)
4. SCIENTIFIC CERTIFICATION SYSTEM INDOOR ADVANTAGE (TM) GOLD.

4.504.8 ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM.

4.504.9 WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 90 PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
1. VOC EMISSIONS LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
2. PRODUCTS COMPLIANT WITH CHPS CRITERIA FOR THE GREENGUARD CHILDREN & SCHOOLS PROGRAM.
3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.

4.504.10 MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH "STANDARD METHOD FOR THE TESTING & EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1 FEBRUARY, 2010 (ALSO KNOWN AS SPECIFICATION 01350).

4.504.11 HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR LOW FORMALDEHYDE AS SPECIFIED IN ANRS AIR TOXICS CARPET MEASURE FOR COMPOSITE WOOD (17 COR 93120 ET SEQ.) BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS AS SHOWN IN TABLE 4.504.4.

4.504.12 VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:
1. PRODUCT CERTIFICATION AND SPECIFICATION.
2. CHAS/CPA OF CUSTODY CERTIFICATION.
3. PRODUCT LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCT REGULATION (SEE CCR, TITLE 17, SECTION 93120, ET SEQ.).
4. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2263 OR EUROPEAN EN 338 STANDARDS.
5. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.

**SECTION 4.505 INTERIOR MOISTURE CONTROL**

4.505.2 CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA BUILDING CODE, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, SHALL ALSO COMPLY WITH THIS SECTION.

4.505.2.1 A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST OF THE FOLLOWING:
1. A 1/4-INCH THICK BARRIER OF 1/2-INCH (MIN.) OR LARGER CLEAR AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURING. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.9R-08.
2. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
3. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.
4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

4.505.2.2 CONCRETE SLAB FOUNDATIONS SHALL NOT BE INSTALLED. WALL & FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19-PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE.
2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
3. AT LEAST THREE READINGS PER WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURER'S DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

4.505.2.3 CONCRETE SLAB FOUNDATIONS SHALL NOT BE INSTALLED. WALL & FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19-PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
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2016 Low-Rise Residential Mandatory Measures Summary table with columns for measure ID and description. Includes sections

