



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.

**Regular Meeting -Tuesday, September 17, 2019
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Vice-Chairperson Michael Lucas
Commissioner Jesse Barron

Chairperson Gerald Luhr

Commissioner Joseph Ingrassia
Commissioner Susan Stewart

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Commission at this time.

Public comment is an opportunity for members of the public to provide input to the governing body. To increase the effectiveness of the Public Comment Period, the Commission respectfully requests the following guidelines and expectations be followed:

- When recognized by the Chair, please come forward to the podium to speak. Though not required, it is helpful if you state your name, city of residence and whether you represent a business or group. Unless otherwise established by the Chair, comments are to be limited to three minutes.
- All remarks should be addressed to Commission, as a whole, and not to any individual member thereof.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Planning Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Planning Commission meetings is welcome and your courtesy will be appreciated.
- The Commission in turn agrees to abide by its best practices of civility and civil discourse according to Resolution No. 07-19.

PRESENTATIONS

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

- B-1 Case No.:** CPO-573 and UPO-526
Site Location: 361 Main Street, Morro Bay, CA
Proposal: Application for a Coastal Development Permit (CPO-573) and Conditional Use Permit (UPO-526) for a 183 square foot deck and 395-sf addition to the second floor of an existing 2,128 square foot existing single-family home. The site is a duplex residential property with 2 existing single-family homes located at 361 Main Street in the R-2/PD zone. The project is subject to bluff setback requirements and is within the Coastal Commission appeal jurisdiction.
CEQA Determination: Categorically Exempt, Section 15301, Class 1.e.(1).
Staff Recommendation: Conditionally Approve
Staff Contact: Nancy Hubbard, Contract Planner, (805) 772-6211

- B-2 Case No.:** CDP19-033 and CUP19-09
Site Location: 196 Panay Street, Morro Bay, CA
Proposal: Request for Coastal Development Permit (CDP19-033) and Conditional Use Permit (CUP19-09) for construction of a 1,120 sf addition, including an accessory dwelling unit, to an existing non-conforming 1,120 sf single-family residence with an existing detached 400 sf garage. The site is located in an R-1/S.2A Zone outside of the Coastal Commission Appeals Jurisdiction.
CEQA Determination: Categorically Exempt, Section 15301, Class 1(e) and Section 15303, Class 3(a)
Staff Recommendation: Conditionally Approve
Staff Contact: Willow Urquidi, Assistant Planner, (805) 772-6270

C. NEW BUSINESS - NONE

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on October 1, 2019 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the

Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morrobayca.gov/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morrobayca.gov/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions

New Planning items or items recently updated are highlighted in yellow.

Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date September 17, 2019

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	Friesen	196 Panay St	8/21/19	CDP19-033/ CUP19-09	Addition to existing SFR requiring abandonment of existing easement.	Deemed complete. Scheduled for 9/17/19 PC meeting				wu
2	Erb	2630 Nutmeg Ave	7/30/19	VAR19-002	Add posts to complete deck repair	Deemed complete. Scheduled for admin action on or after 9/16/19.				wu
3	Owen	545 Fresno	6/25/19	CDP19-023	CDP for Demo/reconstruct	Deemed incomplete 6/25/19. Deemed complete. Noticing began 9/9/19. Admin action to occur on or after 9/20/19.				wu
4	Wood	361 Main	4/6/18	AD0-134 / UP0-526	Conditional Use Permit and Parking Exception for Addition to existing residence; 2nd floor addition 386 sq. ft.; 2nd floor deck 329 sq. ft. with variance AD0-134	Under Initial Review. Correction letter sent 5/1. Applicant notified 1-4-19 that Project requires a CUP and CDP, needs new application, fees and resubmittal for processing. Project resubmitted 4-29-19, under review. Deemed incomplete May 23, 2019. Resubmitted July 9, 2019, under review. Deemed complete July 26, 2019, scheduled for PC hearing September 17, 2019		PN- Conditionally Approved 5/7/2019		nh
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
5	TLC Family Enterprises	833 Embarcadero	9/9/19	CUP19-11	Precise Plan CUP - Demo/reconstruct / Harborwalk Plaza multi-use redevelopment project including restaurant, retail, second floor hotel units, public access improvements.					cj
6	Ernsdorf	450 Oahu	9/6/19	CDP19-035	Admin CDP to convert portion of existing garage into new Accessory Dwelling Unit.					
7	Rhine LP/Morro 94	3300 Panorama	8/20/19	MAJ 19-005	After the fact permit application for removal of 3 sheds and possible siding treatment for transformer building.	Submittal is under review. Deemed incomplete 8-29-19				nh
8	Angelucci	953 Pacific	8/20/19	CUP19-10	459 sf 2nd story addition, new 246 sf detached garage with auto lift, 167 sf 2nd	Submittal under review.				wu
9	Borges	1078 Monterey Street	8/15/19	CUP19-08/ CDP19-032	New managers dwelling unit over community shower/laundry storage facility	Submittal is under review. Deemed incomplete 8-29-19				nh
10	Le Bris	516 Shasta Ave	8/15/19	CDP19-031	New ADU partially over existing garage, storage space below.	Submittal is under review. Deemed complete 8-29-19				nh

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11	Nolan	2991 Juniper	8/2/19	CDP19-029	Convert existing downstairs space into an accessory dwelling unit.	Submittal under review. Contact made with Applicant.				wu
12	Guesno	210 Atascadero Road	7/30/19	MAJ19-03	Amend existing CUP/CDP to change from vintage auto display to batting cages, adding arcade gaming area near café and merchandise areas	Submittal is under review. Planning disapproved 8/23/19.				nh
13	Sinclair	484 Piney	7/8/19	CDP19-025	CDP for New single story SFR - 1656 sf living, 739 sf attached garage and 98 sf covered	Deemed incomplete 7/17/19. Awaiting resubmittal.				wu
14	Zive	1309 Berwick	7/3/19	CDP19-024	CDP for New SFR - 2871 sf living, 628 sf attached garage, and 189 sf deck.	Deemed incomplete 7/17/19. Awaiting resubmittal.				wu
16	Boyko	2670 Laurel Ave	7/26/19	CDP19-027	CDP for New SFR - 2135 sf living, 505 sf garage, 160 sf lower balcony and 160 sf upper	Submittal under review. Incomplete letter sent 8/19/19. Awaiting resubmittal.				wu
17	Friesen	196 Panay St	7/23/19	LTM19-03	Addition to existing SFR requiring abandonment of existing easement.	Requires Conditional Use Permit. CUP submittal scheduled for PC 9/17/19.				wu
18	Morro Bay Recovery	2460 Main Street	5/28/19	MUP19-04	Minor Use Permit for Change in use from hotel/motel to recovery center	Submittal is under review. Deemed incomplete 6-25-19.		PN-Disapproved 6/21/2019		nh
19	Cleary	1282 and 1290 Embarcadero P	5/23/19	CDP19-016	CDP for removal of major vegetation.	Submittal is under review. Correction letter sent 6/10. Awaiting resubmittal.				wu
20	Moss Lane Ventures, LLC	839 Morro Bay Blvd	5/6/19	CUP19-04/CDP 19-013	CDP and CUP for Demo existing carwash, construct new 600 sf single sided drive up coffee shop.	Application received 5-6-19 and is under review. Submittal deemed incomplete, letter sent 5-30-19. Resubmitted 6-13-19. Deemed incomplete 6-27-19		PN-Conditionally Approved 5/16/2019		nh
21	Eisemann	535 Atascadero Road	3/7/19	PAR19-01	Final Parcel map	Submittal is under review. Planning disapproved 3/14/19. Resubmittal disapproved on May 14, 2019. Resubmittal received , review comments provided 6-5-19				nh
22	Ryan	1170 Marengo	2/26/2019 (LLA) and 5/13/19 (LTM)	LLA19-001/ LTM19-01	Lot line adjustment to reconfigure 3 5000 sf residential lots into 2 larger residential lots.	Submittal is under review. Project deemed incomplete 3-21-19. Requires resubmittal . April 18 project deemed incomplete. Resubmittal requires an application for a Lot Merger to be process together with the LLA. Lot Merger application received May 13, 2019 - both to be processed together. Resubmitted 6-7-19, under review. Final maps and certificates submitted for City Engineer review and approval 7-2-19. Revisions required, waiting for final documents for signature.				nh
23	Najarian	1339 Berwick	11/30/18	CDP 18-014	Admin CDP for new construction of SFR and ADU with attached garage	Application deemed incomplete, comments sent to applicant on 12/27/18.				nh
24	Henry	411 Trinidad	7/5/18	CP0-584	CDP for construction of a new single-family residence on a vacant lot	Under Intial Review. Correction letter sent 7/16/18. Additional review and correspondence with owners on March 7, 2019. Waiting for resubmittal		PN- conditionally Approved 7/19/2018		nh

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25	Fields	731 Butte	6/14/18	CP0-582/UP0-534	CDP and CUP for Multi-Family residences. A 1,500 sq. ft. manufactured residence, a 448 sq. ft. studio unit above a 441 sq. ft. garage with an attached 220 sq. ft. carport	Under Initial Review. Correction letter sent 7/11/18. Resubmitted 10/22/18. Correction Letter sent 11/14				nh
26	Held	205-215 Harbor St	5/4/18	CP0-578/ UP0-527	Coastal Development Permit & Conditional Use Permit for New construction of new 30 unit hotel, Merge existing 6 lots	Under initial review. Incomplete letter sent 6/4/18. Resubmittal received 7/3/18. Additional comments sent to Applicant's Agent 8/3/18, and 8/22/18. Proposals received for environmental review. Reimbursement agreement sent to applicant for environmental review on 10/15/18. Resubmittal received 5-10-19 - comments returned 5-28-19		PN- Conditionally Approved 7/17/2018		cj
28	T-Mobile	1478 Quintana	2/26/18	A00-056	Modification to UP0-052/CP0-073 for upgrade to existing wireless site	Under initial review. Correction Letter sent 3/30. Unauthorized work completed by owner. Spoke with the agent 11/5 about process moving forward. Spoke with agent again 2/7. Resubmittal 2/26. Correction letter sent 3/13. Awaiting resubmittal.		JW approved		wu
29	Morgan	101 Fig St.	4/12/17	UP0-476	Conceptual Review of New SFR with accessory unit. Existing historical structure on lower level.	PC Conceptual Review 5/16/17. Applicant evaluating whether to pursue project. Project Inactive as of 10/2018		PN-Conditionally approved 5/11/17		nh

Projects Appealed to Planning Commission or PC Continued projects:

30	State Parks - Mike Walgren	11 State Park Road	8/20/18	CDP 18-004, CUP18-04	Coastal Development Permit & Conditional Use Permit to install modular building for office space, parking and landscape improvements at Morro Bay State Park	Submitted on 8-20-18. Deemed incomplete 9.10.18. Applicant to resubmit plans. Plans resubmitted with additional information on 10-26-18. Project deemed complete. Scheduled for PC on December 18, 2018. Continued to date uncertain by PC on 12/18/18. Applicant to provide additional information.		PN- Approved 9/4/2018		nh
31	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		cj

Projects Appealed or Forwarded to City Council:

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
32	City of Morro Bay	LCP Text Amendment	6/4/19	MIN19-006	Clarification of density transfer allowed from CRR zoned land within the Cloisters Subdivision.	Public noticed on June 19, 2019. Planning Commission forwarded their recommendation for approval to City Council on July 16, 2019. City Council hearing August 13, 2019.				nh
33	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission reviewed 5/17/2010. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. PC reviewed 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. City Council 12/13/11. Continued to 1/10/12 CC meeting. PC reviewed 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13 & 7/3/13. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. Business workshops held fall/winter 13/14. Result of sign workshops discussed at 11-3-15 PC mtg. Revised Public Draft of Sign Ordinance posted to City website on July 6, 2017	No review performed.	N/R		sg
Environmental Review										
34	Patel	233 Atascadero	6/13/18	CP0-581/UP0-533	CDP and CUP for New 83 room hotel on vacant 2 acre lot	Under Initial Review. Incomplete letter sent 7/13/18. Resubmitted 9/11/18. Comment letter sent 10/19/18. Environmental review required. Cj. Met with Applicant's Agents 11-8-18 to review flood plain and height requirements. Project currently overheight and does not meet parking requirements. Story poles erected on 1/3/19 and scheduled for Conceptual Review by PC to evaluate height, parking, and findings of significant public benefit as allowed under the Planned Development (PD) overlay zone. PC comments provided to Applicant after 1-15-19 meeting. Applicant considering project revisions. Environmental review in progress.				cj
35	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
Final Map Under Review Projects - No pending applications currently.										
Projects requiring coordination with another jurisdiction:										

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36	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
37	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finaled. Phase 2 on hold as of 7/22/14.		
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing:										
38	City of Morro Bay	Citywide			Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. General Plan Advisory Committee meetings ongoing. For more information or to get involved, visit www.morrobayca.gov/planmb . Project to be complete with documents ready for adoption and certification by end of 2019. Public draft of combined General Plan/ LCP released May 2018 for review. Working with Coastal staff on CCC input.				
39	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation will force additional changes.	No review performed.			

wm

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Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:										
40	Verizon / Knight	184 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		jg
Grants										
41	California Coastal Commission, California Ocean Protection Council	City-wide	4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17.	No review performed.	N/A		sg
42	City of Morro Bay	City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. Final 2016 funding recommendations reviewed by Council on 3-8-16. 2016 Subrecipient Agreement executed and Council approved 2018-2020 Cooperation Agreement with County on 6-13-17.	No review performed.	N/R		cj
43	City of Morro Bay	City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
Projects in Building Plan Check:										
1	AJ Wright and Phil Davis	2996 Alder	9/28/18	B18-0033	New 3 story 3-unit apartment building, 2 story housing over ground level garage	Submitted 9-28-18. Not approved, comments sent on 10-11-18. Resubmitted March 6, 2019, under review. Planning disapproved submittal 3/19/19. Planning approved on 5/23/19. Requires minor mod to planning approval for design change at garage level.	Bldg - Disapproved on 6/4/19	PN-Disapproved 5/16/2019		nh
2	LaPlante	3093 Beachcomber	4/24/17	B-31487	New SFR: 3,495sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	Approved 8-9-18. cj. Requested permit extension.	Ready to issue	PN - Approved 6/21/2018	Emailed comments on 10-20-17.	cj
3	Zive	1309 Berwick Dr.	7/3/19	B19-0139	New SFR, 2871 sf living, 628 sf attached garage, & 189 sf deck	Project on hold until planning permit obtained.	Bldg - Disapproved 7/29/19			wu
4	Jones	1362 Berwick Dr.	8/5/19	B19-0169	Interior remodel, remove existing roo over existing garage and replace with 352 sf deck.	Disapproved 9/11/19.	Bldg - Plancheck			wu
5	Geil	1359 Bolton	8/20/19	B19-0183	Minor interior improvements, 148 sf bathroom addition and 17 sf addition to permeable wood deck.	Conditionally approved 9/10/19.	Bldg - Plancheck			wu
6	Reisner	1300 Clarabelle	6/10/19	B19-0122	New SFR	Conditionally approved 7/1/19.	Bldg - Approved 8/12/19			wu

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7	Kurz	2720	Elm Ave.	7/18/19	B19-0154	New Accessory Dwelling Unit (ADU), 370 sf detached ADU with upper floor loft.	Approved 7/30/19	Bldg - Disapproved 8/12/19			wu
8	Branch	885	Embarcadero	3/12/19	B19-0043	Addendum #1 to B18-0043 - Minor framing alterations (interior), confirm slopes per ADA requirements, and install siding at west elevation (previously stone).	Plng approved 3-19-19 - cj.	Bldg - Approved 8/12/19			cj
9	Van Beurden	945	Embarcadero	8/1/19	B19-0163	Remodel existing area of restaurant into dining space, add outside public seating (at west side of site), add 71 sf trash enclosure to building footprint, modify wharf area to create accessible Harborwalk, repair pilings and gunny sack batter wall.		Bldg - Plancheck			
10	Krull	2575	Greenwood	4/25/19	B19-0076	Remove existing non-conforming 261 sf shed, convert existing attached two-car garage into an accessory dwelling unit (ADU).	Planning approved 5/2/19.	Bldg - Approved 8/6/19	PN-Disapproved 5/16/2019		wu
11	Paige	2780-A	Greenwood	8/16/19	B19-0181	Garage to living alteration - ADU		Bldg - Disapproved 8/26/19			nh
12	Setting	2784	Indigo Circle	8/14/19	B19-0178	New single story SFR - 2,110 sf living, 663 sf attached garage, and 275 sf patio.	Approved 9/10/19.	Bldg - Approved 8/26/19			wu
13	Patel	2790	Indigo Circle	7/31/19	B19-0164	New SFR in the Cloisters - 2424 sf living, 420 sf garage, and 82 sf entry.	Disapproved 8/26/19. Awaiting resubmittal.	Bldg - Disapproved 8/23/19			wu
14	Psenner	150	Kern Ave.	8/6/19	B19-0170	Residential upgrades & remodel of kitchen & master shower.	Submittal under review.	Bldg - Approved 8/12/19			wu
15	Lindgren	1308	Clarabelle	8/15/19	B19-0177	133 sq ft. 2nd story deck addition to existing deck.		Bldg - Disapproved 8/26/19			
16	Linker	594	Kings Ave.	4/16/19	B19-0068	New two story SFR - 2996 sf living, 491 sf attached garage, 304 sf deck at front and 85 sf deck at rear.	Planning approved	Bldg - Ready to issue			nh
17	Hilton -Limited Partnership	430-A	LaJolla	1/24/19	B19-0013	Enclose interior stairs to create ADU. Add closet on upper level, new french doors, new exterior door and new kitchen on lower level.	Planning approval 2/4/19.	BLDG- Approved 7/10/19			wu
18	Richardson	441	LaJolla	3/8/19	B19-0040	Kitchen, bathroom and laundry room remodel in existing dwelling.	Submittal under review. Approved 3/19/19	Bldg - Disapproved 3/15/19			nh
19	Borello	100	Main St.	6/19/19	B19-0128	SFR addition & remodel, remove single car garage & 363 sf of residence, new 2 car garage w/SFR above. Interior remodel.	Disapproved 7/1/19. Resubmittal under review.	Bldg - Disapproved 7/17/19			wu
20	Ellis	120	Main St.	5/14/19	B19-0097	SF Addition - add 126 sf master bath to the existing master bedroom, add 178 sf of new living room space, add 456 sf of covered patio space to the front and rear of SFR.	Disapproved 6/7/19. Awaiting resubmittal.	Bldg - Disapproved 5/24/19			wu
21	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg - Approved 2/27/19 Fire - Approved 2/26/19	Disapproved on 3/14/19		sg

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
22	Dillon	1387	Main St.	4/25/19	B19-0079	Interior repairs to the Seabird room, in the Pacific Wildlife Care Clinic Building. Remove & replace plywood subfloor, spray foam insulation under floor, waterproof coating over new floors, replace floor drains, electrical, replace radiant wall heaters.		Bldg - Approved 6/7/19	PN- Approved 5/24/2019		sg
23	Sonic	1840	Main	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj
24	Ryan	1170	Marengo Dr	5/14/19	B19-0096	Deck Demolition Approx. 275 sq ft	Planning approved 5/17/19	Ready to issue			nh
25	Leage	918-A	Mesa St	6/14/19	B19-0124	Convert existing 398 sf non-conforming garage to ADU & add 139 sf addition increasing ADU size to 537 sf	Approved 8/28/19.	Bldg - Disapproved 7/1/19			wu
26	Elster	530	Morro Ave	7/9/19	B19-0142	New SFR (three levels), 2613 sf living, 734 sf attached garage, 639 sf basement & bath, 846 sf of open decks, and 318 sf covered decking. The lower level will be recessed into the existing grade to contain garage, parking areas, and basement storage spaces. See B19-0143 for attached ADU with garage.	Disapproved 7/22/19	Bldg - Disapproved 8/5/19			wu
27	Elster	530-A	Morro Ave	7/9/19	B19-0143	New 636 sf attached Accessory Dwelling Unit (ADU) with 258 sf garage. See B19-0142 for SFR permit.	Disapproved 7/22/19	Bldg - Disapproved 8/5/19			wu
28	Krupa	845	Morro Ave	7/23/19	B19-0157	Barrier removal, remodel & 147 sf office addition. New accessible parking, remove steps & improve path of travel. Barrier removal & remodel guest room bath, remodel lobby & office addition.		Bldg - Plancheck			
29	Fletcher	435	Napa Ave	6/27/19	B19-0137	Accessibilty remodel, 740 sq ft addition to existing residence; addition of 460 sq ft	Approved 7/25/19	Bldg - Approved 8/26/19			wu
30	Jerkovich	2584	Nutmeg Ave	4/25/19	B19-0077	Installation of stairs and concrete planters at front of lot. (Partially in ROW, will require an encroachment permit).	Disapproved 5/9/19. Disapproved 7/22/19. Approved 9/4/19.	Bldg - Approved 7/2/19	PN- Disapproved 6/14/2019		wu
31	Loe	2605	Nutmeg Ave	7/19/19	B19-0155	Build stairs from 1st floor deck to grade; install pavers @ rear parking area	Disapproved 7/30/19. Approved 8/29/19.	Bldg - Approved 8/21/19			wu
32	Erb	2630	Nutmeg Ave	2/14/19	B19-0029	Demo 195 sf third story deck at front of home and rebuild with 80 sf extension to allow for deck beam and column support. Remove 152 sf deck on south side of home, misc. construction to repair water damage.	Dissapproved 3/6/19. Disapproved 4/9. Variance application under review.	Bldg - Approved 3/27/19			wu

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
33	Alexander	493-A	Oahu St	8/2/19	B19-0167	Convert existing 561 sf, of living space info into adv.	Approved 8/16/19.	Bldg - Approved 8/12/19			wu
34	Freisen	196	Panay St.	3/15/19	B19-0045	Additional 1000 sf to SFR	Disapproved 4/3/19. Requires CUP and Lot Merger. Awaiting resubmittal.	Bldg - Disapproved 4/10/19			wu
35	Tillberg	330	Piney Way	7/29/19	B19-0159	Replace approx 35' of failing retaining wall (accross front of lot) with new 4' high (at grade) retaining wall.	Approved 7/30/19	Bldg - Approved 7/30/19			wu
36	Daley	365	Quintana Rd.	8/21/19	B19-0184	Addendum to B19-0144 (T.I.) Add accessible van parking space and sidewalk to front door	Approved 8/28/19.	Bldg - Approved 8/21/19			wu
37	ABS-CA-O, LLC	730	Quintana Rd.	10/22/18	B18-0055	Remove & replace parking lot light poles and light fixtures on existing concrete bases. This permit includes 6 parcels in the Cypress Plaza, (600-780 Quintana Rd).	Approved 10/30/18	Ready to issue			jg
38	Giannini	750	Radcliff Ave	7/22/19	B19-0156	Remove three existing panel antennas, three radios and replace with three radio integrated antennas and associated cabling. Install equipment expansions to the top of existing cabinets (approx 1'-2') with associated electrical wiring.		Bldg - Disapproved 7/22/19			cj
39	Schmidt	300	Shasta Ave	8/13/19	B19-0175	Addendum #3 to B00-031-190 (hdl) - As-built drawings depicting the following: 1) Laundry room changed to mud room, laundry moved to garage. 2) Also added a 2nd story laundry.		Bldg - Approved 8/16/19			nh
40	Erlendson	299-A	Sienna St.	1/22/19	B19-0005	Convert Garage to 435 sq. Ft. ADU	Planning approval 2/4/19	Ready to issue	PN-Approved 5/1/2019		nh
41	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane,, new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal.	Bldg - Approved 3/27/19			wu
42	Mounce	330	Vashon St	8/21/19	B19-0186	Addendum to B18-0018 - Reduce 2nd story deck from 190 sf to 102 sf., move living room slider to new wall and replace with window, remove elevator, shaft to remain.	Approved 8/22/19.	Bldg - Approved 8/22/19			wu
43	Davis	1149	West Ave	7/8/19	B19-0145	Construct lower level 360 sf enclosed patio (12' x 30') at rear of existing SFR.	Disapproved, proposed enclosed patio extended into the 25 foot bluff setback.	Bldg - Approved 7/10/19			nh
Planning Projects & Permits with Final Action:											

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
1	Ranat	2598 Main	2/19/19	VAR 19-001	Variance request to allow approval of an as-built bathroom partially within the site yard setback.	Submittal is under review. Deemed incomplete 2/4/19. Applicant considering alternative to resolve issues. Resubmittal received April 25, 2019 and is under review. Additional information was requested, waiting for response. Planning deemed incomplete 5-30-19, waiting for resubmital. Resubmitted and under review. Deemed complete 8/6/19, public notice permit from 8/15 to 8/26/19. Permit issued 8.29.19		PN-Conditionally Approved 5/16/2019		nh



AGENDA NO: B-1

MEETING DATE: September 17, 2019

Staff Report

TO: Planning Commissioners

DATE: September 9, 2019

FROM: Nancy Hubbard, Contract Planner

SUBJECT: Application for a Coastal Development Permit CP0-573 and Conditional Use Permit (UPO-526) for a 183 square foot deck and 395-sf addition to the second floor of an existing 2,128 square foot existing single-family home. The site is a duplex residential property with 2 existing single-family homes located at 361 Main Street in the R-2/PD zone. The project is subject to bluff setback requirements and is within the Coastal Commission appeal jurisdiction.

RECOMMENDATION:

APPROVE THE PROJECT by approving Planning Commission **Resolution 23-19** that includes Findings and conditions of approval for the project, as depicted on site development plans submitted to the City on July 9, 2019.

LEGAL DESCRIPTION/APN:

PORTION OF BLOCK L IN THE CERRITO ADDITION
066-211-029

PROJECT DESCRIPTION:

The Applicant is requesting approval of a Coastal Development Permit and Conditional Use Permit for a proposed addition of 375 square feet and a new deck area through an extension of the existing second floor portion of the home. A coastal development permit is required because the property is in the Coastal Appeals Jurisdiction and the



additions are greater than 10% of the existing home square footage. A conditional use permit is required because the project is in the Planned Development overlay zone and because the existing home is non-conforming as to height in the bluff setback area.

There are 2 homes on this R-2 zoned site. The home that is the subject of this request was built in 1972 and is 2,128 sf plus a 511 s.f. detached garage and is located closest to the bluff. The height of this home exceeds the 17-foot maximum height allowed in the bluff setback between the 20-foot buffer and the 50-foot buffer. The proposed addition on the second floor is just outside of the 50-foot bluff buffer and as such, is a conforming addition and not worsening the existing non-conforming condition.

The proposed addition is replacing a partial height cantilevered loft section at the front of the home to create a full -height office area and is also adding a master bedroom suite by extending the second floor over the ground floor kitchen/laundry room and a portion over the existing entry way. On the northwest portion of the addition on the second level, a new deck will be added with access from the new Master Bedroom. Most of the new space is over existing ground floor conditioned spaces.



MATERIALS BOARD:

The new portion of the home will use similar materials and colors to match the existing home.

PROJECT ANALYSIS:

Background

The site is zoned R-2/PD which allows duplex residential. The site has existing 2 homes, one constructed in 1957 (1,278 s.f.) and the other (the subject) was constructed in 1972. The subject home is situated closer to the bluff, which has been altered over the years with the construction of Embarcadero and includes several retaining walls between the top of bluff to the roadway below. There are no previous building/planning applications on file, other than the construction of the 1972 home and a tree removal on the bluff in 2011. The site is 30,897 sf. and the R-2 zone required 2900 square feet of lot area for each dwelling unit. The site currently has two existing homes that are in compliance with the development standards related to density and lot coverage ratios. See table below.

	R-2/PD Standards	Existing 1972 Home and Proposed Addition
Front Setback	20 feet	120 feet (to detached garage)
Side-Yard Setback	5 feet	5 feet on south side
Rear Setback	5 feet	62 feet
Height (from ANG)	25 feet (see also Bluff Buffer height restrictions)	24.25 feet (existing home has a max height of 22.12 feet)

DEVELOPMENT STANDARDS/DESIGN GUIDELINES:

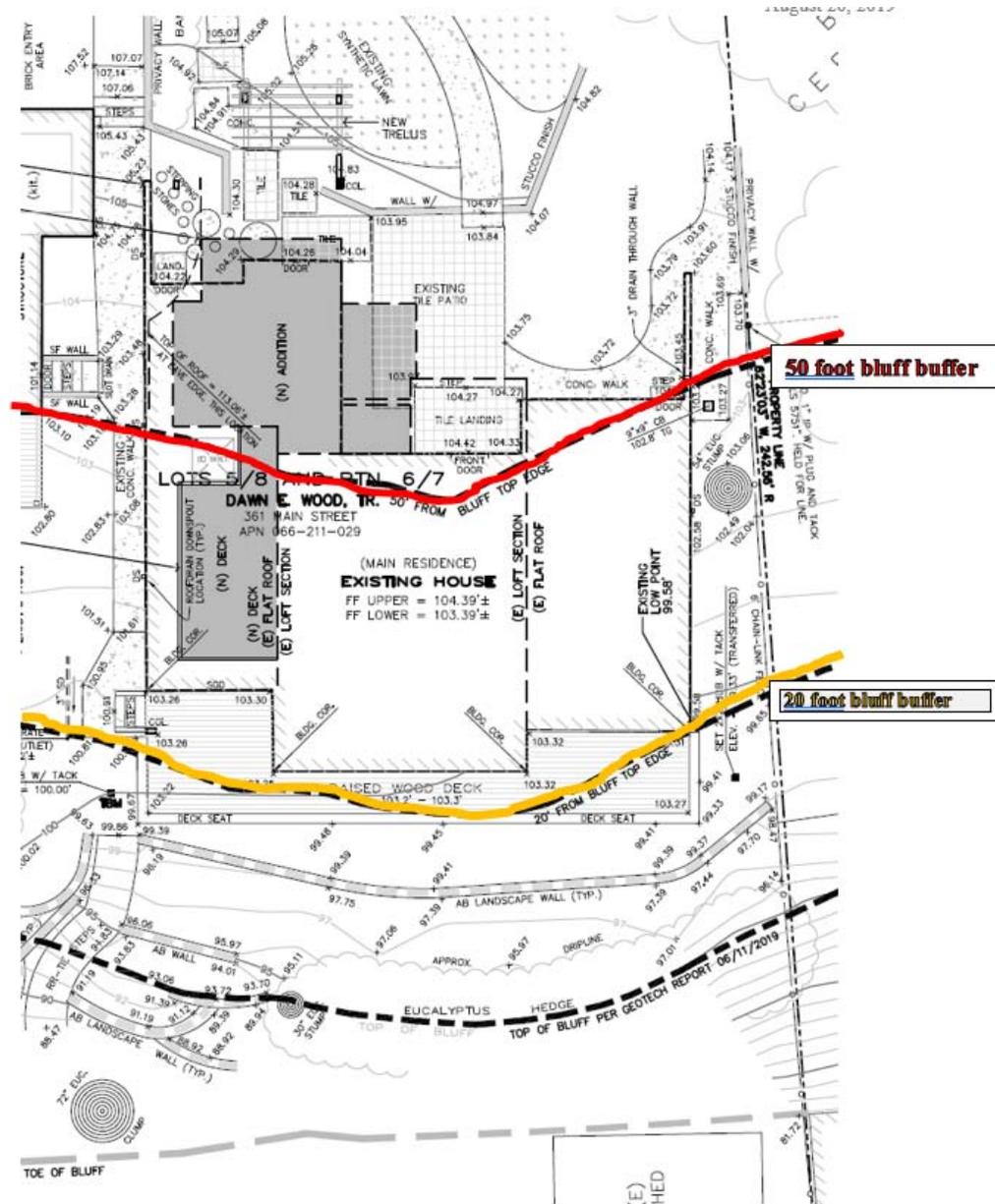
The proposed addition to the existing home meets the setback and height standards. However, the home has one non-conforming issue related to the height in the bluff buffer. The home has a 4/12 pitch shed roof that ranges from 13.5 feet to 22.12 feet between the 20-foot buffer line and the 50-foot buffer line. The height limit for this area is 14 feet, or 17 feet to accommodate a 4/12 sloped roof design. The new addition will have a maximum height of 24.25 inches (from average natural grade) but will be outside of the 50-foot bluff buffer area where a 25 foot height is allowed. The proposed addition complies with all development standards and bluff buffer requirements.

PROJECT ZONING/LAND USE DESIGNATION:

The project site is zoned R-2 with a PD overlay and is in the Planning Area 7 – Central Morro Bay planning area, right on the border of the Bayfront Planning Area. The Land Use residential density for the subject site is moderate density. The site is in the Embarcadero Bluff area in which most of the bluff has been altered or developed, and as such, the visual character of the bluff has been established (CLUP Policy 9.17). The proposed project does not make any changes to the bluff or within the 50 foot bluff buffer area.

The applicant engaged Earth Systems to provide an updated Geologic Bluff Assessment Report (dated June 11, 2019). The report concludes that the bluff on this site and in this general area is no longer a “coastal bluff” (i.e. subject to wave action) and has been relatively unchanged since 1949 (other than the tree removal in 2011 and the addition of

some of the retaining walls. The report provided a determination of the top of the bluff, the 20-foot bluff buffer area and the 50-foot bluff buffer area. See plan below for the Bluff buffer overlay on the site plan for the existing home and the proposed additions. Note: there is a new deck on the second floor within the 20-50-foot bluff buffer area, but the deck railing is at 14 feet above average natural grade, meeting the height requirements of the bluff buffer zone.



Adjacent Zoning/Land Use			
North:	R-2/PD Single Family Residential	South:	R-2/PD Single Family Residential
East:	R-2/PD Single Family Residential	West:	Open Area -2/PD

Site Characteristics	
Site Area	30,897 square feet
Existing Use	Two existing single-family homes (circa 1972 and 1957)
Terrain	Bluff and relatively flat above the bluff
Vegetation/Wildlife	Typical residential vegetation and trees
Archaeological Resources	N/A
Access	Main Street

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Planning Area 7 – Central Morro Bay/ Moderate Density Residential
Base Zone District	R-2
Zoning Overlay District	PD
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Within the Coastal Commission Appeal Jurisdiction

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on September 6, 2019, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301, Class 1e, for additions to existing structures provided that additions will not result in an increase of more than 50% of the existing floor area and not result in an intensity of use. Additionally, none of the Categorical Exemption Exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The project as proposed is consistent with all required development standards of the Zoning Ordinance and all applicable provisions of the General Plan and Local Coastal Plan with incorporation of the recommended conditions of approval.

RECOMMENDATION:

Staff recommends the Planning Commission conditionally approve Coastal Development Permit #CPO-573 and Conditional Use Permit UPO-526 for the project at 361 Main Street, as shown on plans submitted to the City on July 9, 2019, by adopting Planning Commission **Resolution 23-19** which includes the findings and conditions of approval of the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 23-19

Exhibit B – Graphics/Plans

Exhibit C – Photosimulation

RESOLUTION NO. PC 23-19

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING COASTAL DEVELOPMENT PERMIT (CPO-573) AND
CONDITIONAL USE PERMIT (UPO-526) FOR AN ADDITION TO AN EXISTING
HOME LOCATED AT 361 MAIN STREET
WITHIN THE COASTAL COMMISSION APPEAL JURISDICTION

WHEREAS, the Planning Commission of the City of Morro Bay (the "City") conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on September 17, 2019, for the purpose of considering Coastal Development Permit CPO-573 and Conditional Use Permit (UPO-526) for a 395 sf addition to an existing residential property located at 361 Main Street in the R-2/PD zone. The project is subject to bluff setback requirements and is within the Coastal Commission appeal jurisdiction; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 1.e(1), for interior or exterior alternations and additions to existing structure provided that additions will not result in an increase of more than 50% of the existing floor area. Additionally, none of the Categorical Exemption Exceptions, noted under Section 15300.2, apply to the project.

Conditional Use Permit and Coastal Development Permit findings

1. The project is in compliance with the R-2/PD requirements of the zoning code, and the proposed addition is in compliance with the Bluff Buffer requirements. The proposed addition is in compliance with the applicable development standards.

Coastal Development Finding

1. The Planning Commission finds that the project is consistent with the General Plan, the applicable provisions of the Local Coastal Program and Chapter 3 of the California Coastal Act for additions and exterior updates for an existing single-family home.
2. The Planning Commission finds the project, as conditioned, is consistent with the character of the neighborhood in which it is located. It is surrounded by compatible uses of moderate density residential development; has size and scale similar to nearby structures.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CP0-573 and UPO-526 for property located at 361 Main Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated September 9, 2019, for the project at 361 Main Street depicted on plans dated July 9, 2019, as part of Coastal Development Permit CP0-573 and Conditional Use Permit UPO-526, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development and all installed structures and improvements shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development [Director/Manager](#) (the "[Director/Manager](#)"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental

entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.1, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible

at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.

3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Architecture: Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Director.
6. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. A licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Director. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
7. Bluff Setback Requirements: The property owner is responsible for insuring that any portion of the new addition that is in excess of 17 feet in height (or 14 feet in height for new deck railing) is in compliance with the requirements of the Bluff setbacks. No new construction, other than a new rooftop deck with a railing of not more than 14 feet shall occur within the 50-foot bluff buffer area.

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morro-bay.ca.us/EZmanual Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. All proposed projects must complete the "SFR Performance Requirement Determination Form" to prove compliance. (See attached form).
2. Sewer Lateral: Indicate and label new or existing sewer lateral and

connection. If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit plan approval. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.

BUILDING DEPARTMENT CONDITIONS:

A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.

4. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.

5. The applicant shall provide proof that the addition does not cross existing property lines. The site plan for the building permit set of drawings shall show all underlying lots and if the addition crosses property lines the applicant shall be required to process a lot merger prior to issuance of a building permit. (The Assessor's parcel page appears to indicate that the addition crosses the property line between lots 5 and 8)

6. BUILDING PERMIT APPLICATION. To apply for building permits, submit three (3) sets of construction plans to the Building Division. The Title sheet of the plans shall include:
 - a. Street address, lot, block, track and Assessor Parcel Number.
 - b. Description of use.
 - c. Type of construction.
 - d. Maximum Height of the building allowed and proposed.
 - e. Floor area of the building(s).
 - f. Vicinity map.
 - g. Minimum building set back per zoning designation or conditional use approval.

All construction will conform to the 2016 California Building Code (CBC), 2016 California Residential Code (CRC), 2016 California Fire Code (IFC), 2016 California Mechanical Code (CMC), 2016 California Plumbing Code (CPC), 2016 California Electrical Code (CEC), 2016 California Energy Code, 2016 California Green Code (CGBC), and Accessibility Standards where applicable and all City codes as they apply to this project.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

1. SITE MAINTENANCE. During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.

2. **ARCHAEOLOGICAL MATERIALS.** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
3. A licensed surveyor or engineer shall verify pad elevations, setbacks, prior to foundation inspection, and/or building height prior to framing inspection when determined necessary by the Planning Division.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:

1. Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.
2. Title 24 form(s) 2F-6R (Certificate of installation) for building, mechanical, electrical and plumbing systems.

D. CONDITIONS SUBJECT TO ONGOING COMPLIANCE:

1. **COMPLIANCE WITH APPLICABLE LAWS.** All applicable requirements of any law or agency of the State, City of Morro Bay and any other governmental entity at the time of construction shall be met. The duty of inquiry as to such requirements shall be upon the applicant.

FIRE DEPARTMENT CONDITIONS:

1. Fire Safety during construction and demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations

2. Carbon monoxide alarms in new dwellings and sleeping areas. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with the UL 2034 and be installed and maintained in accordance with MFPA 720 and the manufacturer's instructions (CRC R315.2)

3. Address identification. All new and existing single-family residence and ADU's shall have their own approved address numbers or building numbers placed in a position to be plainly legible from the street or road fronting the property (CFC 505). Provide approved address numbers 4 inches high with ½ inch stroke in contrasting numbers.

Recommended, but not required: Automatic fire sprinklers in accordance with NFPA 13-D, California Fire Code (Section 903) and Morro Bay Municipal Code (Section 14.08.090)

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 17th day of September 2019 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson Gerald Luhr

ATTEST

Scot Graham, Community Development Director

The foregoing resolution was passed and adopted this 17th day of September 2019.

ENTRY PERSPECTIVE



MATERIALS, DETAILING & COLORS TO MATCH EXISTING RESIDENCE'S DESIGN

LANDSCAPING TO REMAIN INTACT AND EXISTING WITH MINIMAL DISTURBANCE

BLDG. CODES

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRIC CODE
- 2016 CALIFORNIA ENERGY CODE
- CALIFORNIA GREEN BUILDING CODE
- 2016 CALIFORNIA FIRE CODE
- CALIFORNIA REFERENCE STANDARDS CODE

PUBLIC WORKS

NO WORK WITHIN NOR ANY USE OF ANY PUBLIC RIGHTS OF WAY SHALL OCCUR WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMITS ARE AVAILABLE AT THE CITY'S PUBLIC SERVICES OFFICE LOCATED AT 955 SHASTA AVE. THE ENCROACHMENT PERMIT SHALL BE ISSUED CONCURRENTLY WITH THE BUILDING PERMIT.

ANY DAMAGE TO ANY OF THE CITY'S FACILITIES (SUCH AS CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS) RESULTING, DIRECTLY OR INDIRECTLY FROM CONSTRUCTION OPERATIONS RELATED TO THIS PROJECT SHALL BE REPAIRED AT NO COST TO THE CITY.

NO GRADING IS PROPOSED FOR PROJECT, ASIDE FROM FOOTING EXCAVATION.

DUST CONTROL: TO PREVENT DUST AND WIND BLOWN EARTH PROBLEMS DURING FOOTING EXCAVATION, CONTRACTOR TO KEEP SOIL MOIST USING NON-POTABLE WATER

EROSION CONTROL: STRAW WADDLES TO BE PLACED FOR EROSION CONTROL DURING CONSTRUCTION AROUND ANY AREAS OF EXCAVATION

FORM/HEIGHT CERTS

PRIOR TO FOUNDATION INSPECTION, A FORM CERTIFICATION PREPARED BY THE LAND SURVEYOR SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT TO CERTIFY BUILDING SETBACKS AND FLOOR HEIGHTS.

PRIOR TO ROUGH FRAMING / SHEAR & NAILING INSPECTIONS A HEIGHT CERTIFICATION PREPARED BY THE LAND SURVEYOR SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT TO CERTIFY THE BUILDING HEIGHT IS BELOW THE MAXIMUM ALLOWABLE HEIGHT.

STORMWATER

APPENDIX A

SFR PERFORMANCE REQUIREMENT DETERMINATION FORM

The following form shall be completed for all SFR development and redevelopment projects. Projects that are exempt from performance requirements are required to complete Section 1 & 2 only.

Section 1: General Information	
Project name	Addition to the Wood Residence
Project Address	361 Main Street
Assessor's Parcel Number(s)	066-211-029
Name of Applicant	Dawn Wood
Applicant email address:	aubewood@verizon.net
Applicant phone:	(805) 402-7979
Project Type (e.g. single-family residential, commercial, etc.)	Ex. SFR on R-2 Lot w/ 2nd Resid.
Section 2: Area Information (ft²)	
Total Project Area	30,897 Sq. Ft.
Total Existing Impervious surface area	9,732 Sq. Ft.
Proposed Gross Impervious Area (list only the surface areas that are being created or replaced)	
a. Rooftops	(ADDITION IS ON 2ND FLOOR & SUPPORTED BY EXISTING STRUCTURE AND POSTS OVER EXISTING LANDSCAPE/GRADES)
b. Driveways	
c. Patios	
d. Parking Lots	
e. Other (Support Post Footings)	10 Sq. Ft.
Total Gross Impervious Area	10 Sq. Ft. Additional Imperv. Area
If Gross Impervious Area <2,500 ft ² , write "EXEMPT". Otherwise continue to Sec. 3	<Exempt>
Section 3: PR Determination	
Net Impervious Area (from page 7)	
Performance Requirements (from Flow Chart)	

PROJECT DESCRIPTION

ADDITION OF BEDROOM, BATHROOM AND DECK TO THE SECOND FLOOR OF AN EXISTING 1-BEDROOM RESIDENCE.

PROJECT INFO.

APN:	066-211-029
ZONING:	R-2 / PD
LOT SIZE:	30,897 SQ. FT.
LOT COVERAGE: (EXISTING)	4,040 SQ. FT.) 13%
LOT COVERAGE: (PROPOSED)	(4,175 SQ. FT.) 14%
OCCUPANCY:	R-3 SFR
CONSTRUCTION TYPE:	TYPE V, NON-SPRINKLED
EXISTING RESIDENCE:	1,838 SQ. FT.
EXISTING LOFT AREA:	290 SQ. FT.
EXISTING DETACHED GARAGE:	511 SQ. FT.
EXISTING OPEN REAR DECK:	246 SQ. FT.
EXISTING COVERED REAR DECK:	140 SQ. FT.
EXISTING COVERED ENTRY:	73 SQ. FT.
PROPOSED 2ND FLOOR ADDITION:	395 SQ. FT.
PROPOSED 2ND FLOOR DECK:	183 SQ. FT.
OTHER EXIST'G RESID. ON-SITE:	1,278 SQ. FT.
EXIST'G SHED ON-SITE:	200 SQ. FT.
HEIGHTS:	
HIGH POINT	105.23'
LOW POINT	99.58'
AVERAGE NATURAL GRADE	102.41'
EXISTING RIDGE:	124.78'
PROPOSED DECK RAIL:	(14.00' ABOVE ANG) 116.41'
PROPOSED ADDITION - RIDGE:	(24.25' ABOVE ANG) 126.66'

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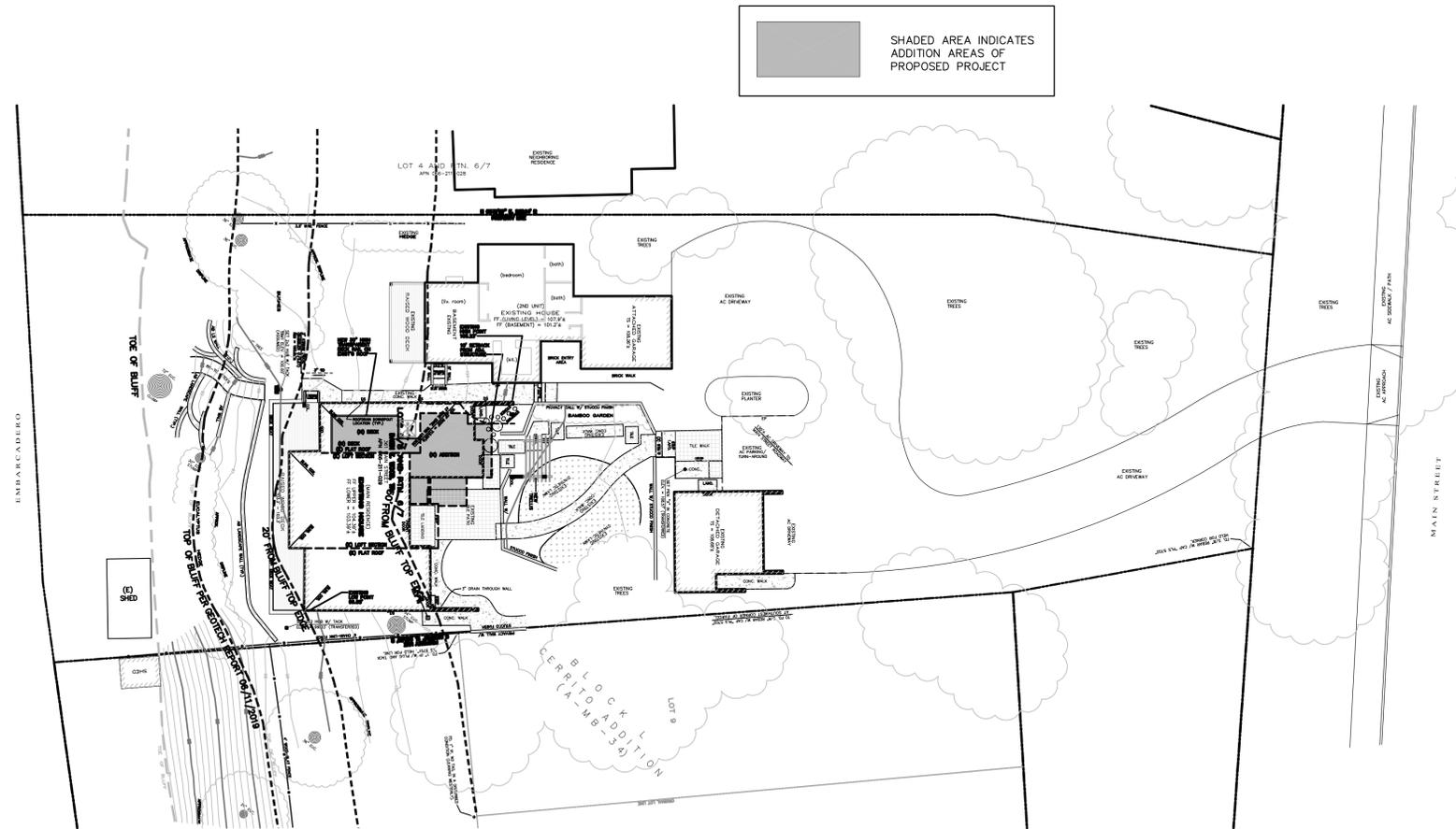
C. P. PARKER ARCHITECT

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(805) 772-5700

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SITE PLAN

SCALE: 1" = 20'-0"

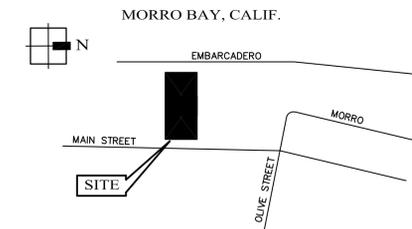
ARCHAEOLOGY

IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF SUBSURFACE MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING OR EXCAVATION SHALL IMMEDIATELY CEASE IN THE IMMEDIATE AREA, AND THE FIND SHOULD BE LEFT UNTOUCHED UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST OR PALEONTOLOGIST, WHICHEVER IS APPROPRIATE, IS CONTACTED AND CALLED IN TO EVALUATE AND MAKE RECOMMENDATIONS AS TO DISPOSITION, MITIGATION AND/OR SALVAGE. THE DEVELOPER SHALL BE LIABLE FOR COSTS ASSOCIATED WITH THE PROFESSIONAL INVESTIGATION.

CONST. HOURS

PURSUANT TO MBMC SUBSECTION 9.28.030.I, CONSTRUCTION OR REPAIRING OF BUILDINGS, THE ERECTION (INCLUDING EXCAVATING), DEMOLITION, ALTERATION, OR REPAIR OF ANY BUILDING OR GENERAL LAND GRADING AND CONTOUR ACTIVITY USING EQUIPMENT IN SUCH A MANNER AS TO BE PLAINLY AUDIBLE AT A DISTANCE OF FIFTY FEET FROM THE BUILDING OTHER THAN BETWEEN THE HOURS OF SEVEN A.M. AND SEVEN P.M. ON WEEKDAYS AND EIGHT A.M. AND SEVEN P.M. ON WEEKENDS EXCEPT IN CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH A PERMIT FROM THE PUBLIC SERVICES DEPT., WHICH PERMIT MAY BE GRANTED FOR A PERIOD NOT TO EXCEED THREE DAYS OR LESS WHILE THE EMERGENCY CONTINUES AND WHICH PERMIT MAY BE RENEWED FOR A PERIOD OF THREE DAYS OR LESS WHILE THE EMERGENCY CONTINUES.

VICINITY MAP



SHEET INDEX

A1.1	OVERALL SITE PLAN, PROJ. INFO.
A1.2	ENLARGED SITE PLAN / LAND SURVEY
A2.1	EXISTING FLOOR PLANS
A2.2	PROPOSED FLOOR PLANS
A3.1	EXISTING EXTERIOR ELEVATIONS
A3.2	PROPOSED EXTERIOR ELEVATIONS
A3.3	PROPOSED EXTERIOR ELEVATIONS

PROJECT

ADDITION TO THE WOOD RESIDENCE

361 MAIN STREET MORRO BAY, CA 93442

DRAWING PHASE

DESIGN DEVELOPMENT

Project No.	-
Drawn By	CPP
Dwg. Date	07/05/19
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE

SITE PLAN PROJECT INFO.

SHEET NO.

A1.1

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C. P. PARKER ARCHITECT

CHRISTOPHER P. PARKER ARCHITECT
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 (805) 772-5700

STAMPS



CONSULTANTS

SHADED AREA INDICATES ADDITION AREAS OF PROPOSED PROJECT

BEAUTZ ENGINEERING
 CIVIL ENGINEERING
 LAND SURVEYING
 1360 15th STREET, LOS OSOS, CA 93402
 (805) 528-5233

PROJECT

ADDITION TO THE WOOD RESIDENCE

361 MAIN STREET MORRO BAY, CA 93442

DRAWING PHASE

DESIGN DEVELOPMENT

Project No.	-
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REVISIONS

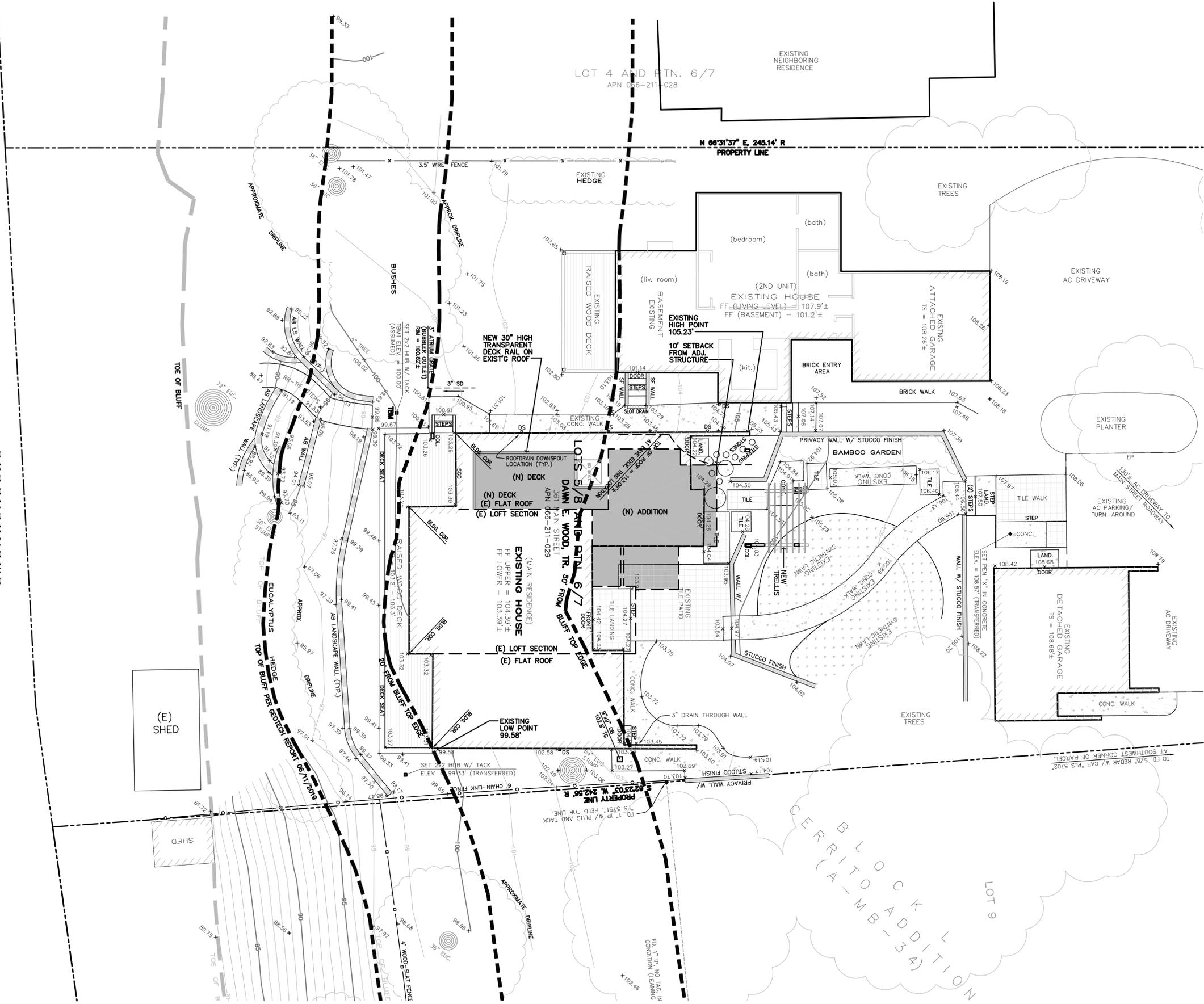
SHEET TITLE

ENLARGED SITE PLAN & SURVEY

SHEET NO.

A1.2

EMBARCADERO



BENCHMARK

THE REFERENCE ELEVATION FOR THIS PROJECT IS A SET 2"x2"x6" WOOD HUB WITH TACK NEAR THE NORTHWEST CORNER OF THE EXISTING PRIMARY RESIDENCE AT 361 MAIN STREET (SHOWN HEREON).
 TBM1 ELEVATION = 100.00' (ASSUMED DATUM)
 A SECOND 2"x2"x6" WOOD HUB WITH TACK WAS SET NEAR THE SOUTHWEST CORNER OF THE EXISTING PRIMARY RESIDENCE AT 361 MAIN STREET (SHOWN HEREON).
 TBM2 ELEVATION = 99.33' (TRANSFERRED)

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHEAST LINE OF ORCAS STREET, BEING ESTABLISHED BETWEEN A TOWN W/ TACK AND W/ TAG TIES 5700' IN THE TOP OF AN OLD 2x2" HUB AT THE WEST CORNER OF LOT 2 AND A FOUND 1 1/2" IRON PIPE (NO TAG) AT THE NORTH CORNER OF LOT 4.
 N 46°15'30" E, 207.30' (MEASURED PER THIS SURVEY)
 N 46°15'30" E, 207.15' (RECORD DATA PER 5-MB-111)

STORM DRAIN NOTE

THE EXISTING 3" CPP STORM DRAIN ALONG THE NORTH SIDE OF THE PRIMARY RESIDENCE HAS LATERAL BRANCH LINES THAT DIRECTLY PLUMB THE DOWNSPOUTS INTO THE SYSTEM. THE SYSTEM OUTLETS VIA A BUBBLER WITH AN ATRIUM GRATE.

EXISTING IMPROVEMENTS AND TOPOGRAPHY

EXISTING SITE IMPROVEMENTS, BOUNDARY DATA AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY CONDUCTED IN APRIL, 2017.

LINETYPE AND SYMBOL LEGEND

PROPERTY BOUNDARY	
ADJACENT PROPERTY LINE	
MAJOR CONTOUR	
MINOR CONTOUR	
FOOTPRINT OF STRUCTURE	
CONCRETE HARDSCAPE	
TILE HARDSCAPE	
BRICK HARDSCAPE	
EDGE OF HARDSCAPE	
CHAIN-LINK FENCE	
WOOD FENCE	
TOP/TOE OF SLOPE	
SEWER MAIN	
SPOT ELEVATION	
FOUND SURVEY MONUMENT	

ENLARGED SITE PLAN / LAND SURVEY

SCALE: 1/8" = 1'-0"

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CONSULTANTS

PROJECT

ADDITION TO THE WOOD RESIDENCE

361 MAIN STREET MORRO BAY, CA 93442

DRAWING PHASE

DESIGN DEVELOPMENT

Project No.	-
Drawn By	CPP
Dwg. Date	07/05/19
Updated	-
Scale	AS NOTED

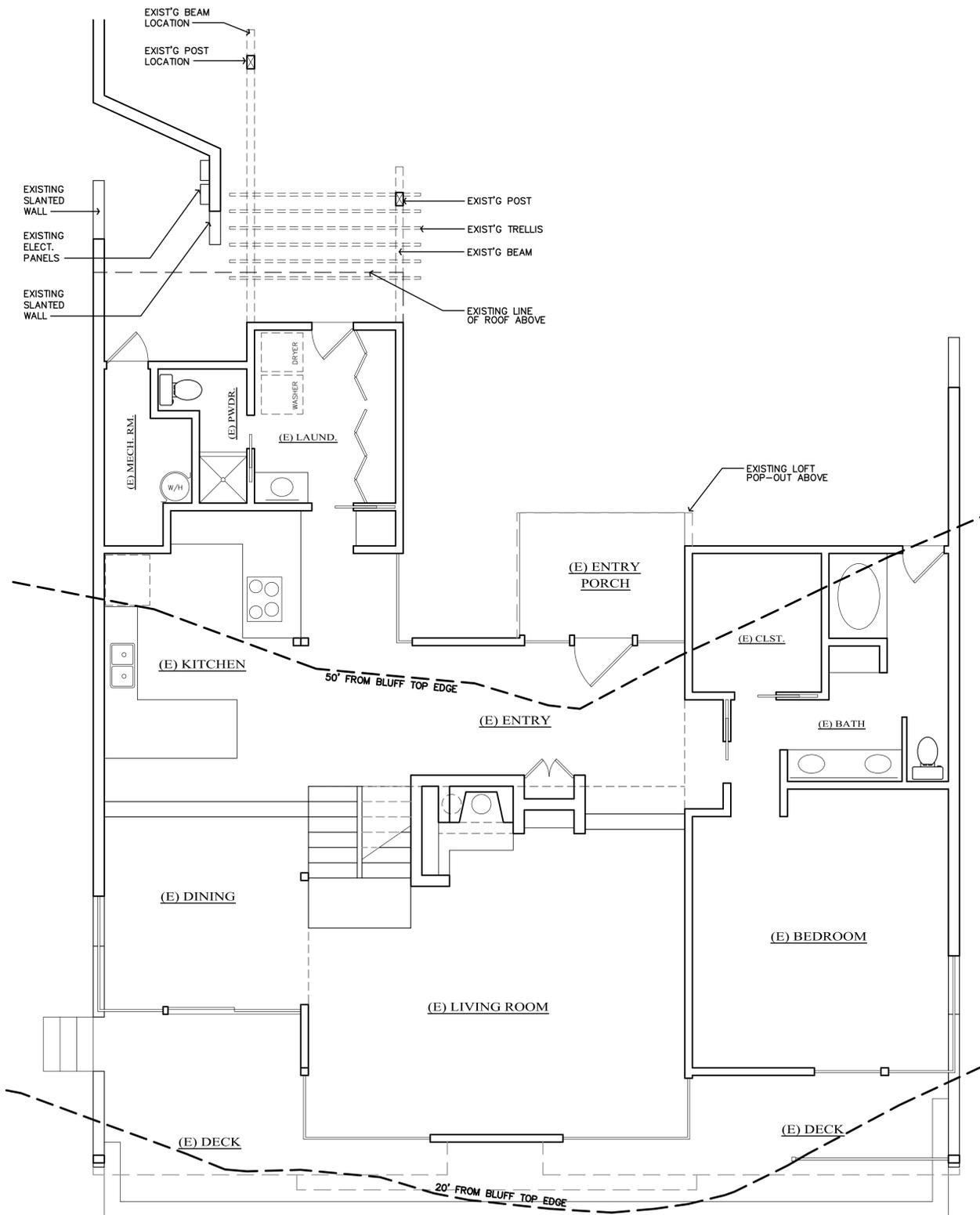
REVISIONS

SHEET TITLE

EXISTING FLOOR PLANS

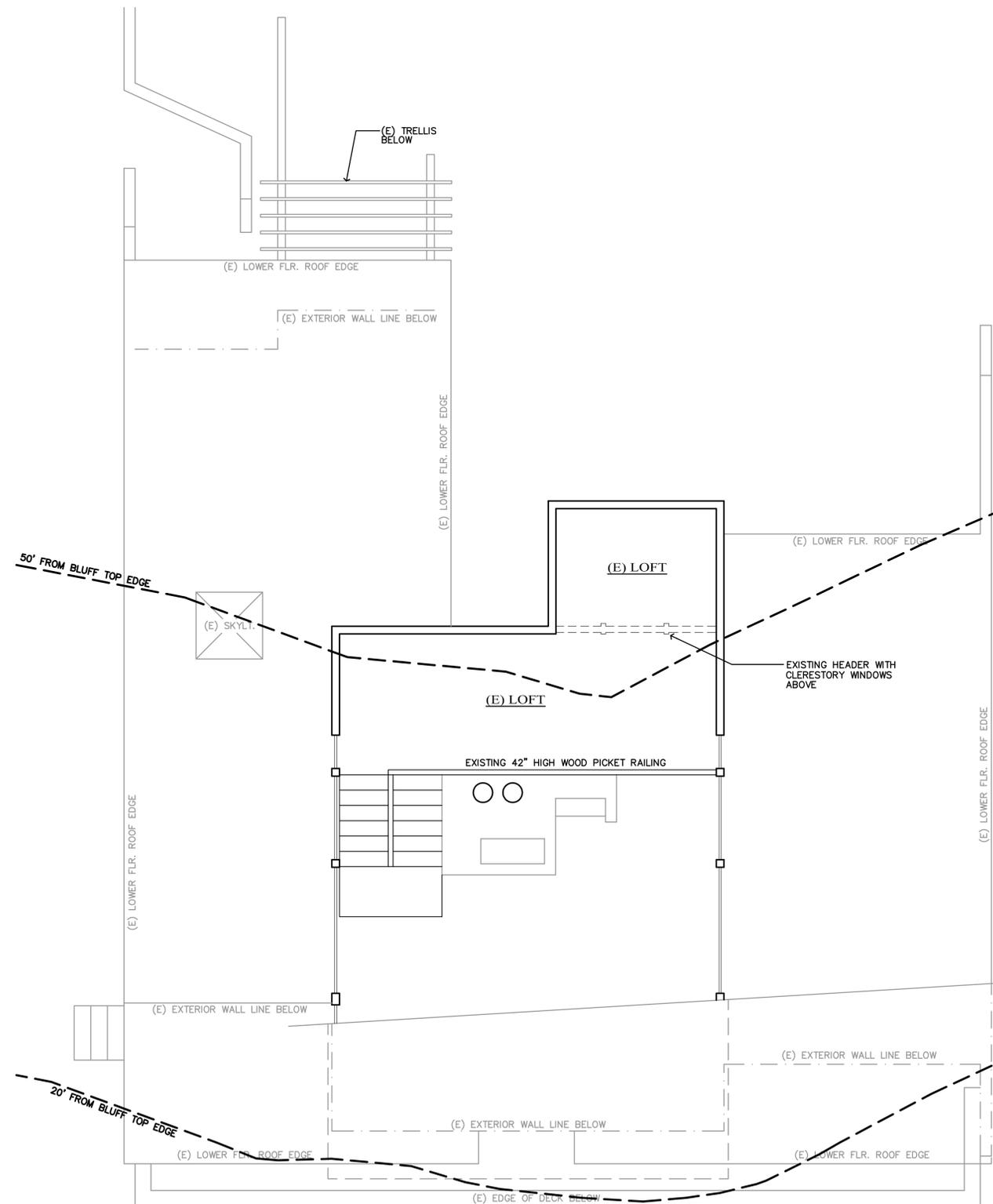
SHEET NO.

A2.1



EXISTING LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

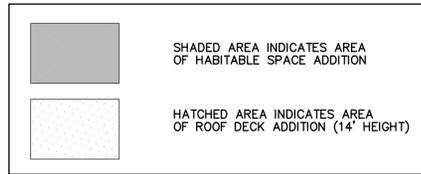


EXISTING UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

LANDSCAPING TO REMAIN INTACT AND EXISTING WITH MINIMAL DISTURBANCE

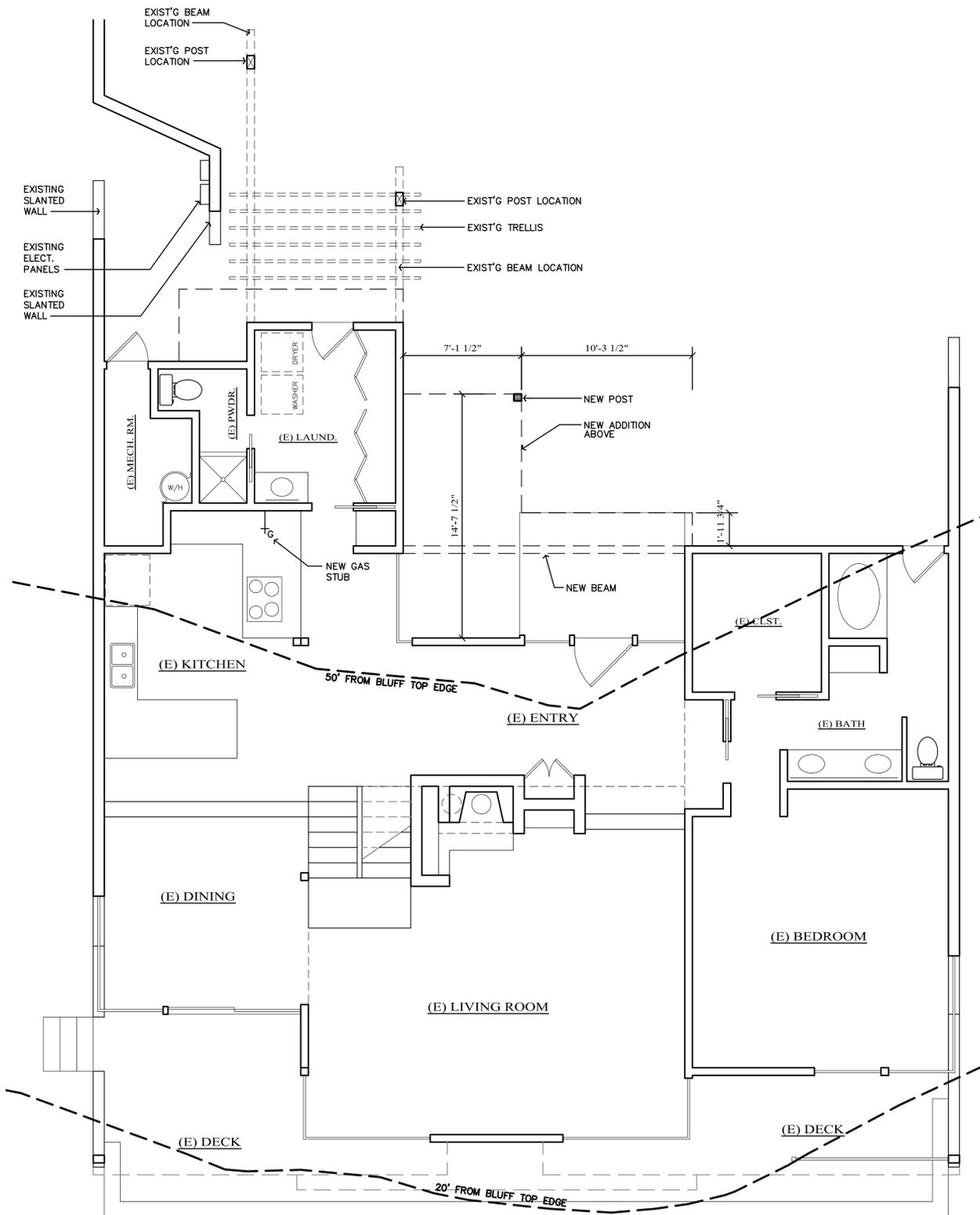
MATERIALS, DETAILING & COLORS TO MATCH EXISTING RESIDENCE'S DESIGN



SYMBOL	WALL FINISH	SYMBOL	DOOR TYPE
(A)	PAINTED DRYWALL	(1)	SOLID WOOD PANEL TO MATCH EXIST'G DOWNSTAIR DOORS
(B)	FAUX STUCCO WALL	(2)	FULL LIGHT - SQUARE GLASS PATTERN TO MATCH EXIST'G DOWNSTAIR DOORS
(C)	WOOD SHIPLAP	(3)	FULL LIGHT - PRIVACY GLASS
(D)	WALL PAPER	(4)	FULL LIGHT - CLEAR GLASS
(E)	MIRROR PANELS		

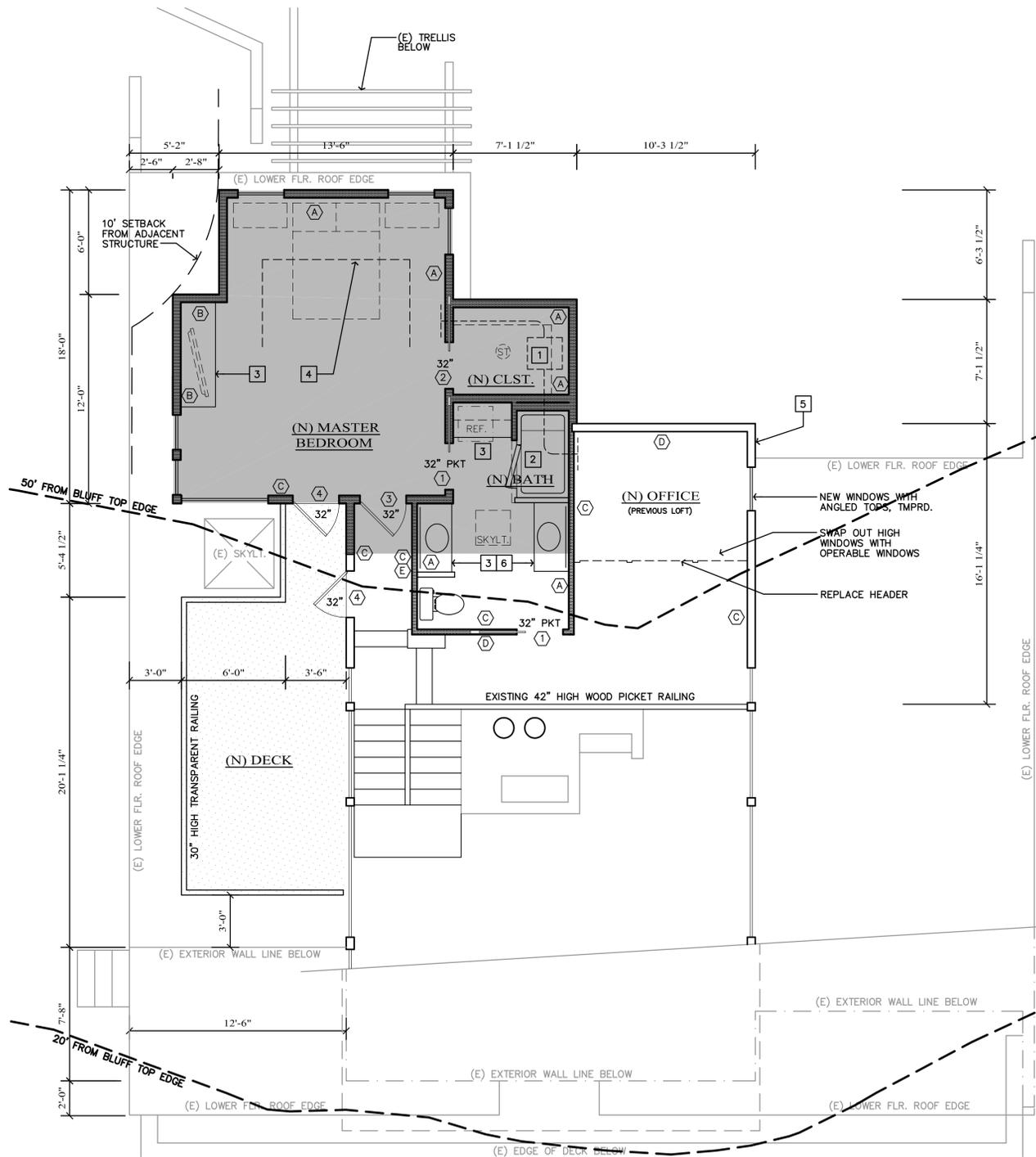
SYMBOL	NOTES
1	WHOLE HOUSE FAN LOCATED IN ATTIC OF MASTER CLOSET
2	SOFFIT OVER TUB AREA TO ALLOW DUCTING FOR WHOLE HOUSE FAN
3	SHIPLAP WOOD CABINETS CONSTRUCTED TO BE SIMILAR TO DOWNSTAIR BATH CABINETS
4	VAULTED CEILING WITH CLERESTORY WINDOWS IN ROOF DORMER
5	ROOF SLOPE TO MATCH SLOPE OF ROOF DORMER IN MASTER BEDROOM
6	WHITE CORIAN COUNTERTOP WITH INTEGRAL SINK

DUCTLESS MINISPLIT TO BE INSTALLED TO HEAT AND COOL THE UPSTAIRS



PROPOSED LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

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CONSULTANTS

PROJECT

ADDITION TO THE WOOD RESIDENCE

361 MAIN STREET MORRO BAY, CA 93442

DRAWING PHASE

DESIGN DEVELOPMENT

Project No.	-
Drawn By	CPP
Dwg. Date	07/05/19
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SHEET TITLE
PROPOSED FLOOR PLANS

SHEET NO.

A2.2

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CONSULTANTS

PROJECT

ADDITION TO THE WOOD RESIDENCE

361 MAIN STREET MORRO BAY, CA 93442

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REVISIONS

SHEET TITLE
EXISTING EXTERIOR ELEVATIONS

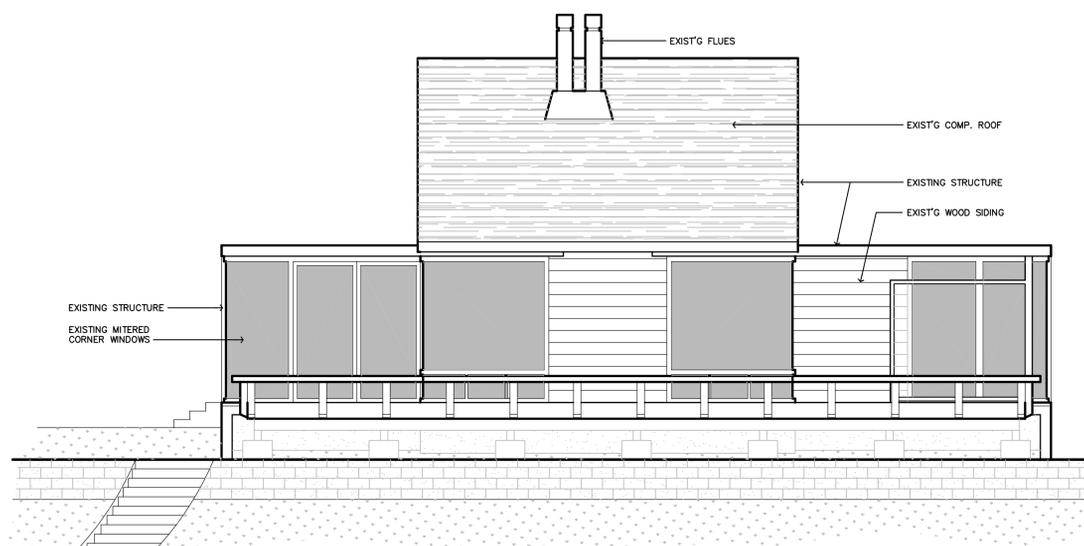
SHEET NO.

A3.1



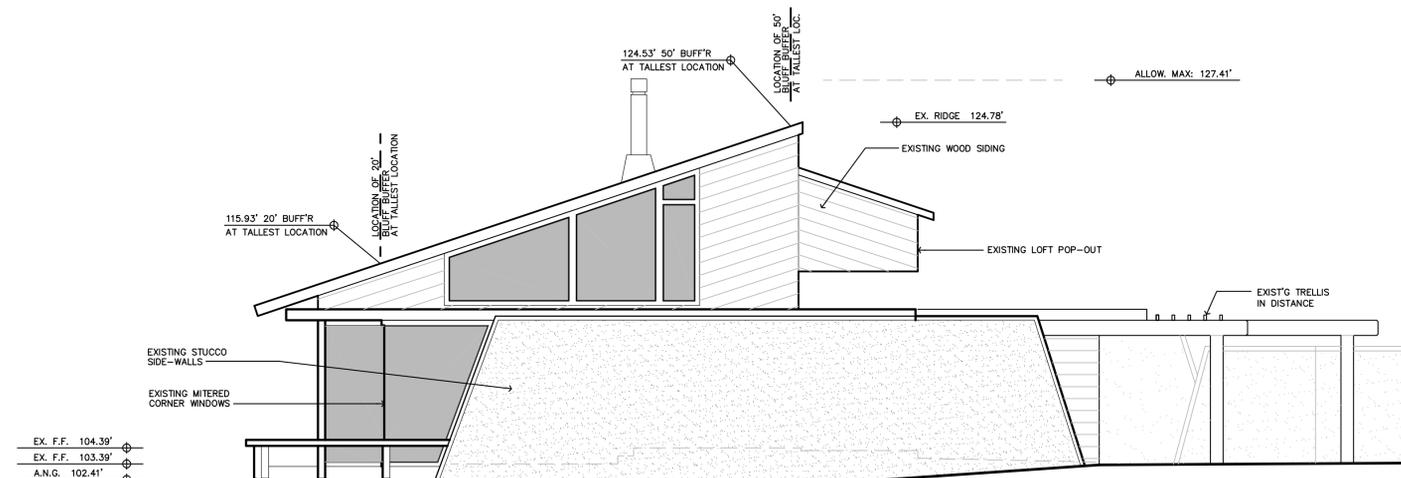
EXISTING EAST ELEVATION

SCALE: 3/16" = 1'-0"



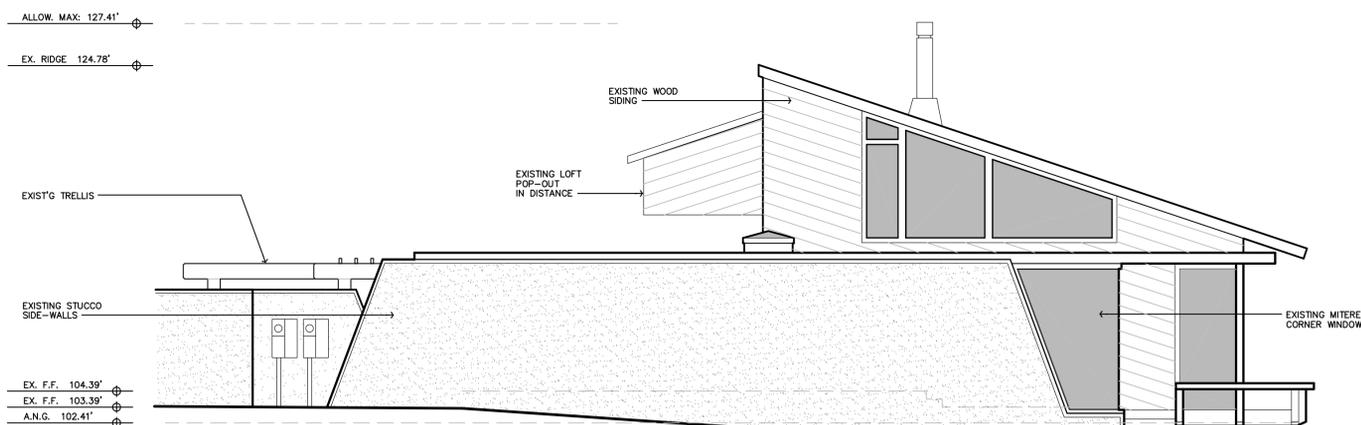
EXISTING WEST ELEVATION

SCALE: 3/16" = 1'-0"



EXISTING SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EXISTING NORTH ELEVATION

SCALE: 3/16" = 1'-0"

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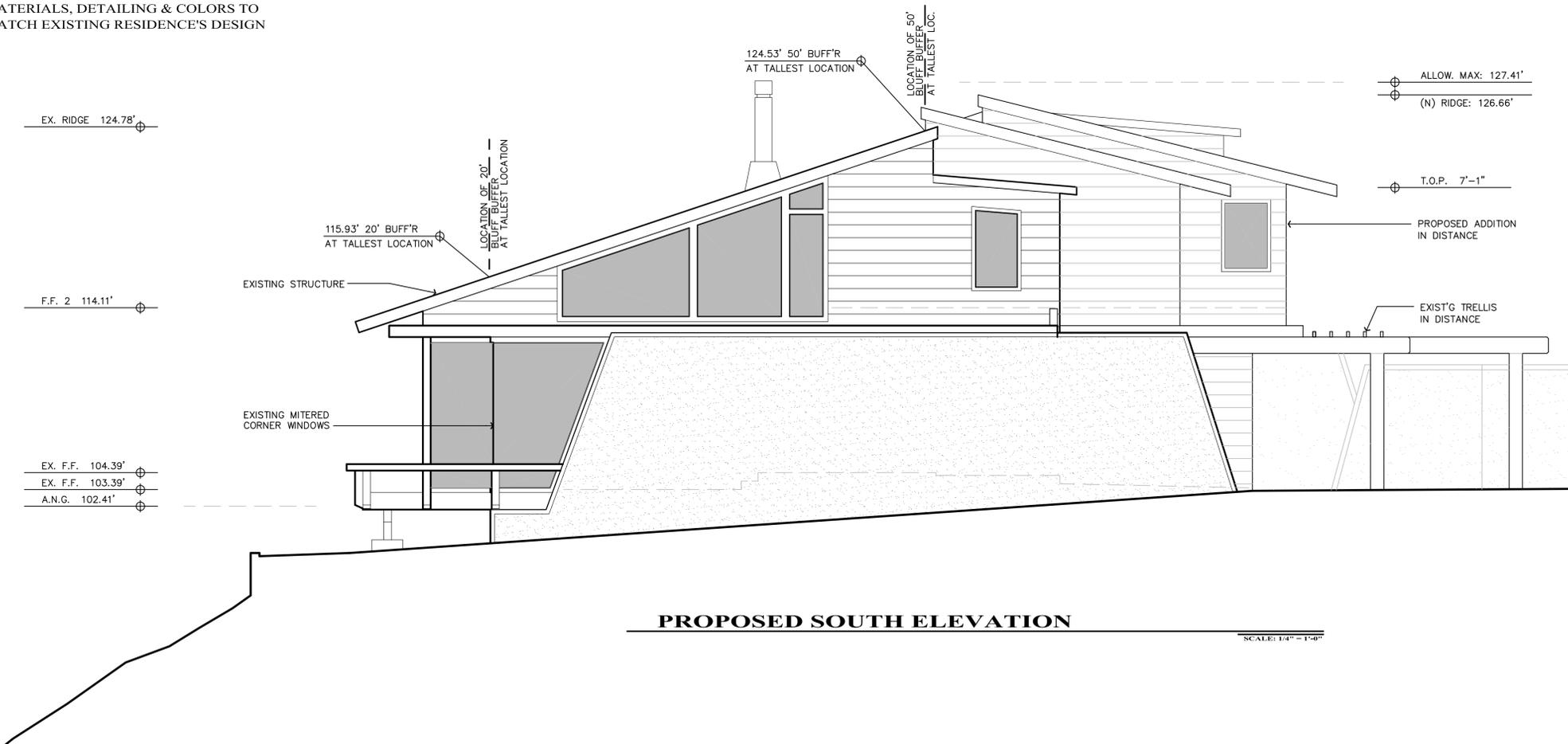


PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

LANDSCAPING TO REMAIN INTACT AND EXISTING WITH MINIMAL DISTURBANCE

MATERIALS, DETAILING & COLORS TO MATCH EXISTING RESIDENCE'S DESIGN



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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STAMPS



CONSULTANTS

PROJECT

ADDITION TO THE WOOD RESIDENCE

361 MAIN STREET
 MORRO BAY, CA 93442

DRAWING PHASE

DESIGN DEVELOPMENT

Project No.	-
Drawn By	CPP
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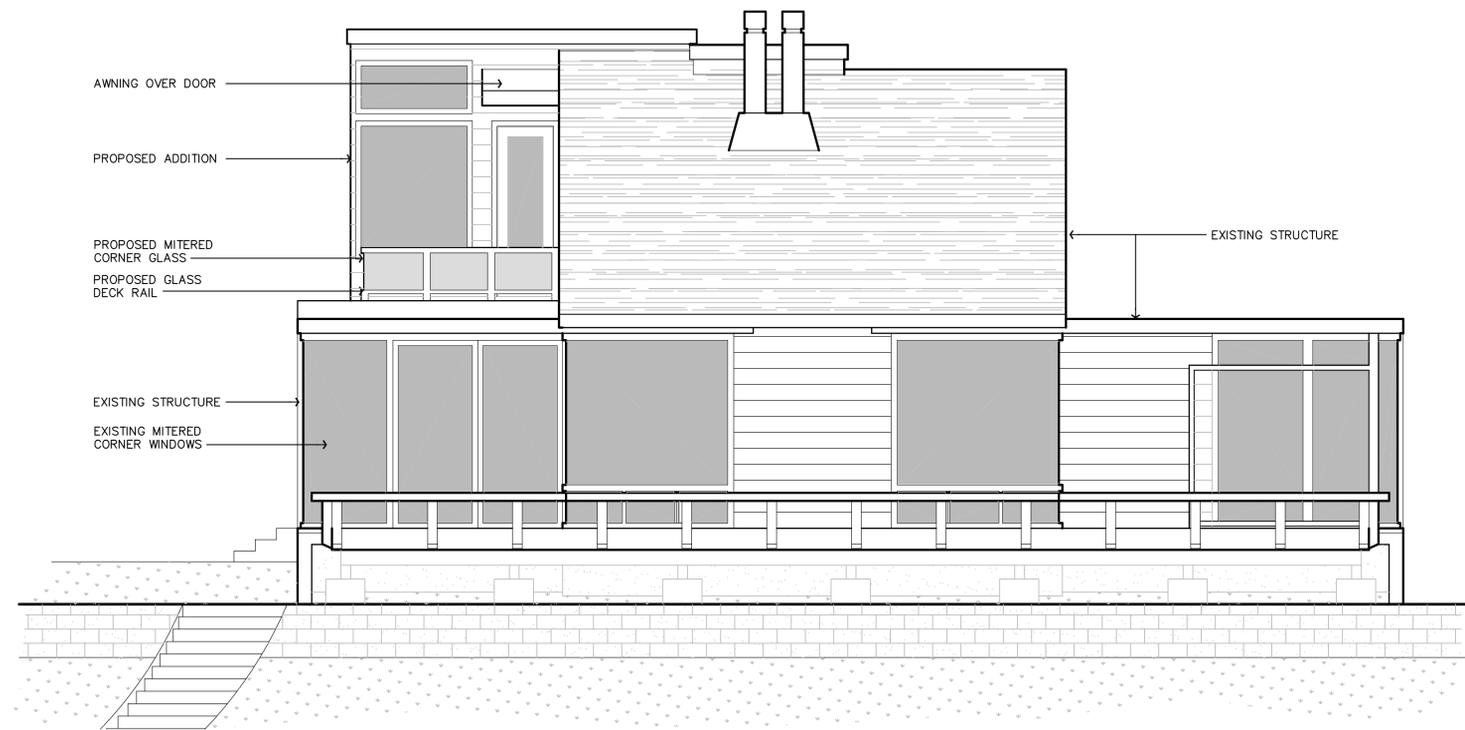
REVISIONS

SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

SHEET NO.

A3.2

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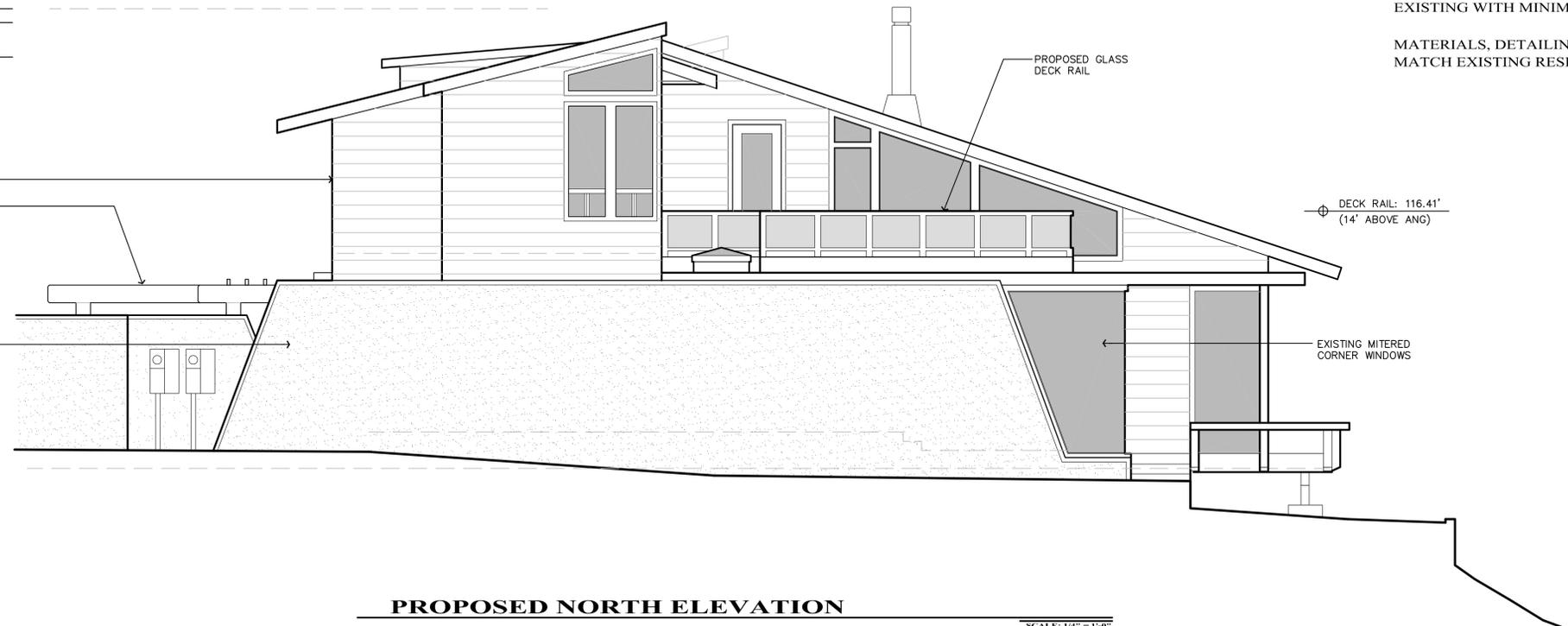
PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

ALLOW. MAX: 127.41'
 (N) RIDGE: 126.66'
 EX. RIDGE 124.78'

PROPOSED ADDITION
 EXIST'G TRELLIS
 F.F. 2 114.11'

EX. F.F. 104.39'
 EX. F.F. 103.39'
 A.N.G. 102.41'



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

LANDSCAPING TO REMAIN INTACT AND EXISTING WITH MINIMAL DISTURBANCE
 MATERIALS, DETAILING & COLORS TO MATCH EXISTING RESIDENCE'S DESIGN

DECK RAIL: 116.41'
 (14' ABOVE ANG)

C. P. PARKER ARCHITECT

CHRISTOPHER P. PARKER ARCHITECT
 630 QUINTANA RD. #330 MORRO BAY, CA 93442
 (805) 772-5700



CONSULTANTS

PROJECT

ADDITION TO THE WOOD RESIDENCE

361 MAIN STREET MORRO BAY, CA 93442

DRAWING PHASE

DESIGN DEVELOPMENT

Project No.	-
Drawn By	CPP
Dwg. Date	07/05/19
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

SHEET NO.

A3.3

Exhibit C



**361 MAIN STREET
VIEW FROM TIDELANDS PARK**

PROPOSED ADDITION

Exhibit C



**361 MAIN STREET
VIEW FROM TIDELANDS PARK**

EXISTING RESIDENCE



AGENDA NO: B-2

MEETING DATE: September 17, 2019

Staff Report

TO: Planning Commissioners **DATE:** September 9, 2019

FROM: Willow Urquidi, Assistant Planner

SUBJECT: **Coastal Development Permit (CDP19-033) and Conditional Use Permit (CUP19-09)** Request for Coastal Development Permit and Conditional Use Permit for construction of a 1,120 sf addition, including an accessory dwelling unit, to an existing non-conforming 1,120 sf single-family residence with an existing detached 400 sf garage. The site is located in an R-1/S.2A Zone outside of the Coastal Commission Appeals Jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission **Resolution 24-19** (Exhibit A) which includes the Findings and Conditions of Approval for the project depicted on site development plans dated August 21, 2019

APPLICANT:

Jay and Cynthia Friensen

AGENT:

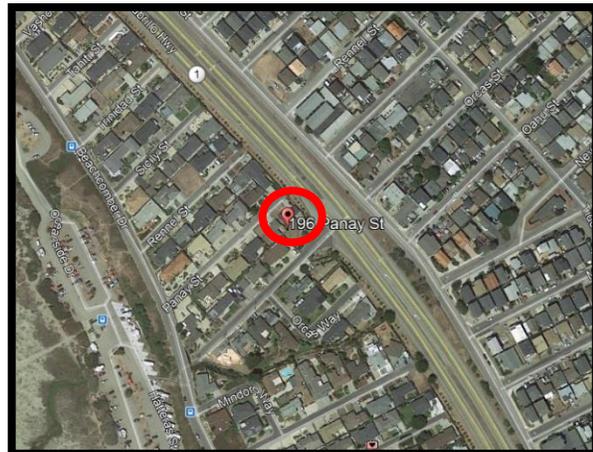
Leaha Magee

ADDRESS/APN:

196 Panay Street; 065-106-046 and 065-106-147

PROJECT DESCRIPTION:

The Applicant is requesting approval to construct a 1,120 sf addition, including an accessory dwelling unit (ADU) that is attached to a non-conforming primary residence.



PROJECT SETTING:

The project is located within the Atascadero Beach Neighborhood, designated as Planning Area 2 in the Local Coastal Plan, it lies within the R-1/S.2A (Single-Family Residential/Special Design Criteria Overlay) Zoning District and outside of the Coastal Commission Appeal Jurisdiction. The project expands over two parcels, totaling 7,865 sq. ft. A Lot Merger is required as a condition of this project’s approval. The project site is located to the north of Orcas Street, south of Rennel Street, east of Highway 1, and to the west of Beachcomber Drive. The project can be seen from scenic Highway 1.



Adjacent Zoning/Land Use			
North:	R-1/S.2A Single-Family Residential/Special Design Criteria Overlay	South:	R-1/S.2A Single-Family Residential/Special Design Criteria Overlay
East:	Highway 1	West:	R-1/S.2A Single-Family Residential/Special Design Criteria Overlay

Site Characteristics	
Site Area	7,865 square feet
Existing Use	Single-Family Residential
Terrain	Virtually Flat and Developed
Vegetation/Wildlife	Residential Landscaping
Archaeological Resources	N/A
Access	Panay Street

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Moderate Density
Base Zone District	R-1
Zoning Overlay District	S.2A
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located outside of the Coastal Commission Appeal Jurisdiction

R-1/S.2A Zoning Ordinance Standards		
	Standards	Proposed
Front Setback	15 feet	13' 2"
Eastern Side-Yard Setback	Detached Garage: 1 foot	2'
Western Side-Yard Setback	5 feet	5'
Building Separation	Detached Garage: 6'	Existing = 5' Addition = 7'
Rear Setback	5 feet	5'
Height	14 feet	13' 8 1/2"
Lot Coverage	Max. 50%	38.96%
Parking	2 Car Garage	2 Car Garage

PROJECT DISCUSSION:

The existing single-family residence was constructed prior to the City's incorporation, and there are no files associated with the address on record. The Applicant proposes to construct a 1,120 sf addition, including a 330 sf accessory dwelling unit with a roof deck that is attached to the existing non-conforming primary residence via a roofed porch and add 216 sf of workshop space to the existing detached garage.

Setbacks

The existing 1,120 sq. ft. primary residence sits 13' 2" from the front property line on Panay Street, is proposed at 5' from the western property line and is proposed at 5' from the rear property line. The existing detached garage sits 2' from the eastern side property line. Pursuant to Morro Bay Municipal Code (MBMC) section 17.24.050, the only non-conforming setback on the lot is the existing front setback at 13' 2", where 15' is the requirement.

Building Separation

The existing 400 sq. ft. detached garage sits 5' away from the existing primary residence. Pursuant to MBMC section 17.48.042, the minimum distance between accessory buildings and other buildings on the same lot shall be 6'. The proposed workshop space addition to the existing garage will step in to meet the 6' requirement.

Lot Merger and Easement Abandonment Requirements

The existing project area extends over two parcels that make up 196 Panay. A lot merger is required prior to issuance of the project's Building Permit (See Planning Condition 8). Additionally, the Public Works Department has received an application for the abandonment of two "coincident" utility easements which bisect the referenced project. Letters from affected utility companies have been received indicating they have no existing facilities in these easements. The ensuing process will include an additional Planning Commission presentation to determine consistency with General Plan, and a City Council review to approve the abandonment order. Planning condition 9 has been added to the resolution to address the utility easement abandonment.

Residential Design Guidelines

1. Relationship to Homes in Immediate Neighborhood

The visual elements and aesthetic design of the home will remain unchanged. The new development is designed to blend harmoniously with the existing residence. The proposed addition will not negatively impact the view from the street, as it is limited to the back half of the lot.

2. Scale and Mass

The scale and mass of the existing home will remain unchanged as viewed from the street.

3. Surface Articulation

The proposed addition utilizes windows, spiral stairs, and a rooftop deck to

increase surface articulation. As designed, it will blend with the existing residence and garage structure.

4. Building Orientation

The front entryway is visible from Panay Street and no changes are proposed.

5. Garage and Driveway Design

The living area/front entryway are the most pronounced portion of the front façade facing Panay Street.

6. Building Materials

The design of the proposed addition will be consistent with the colors and materials of the existing primary residence.

7. Architectural Elements

The doors, windows, and other architectural features will be consistent with the design of the existing primary residence.



Permit Requirements

Title 17 of the MBMC establishes land use and zoning permit requirements. The project at 196 Panay proposes an addition of habitable space and an attached accessory dwelling unit to an existing non-conforming primary residence. This project requires Planning Commission approval of a Coastal Development Permit (MBMC Section 17.58.030) and a Conditional Use Permit (MBMC Section 17.56.160).

Coastal Development and Conditional Use Permit

The Zoning Ordinance, subsection 17.56.160A, requires approval of a coastal development permit for the construction of an accessory dwelling unit and conditional use permit approval for any nonconforming structure that proposes an addition over 25% of the existing square footage. The project proposes to add 1,120 square-feet of habitable floor area including the new accessory dwelling unit.

As noted above, the primary residence is non-conforming with regards to the front yard setback and building separation to the existing detached garage. The proposed addition is compliant with all pertinent development standards. Permit approval requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed additions and attached accessory dwelling unit are consistent with Zoning Ordinance requirements as detailed above.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes an addition and an accessory dwelling unit associated with a single-family dwelling, which is an allowed use in the R-1 Residential Zoning District.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary to meet the required front yard setback and to remedy the existing building separation between the primary residence and the detached garage.

Parking

Because of the changes to California State Law as it relates to Accessory Dwelling Units, a parking space is no longer required for accessory dwelling units that are located within ½ mile of a transit stop. All residences in Morro Bay are located within a half mile of a transit stop, therefore no additional parking is required.

PUBLIC NOTICE:

Notice of this item was posted at the site and published in the San Luis Obispo Tribune newspaper on September 6, 2019, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1(e) and Section 15303 Class 3(a). The first exemption applies to the additions to existing structures and the second exemption applies to construction of a second dwelling unit in a residential zone. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because accessory dwelling units are an allowed use in the Moderate Density land use designation and because the project meets the development standards set forth in the Ordinance.

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Coastal Development Permit (CDP19-033) and Conditional Use Permit (CUP19-09) for the proposed project at 196 Panay Street, as shown on plans dated August 21, 2019 by adopting Planning Commission **Resolution 24-19** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 24-19

Exhibit B – Plan Reductions

Exhibit C – Neighborhood Compatibility Exhibit

RESOLUTION NO. PC 24-19

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING COASTAL DEVELOPMENT PERMIT (CDP19-033) AND
CONDITIONAL USE PERMIT (CUP19-09) FOR AN ADDITION TO A NON-
CONFORMING STRUCTURE INCLUDING CONSTRUCTION OF AN
ATTACHED ACCESSORY DWELLING UNIT OUTSIDE THE
COASTAL COMMISSION APPEAL JURISDICTION

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on September 17, 2019, for the purpose of considering Coastal Development Permit (CDP19-033) and Conditional Use Permit (CUP19-09) for construction of an addition and accessory dwelling unit to an existing residence in the R-1 zone. The project is outside the Coastal Commission appeal jurisdiction; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 3(e) and Section 15303, Class 3(a) for construction of an addition to an existing residential structure and construction of a second dwelling unit in a residential area. Additionally, none of the Categorical Exemption Exceptions, noted under Section 15300.2, apply to the project.

Conditional Use Permit and Coastal Development Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.

2. The proposed additions and accessory dwelling unit are in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the "Zoning Ordinance"), including building height, setbacks, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to an existing residence and an accessory dwelling unit, which is an allowed use in the R-1 zone.
5. It is not feasible to make the existing primary residence and detached garage conforming without major reconstruction/demolition to meet the required setbacks or building separation.
6. The Planning Commission finds the project, as conditioned, is consistent with the character of the neighborhood in which it is located. It is surrounded by compatible uses of moderate density residential development; has size and scale similar to nearby structures.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit (CUP19-033) and Conditional Use Permit (CUP19-06) for the property located at 196 Panay Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated September 9, 2019, for the project at 196 Panay Street depicted on plans dated August 21, 2019, as part of Coastal Development Permit (CDP19-033) and Conditional Use Permit (CUP19-09) on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development and all installed structures and improvements shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to

evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.

2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Architecture: Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Director.
6. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. A licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Director. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
7. Building Height Verification: Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the Community Development Director certifying that the tops of the forms are in compliance with the finish floor elevations as shown on approved plans. Prior to either roof nail or framing inspection, a licensed surveyor shall submit a letter to the building inspector certifying that the height of the structures is in accordance with the approved plans and zoning ordinance standard.
8. Lot Merger: Prior to issuance of a Building Permit, the project is required to obtain a Lot Merger certificate that combines the existing parcels for the project area.

9. Easement Abandonment: Prior to issuance of a Building Permit, the project is required to complete the easement abandonment process through the Public Works department.

PUBLIC WORKS DEPARTMENT CONDITIONS

1. Topographic Survey – Existing Utilities, Grading and Drainage: The plans need to clearly show the existing and proposed utilities and other improvements including streets, drainage, water and sewer services and mains (see attached exhibit). Clearly indicate and label these on the site plan. Also, show existing and proposed drainage patterns, grades and other drainage features.
2. Additional Permits Associated with this Design: As a point of information, the final approval of this design (Building Permit Approval). is contingent upon successful approval of the following:
 - * Lot Merger (Permit No. LTM19-03)
 - * Easement Abandonment (Permit No. ABN19-001)
3. Sewer Lateral: Indicate and label new or existing sewer lateral and connection. If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit issuance. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans.
4. Sewer Backwater Valve: Indicate and label sewer backwater valve on plan. A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070).
5. Water Meter: Indicate and label new or existing water meter on plans.
6. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
7. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction Requirements (PCR) to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morro-bay.ca.us/EZmanual Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. Complete and submit the "Single Family

Residence (SFR) Performance Requirement Determination Form”.

8. Encroachment Permits: A standard encroachment permit shall be required for the proposed driveway. A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City’s Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

BUILDING DEPARTMENT CONDITIONS

A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City’s Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner’s representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer’s knowledge, have not been resolved.

4. The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
6. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
7. **BUILDING PERMIT APPLICATION.** To apply for building permits, submit three (3) sets of construction plans to the Building Division.
8. The Title sheet of the plans shall include:
 - a. Street address, lot, block, track and Assessor Parcel Number.
 - b. Description of use.
 - c. Type of construction.
 - d. Maximum Height of the building allowed and proposed.
 - e. Floor area of the building(s).
 - f. Vicinity map.
 - g. Minimum building set back per zoning designation or conditional use approval.

All construction will conform to the 2016 California Building Code (CBC), 2016 California Residential Code (CRC), 2016 California Fire Code (IFC), 2016 California Mechanical Code (CMC), 2016 California Plumbing Code (CPC), 2016 California Electrical Code (CEC), 2016 California Energy Code, 2016 California Green Code (CGBC), and Accessibility Standards where applicable and all City codes as they apply to this project.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

1. SITE MAINTENANCE. During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
2. ARCHAEOLOGICAL MATERIALS. In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
3. A licensed surveyor or engineer shall verify pad elevations, setbacks, prior to foundation inspection, and/or building height prior to framing inspection when determined necessary by the Planning Division.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:

1. Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.
2. Title 24 form(s) 2F-6R (Certificate of installation) for building, mechanical, electrical and plumbing systems.

FIRE DEPARTMENT CONDITIONS:

1. Fire Safety during Construction and Demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Automatic fire sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903) and Morro Bay

Municipal Code (Section 14.08.090). Applicant shall submit sprinkler plans to Morro Bay Community Development Department for review

3. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)
4. Address identification. All new and existing single-family residence and ADU's shall have their own approved address numbers or building numbers placed in a position to be plainly legible from the street or road fronting the property (CFC 505). Provide approved address numbers 4 inches high with ½ inch stroke in contrasting numbers.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 17th day of September 2019 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN: Luhr

Chairperson Gerald Luhr

ATTEST

Scot Graham, Community Development Director

The foregoing resolution was passed and adopted this 17th day of September 2019.

OWNER: Jay and Cindy Friesen
3512 Paradise Road
Modesto, CA 95358
209.620.0500

GOVERNING AGENCY: City of Morro Bay
955 Shasta Avenue
Morro Bay, CA 93442
805-772.6261

THIS PROJECT SHALL COMPLY WITH:
Occupancy: R-3
Type of Construction: V-B
Sprinklered

2016 California Building Code
2016 California Mechanical Code
2016 California Plumbing Code
2016 California Electrical Code
2016 California Fire Code
2016 California Residential Code
2016 California Energy Code
2016 California Green Code

House: Existing House 1,120 sf
Addition 1,120 sf
Total 2,240 sf

Garage: Existing 400 sf
Addition 216 sf
Total 616 sf

Covered Patio 208 sf
Roof Deck 182 sf

Parcel Size: ± 7,865 sf
Lot Coverage: ± 38.96% (45% allowable)

A.P.N.: 065-106.046 & 047

SCOPE of WORK: House Additions, Interior Remodel
Remove and Replace Roof Structure

THIS PROJECT SHALL COMPLY with THE CALIFORNIA GREEN BUILDING CODE STANDARDS

- PLUMBING FIXTURES and FITTINGS SHALL COMPLY with the FOLLOWING:
Water Closets: 1.28 gal/flush
Single Showerheads: 2.0 gpm @ 80 psi
Multiple Showerheads: combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gpm @ 80 psi or only one shower outlet is to be in operation at a time.
Residential Lavatory Faucets: 1.5 gpm @ 60 psi
Kitchen Faucets: 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm
- AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED at the TIME OF FINAL INSPECTION SHALL BE WEATHER-BASIS.
- PROTECT ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES and CONDUITS at EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
- COVER DUCT OPENINGS and OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION.
- ADHESIVES, SEALANTS and CAULKS SHALL BE COMPLIANT with VOC and OTHER TOXIC COMPOUND LIMITS.
- PAINTS, STAINS and OTHER COATINGS SHALL BE COMPLIANT with VOC LIMITS.
- AEROSOL PAINTS and COATINGS SHALL BE COMPLIANT with PRODUCT WEIGHTED MIB LIMITS FOR RHC and OTHER TOXIC COMPOUNDS. COMPLIANT VERIFICATION SHALL BE PROVIDED.
- CARPET and CARPET SYSTEMS SHALL BE COMPLIANT with VOC LIMITS.
- MINIMUM 50% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY with CFC Section 4.504.4.
- PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) and HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY with LOW FORMALDEHYDE EMISSION STANDARDS.
- INSTALL CAPILLARY BREAK and VAPOR BARRIER at SLAB ON GRADE FOUNDATIONS.
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL and FLOOR FRAMING BEFORE ENCLOSURE.
- PROVIDE INSULATED LOUVERS/COVERS (minimum R-4.2) WHICH CLOSE WHEN THE FAN IS OFF FOR THE WHOLE HOUSE EXHAUST FANS.

LOT COVERAGE CALCULATIONS

House:	Existing	1,120 sf
	Addition	1,120 sf
	Total	2,240 sf
Garage:	Existing	400 sf
	Addition	216 sf
	Total	616 sf
Covered Patio:		208 sf
Parcel Size:		± 7,865 sf
House:		2,240 sf
Garage:		616 sf
Covered Patio:		208 sf
Total		3,064 sf / 7,865 sf
Lot Coverage:		± 38.96% (45% allowable)

FIRE CODE COMPLIANCE

This project shall comply with the 2016 California Fire Code (CFC).
The dwelling, the garage and the covered patio shall be protected by an automatic fire sprinkler system. A separate permit is required for the residential sprinkler system. Sprinkler plans and calculations shall be submitted to the City of Morro Bay Fire Prevention Bureau for approval. CFC 903.2.7
Approved numbers or addresses shall be provided per CFC 505.

HERS TESTING IS REQUIRED FOR THIS PROJECT. REFER TO THE ENERGY COMPLIANCE FORMWORK FOR ALL TESTING REQUIREMENTS.

BUILDING HEIGHT CALCULATIONS

Main House:	Grade High Point	40.24'
	Grade Low Point	39.01'
	Average Natural Grade	39.63'
	Finish Floor	40.52'
	Average Natural Grade	39.63'
	Height to Grade	00.89' = 10 1/2"
House Height:	Roof Structure	3'-10"
	Wall Height	9'-0"
	Height to Grade	10'-10"
Overall House Height (Grade to Ridge):		13'-8 1/2"
Garage:	Grade High Point	40.75'
	Grade Low Point	39.67'
	Average Natural Grade	40.21'
	Finish Floor	40.62'
	Average Natural Grade	40.21'
	Height to Grade	00.41' = 5"
Garage Height:	Roof Structure	2'-5"
	Wall Height	8'-0"
	Height to Grade	5"
Overall Garage Height (Grade to Ridge):		10'-10"

PROJECT DATA

- A1 SITE PLAN
- A2 EXISTING FLOOR PLAN
- A3 FLOOR PLAN
- A4 EXTERIOR ELEVATIONS
- A5 FOUNDATION PLAN
- A6 ROOF PLAN and ROOF FRAMING PLAN
- A7 FLOOR PLAN with ELECTRICAL
- G1 GARAGE PLANS
- G2 GARAGE PLANS
- G3 GENERAL NOTES
- G4 DESCRIPTION PLAN
- G5 GRADING and UTILITY PLAN
- G6 DETAILS
- G7 EROSION CONTROL PLAN
- T1 TOPOGRAPHIC SURVEY
- M1 MECHANICAL PLAN
- M2 MECHANICAL SCHEDULE and DETAILS
- T24.0 MECHANICAL T24 MAIN HOUSE
- T24.1 MECHANICAL T24 MAIN HOUSE
- T24.2 MECHANICAL T24 MAIN HOUSE
- T24.3 MECHANICAL T24 BEDROOM 4
- T24.4 MECHANICAL T24 BEDROOM 4

SHEET INDEX

THE PLANS, IDEAS, AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT, AND ARE INTENDED AND PRODUCED SOLELY FOR THIS CONTRACT. THESE PLANS SHALL NOT BE REPRODUCED OR USED, IN WHOLE OR IN PART, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.

DOCUMENT OWNERSHIP

STORM WATER MANAGEMENT

Use Best Management Practices to detain storm water runoff and filter pollutants, especially sediment, before being discharged to an off-site storm drainage system (e.g., catch basins, drainage ditches, creeks). On the construction site, temporary BMPs measures shall include silt fences, fiber rolls (wattles), truck tire wash-down, sediment traps, flocculants, geotextiles, and soil stockpile tarping.

No grading should be done until site- and season-specific soil loss and housekeeping stormwater BMP have been approved by the enforcing agency. The contractor should employ the design BMP and any other control measure as the need arises. The contractor should also conduct site inspections before, during and after each extended storm event in order to identify conditions that may contribute to erosion and sediment problems or any other pollutant discharges. If additional control measures are needed, the contractor should implement them immediately.

The Contractor shall provide:
Storm Drain Inlet Protection
Site Perimeter Protection
Erosion Control (covering exposed soil)
Tracking Control / Stabilized Entry
Stockpile Management
Containment of Concrete Waste

Soil Erosion Control and Loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following:

- Scheduling construction activity.
- Preservation of natural features, vegetation and soil.
- Drainage swales or lined ditches to control stormwater flow.
- Mulching or hydrosedding to stabilize disturbed soils.
- Erosion control to protect slopes.
- Protection of storm drain inlets (gravel bags or catch basin inserts).
- Perimeter sediment control (perimeter silt fence, fiber rolls).
- Sediment trap or sediment basin to retain sediment on site.
- Stabilized construction exits.
- Wind erosion control.
- Other soil loss BMP acceptable to the enforcing agency.

Good housekeeping BMPs to manage construction equipment, materials and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:

- Material handling and waste management.
- Building materials stockpile management.
- Management of washout areas (concrete, paints, stucco, etc.).
- Control of vehicle/equipment fueling to contractor's staging area.
- Vehicle and equipment cleaning performed off site.
- Spill prevention and control.
- Other housekeeping BMP acceptable to the enforcing agency.

Structural Design Criteria

Seismic:
I = 1.0 (OCCUPANCY CATEGORY II)
Ss = 1.139 S1 = 0.420
S1s = 0.793 S1i = 0.442

SITE CLASS D SEISMIC DESIGN CATEGORY D
BASIC SEISMIC FORCE RESISTING SYSTEM LIGHT-FRAMED WALLS SHEATHED with WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE.

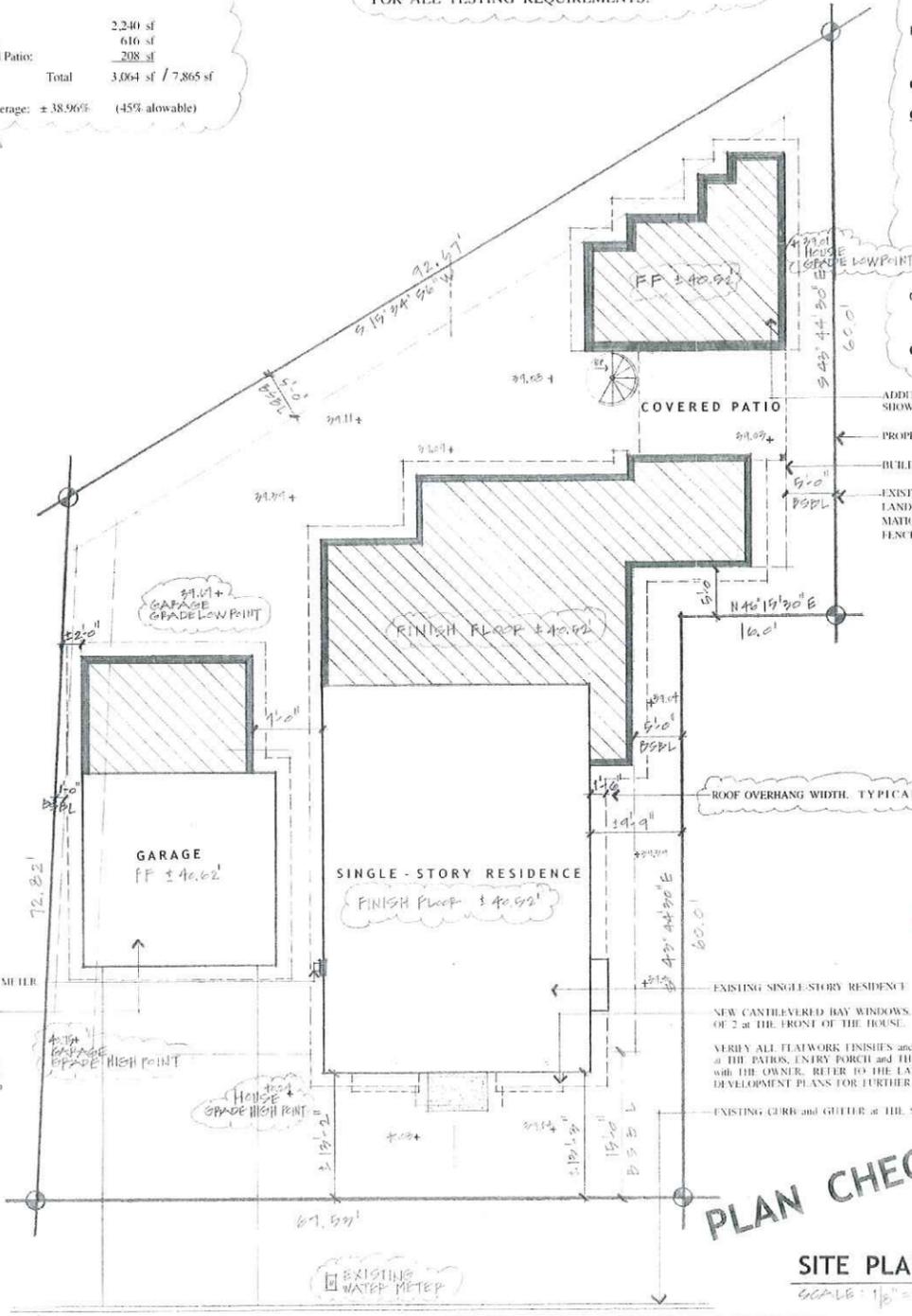
Wind: (METHOD 1)
BASIC WIND SPEED: 110 mph (NOMINAL WIND SPEED)
WIND GUST: 3 second
I = 1.0 (OCCUPANCY CATEGORY III)
EXPOSURE C

Structural Loads:

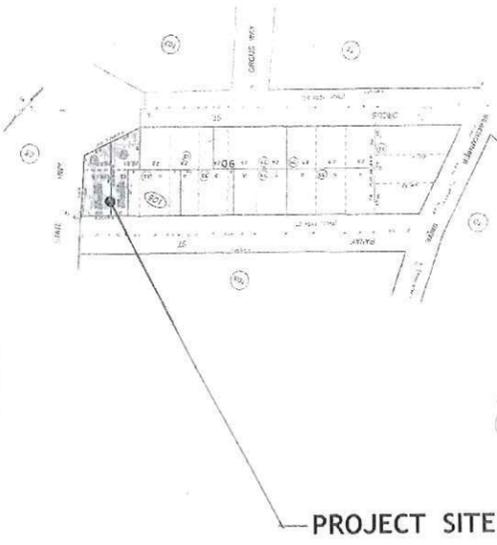
Floor: Live Load	40 #/sf	
	No Live Load Reduction	
Roof: Composition Shingles	2.0	
	1/2 Plywood Sheathing	2.0
	Roof Truss	3.0
	Insulation	1.0
	Ceiling	2.5
	Sprinkler	1.0
	Solar	1.0
	Misc.	1.5
	Total Load	35 #/sf
Roof Deck: Decking and Sleepers	3.0	
	Membrane Roofing	3.0
	Sheathing	2.0
	Deck Joists	1.5
	Patio Ceiling	2.0
	Misc.	2.5
	Total Load	54 #/sf
Concrete:	FC = 2,500 psi	
Soil Bearing Pressure:	1,500 psi	

NEW 200 AMP ELECTRICAL SERVICE and METER
EXISTING GARAGE and DRIVEWAY

ADDRESS NUMBERS ARE REQUIRED and SHALL CONTRAST with THE BACKGROUND and BE MINIMUM OF 4" TALL with MINIMUM STROKE. ADDRESS SHALL BE PLACED ON ALL NEW and EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE and LEGIBLE FROM THE STREET OR ROAD THAT IS FRONTING THE PROPERTY. CFC 505.



LOCATION MAP



REVISIONS	BY

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SITE PLAN
FRIESEN HOUSE
196 PANAY STREET
MORRO BAY, CALIFORNIA

Date	March 2019
Scale	1/8" = 1'-0"
Drawn	SS
Job	12-0718
Sheet	A1
Of	1 Sheets

REVISIONS	BY

Sharon Sample
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 Modesto, CA 95350
 209.484.8230
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FIELD VERIFY ALL DIMENSIONS, LAY-OUTS, and JOB CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO REPORT and COORDINATE ANY DISCREPANCIES with THE ARCHITECT.

CAREFULLY DEMO THE WALLS and THE STRUCTURAL ELEMENTS WHICH ARE TO BE REMOVED. PROTECT THE EXISTING STRUCTURE, ROOF, WALLS and FLOORS, WHICH ARE TO REMAIN. PROVIDE ALL REQUIRED TEMPORARY SUPPORTS, BLOCKING and BRACING.

CAREFULLY INSPECT ALL THE EXISTING FRAMING, PLUMBING, ELECTRICAL, ETC. WHERE CEILINGS, WALLS and FLOORS ARE OPENED UP. CHECK FOR ANY WATER DAMAGE, DRY ROT, PEST DAMAGE, ETC. REVIEW ANY FOUND DAMAGE with THE OWNER and PROVIDE REMEDIAL REPAIRS.

VERIFY with THE OWNER ALL PRODUCT SELECTIONS, SPECIFICATIONS and ANY DETAILING REQUIREMENTS. COORDINATE ALL INSTALLATION REQUIREMENTS FOR THE PRODUCTS SELECTED and INSTALL ALL ITEMS PER THE MANUFACTURER'S SPECIFICATIONS.

INSULATION SCHEDULE:
 EXTERIOR WALLS: R-21 new walls
 R-15 existing walls
 CEILING: R-38
 INTERIOR WALLS: R-11 Bat Insulation

WATER PIPING:
 PROVIDE COPPER PIPING UNDER and INSIDE THE HOUSE at ALL THE NEW FIXTURES. REPLACE THE WATER RISERS, DROPS and ANGLE STOPS with NEW COPPER PIPING.
 REVIEW THE COSTS SAVINGS and OPTIONS FOR USE OF PEX PIPING with THE OWNER.

SEWER PIPING:
 PROVIDE SCHEDULE 40 ABS PIPING.

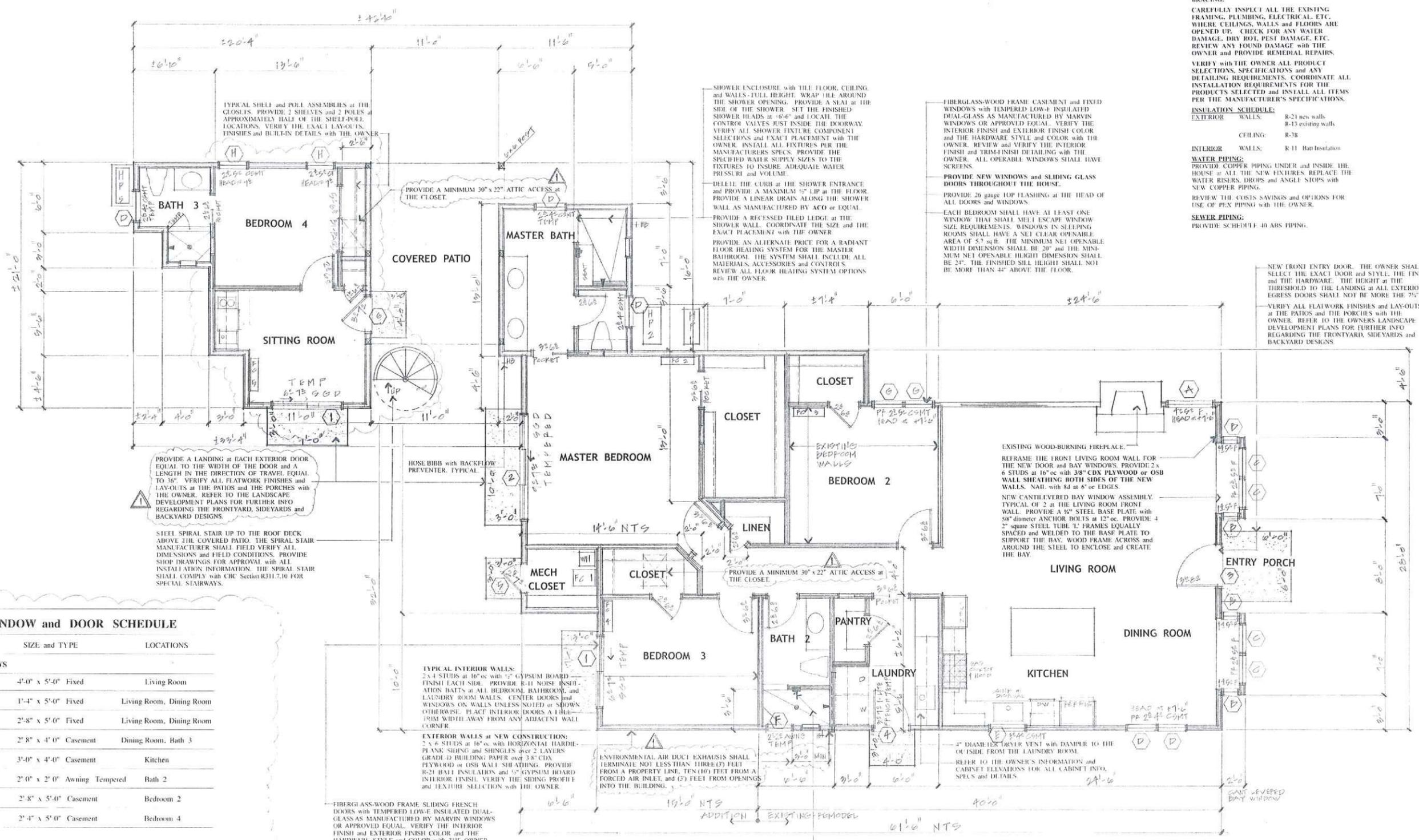
NEW FRONT ENTRY DOOR. THE OWNER SHALL SELECT THE EXACT DOOR and STYLE, THE FINISH and THE HARDWARE. THE HEIGHT at THE THRESHOLD to the LANDING at ALL EXTERIOR EGRESS DOORS SHALL NOT BE MORE THAN 7".

VERIFY ALL FLATWORK FINISHES and LAY-OUTS at THE PATIOS and THE PORCHES with THE OWNER. REFER TO THE OWNERS LANDSCAPE DEVELOPMENT PLANS FOR FURTHER INFO REGARDING THE FRONTYARD, SIDEYARDS and BACKYARD DESIGNS.

FLOOR PLAN
 I have thoroughly reviewed and approve the Construction Drawings. The design, details, sizes, layouts, information, product selections, and specifications are correct and complete, and are in accordance with my intentions.
 Signed: _____ Date: _____

FRIESEN HOUSE
 196 PANAY STREET
 MORRO BAY, CALIFORNIA

Date: 10/21/19
 Scale: 1/4" = 1'-0"
 Drawn: SS
 Job: 120718
 Sheet: **A3**
 Of 7 Sheets



WINDOW and DOOR SCHEDULE

MARK	SIZE and TYPE	LOCATIONS
WINDOWS		
(A)	4'-0" x 5'-0" Fixed	Living Room
(B)	1'-4" x 5'-0" Fixed	Living Room, Dining Room
(C)	2'-8" x 5'-0" Fixed	Living Room, Dining Room
(D)	2'-8" x 4'-0" Casement	Dining Room, Bath 3
(E)	3'-0" x 4'-0" Casement	Kitchen
(F)	2'-0" x 2'-0" Awning Tempered	Bath 2
(G)	2'-8" x 5'-0" Casement	Bedroom 2
(H)	2'-4" x 5'-0" Casement	Bedroom 4
DOORS		
(1)	6'-0" x 7'-2" Tempered Sliding French Door	Bedroom 3, Sitting Room
(2)	9'-0" x 7'-2" Tempered Sliding French Door	Master Bedroom
(3)	3'-6" x 8'-0" Custom Front Entry Door	Living Room
(4)	3'-0" x 7'-0" Tempered Single-Lite French Door	Laundry Room
(5)	2'-6" x 7'-0" Fiberglass Paneled Door	Mechanical Room
(6)	3'-0" x 7'-0" Fiberglass Paneled Door	Sitting Room

- GENERAL NOTES:**
- The windows shall be 'INTEGRITY' Fiberglass-Wood Frame casement and fixed windows with low-E insulated dual-glass as manufactured by MARVIN WINDOWS or approved equal. Verify the interior finish and the exterior finish color, and the hardware style and color with the Owner.
 - The doors shall be 'INTEGRITY' Fiberglass-Wood Frame Sliding French Doors with tempered low-E insulated dual-glass as manufactured by MARVIN WINDOWS or approved equal. Verify the interior finish and the exterior finish color, and the hardware style and color with the Owner.
 - All operable windows and doors shall have screens.
 - Provide a 26-gauge G.I top flashing at the head of all doors and windows.

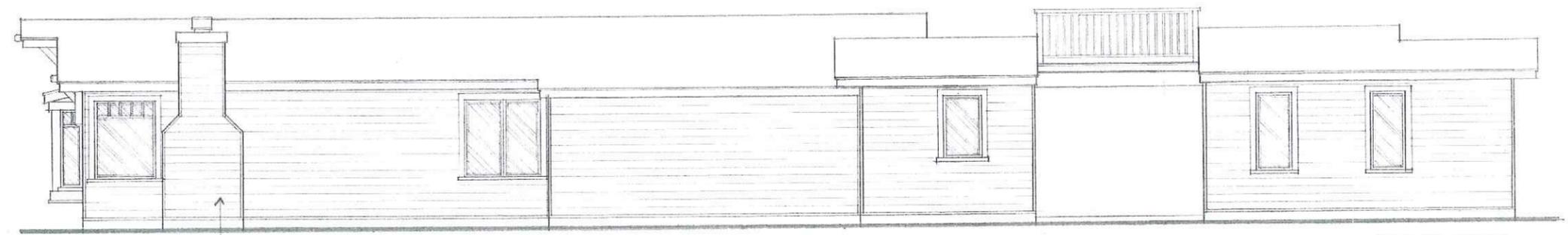
SHOWER ENCLOSURE with TILE FLOOR, CEILING, and WALLS - FULL HEIGHT. WRAP TILE AROUND THE SHOWER OPENING. PROVIDE A SILL at THE SIDE OF THE SHOWER. SET THE FINISHED SHOWER HEADS at 4'-6" and LOCATE THE CONTROL VALVES JUST INSIDE THE DOORWAY. VERIFY ALL SHOWER FIXTURE COMPONENTS and EXACT PLACEMENT with THE OWNER. INSTALL ALL FIXTURES PER THE MANUFACTURERS SPECS.

CAREFULLY DEMO and REMOVE THE EXISTING ROOF STRUCTURE and the TOP WALL PLATE. PROTECT THE EXISTING STRUCTURE, WALLS and THE SLAB WHICH ARE TO REMAIN. PROVIDE ALL REQUIRED TEMPORARY SUPPORTS, BLOCKING and BRACING.

ADD A CONTINUOUS 4x12 DF No.2 HEADER TO ALL THE REMAINING EXISTING WALLS. PROVIDE 1 CONTINUOUS 2x4 TOP PLATE TO CREATE A 9'-0" CEILING LINE. PROVIDE 2 #4x36 STRIPS at ALL HEADER SPLICES. PROVIDE A SIMPSON LIP PLATE FRAMING PLATE FROM THE HEADERS TO THE EXISTING TOP PLATES. SPACE THE LIP PLATES at 16" oc STAGGERED ON EACH SIDE OF THE HEADERS.

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

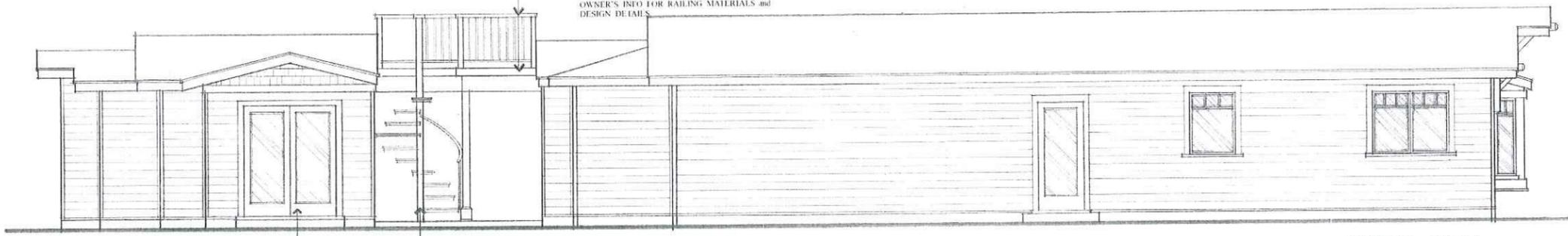
HOUSE: EXISTING	1124 SF
ADDITIONS	1160 SF
TOTAL	2284 SF
COVERED PATIO	208 SF
PROP DECK	182 SF



SOUTH - WEST

CHIMNEY with HARDI-PLANK FINISH. PROVIDE A PAINTED G.I. CHIMNEY CAP and FLASHING and A LOW PROFILE FLAT SPARK ARRESTOR. PROVIDE 24 GA. G.I. 'Z' FLASHING and COUNTER-FLASHING ALONG THE SIDES OF THE CHIMNEY at the LINE OF THE ROOF. PROVIDE 24 gauge G.I. SADDLE FLASHING at the BACK OF THE CHIMNEY.

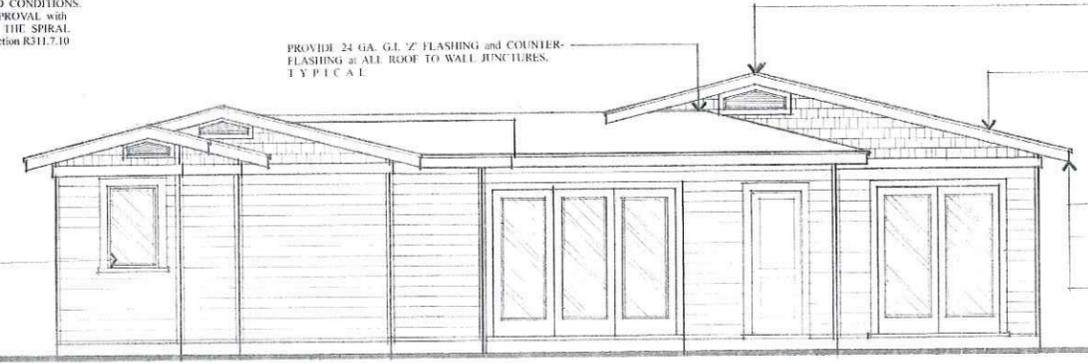
NEW ROOF DECK, 2x4 TREX COMPOSITION DECKING over 2x4 PRESSURE TREATED DECK SLEEPERS FLAT at 16" oc ON EPDM STRIPS over 60 mil EPDM CONTINUOUS MEMBRANE ROOFING. PROVIDE A 24 gauge G.I. CONTINUOUS METAL DRIP EDGE UNDER THE MEMBRANE ROOFING. PROVIDE A GUTTER at the PROPERTY LINE SIDE OF THE ROOF DECK.
PROVIDE 42" HIGH DECK RAILING REFER TO THE OWNER'S INFO FOR RAILING MATERIALS and DESIGN DETAILS.



NORTH - EAST

STEEL SPIRAL STAIR UP TO THE ROOF DECK. THE SPIRAL STAIR MANUFACTURER SHALL FIELD. VERIFY ALL DIMENSIONS and FIELD CONDITIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL with ALL INSTALLATION INFORMATION. THE SPIRAL STAIR SHALL COMPLY with CBC Section R311.7.10 FOR SPECIAL STAIRWAYS.

PROVIDE 24 GA. G.I. 'Z' FLASHING and COUNTER-FLASHING at ALL ROOF TO WALL JUNCTURES. TYPICAL



SOUTH - EAST

PROVIDE 'COR-A-VENT' RIDGE VENTS CONTINUOUS at ALL RIDGES. PROVIDE THE VENTS COMPLETE with ALL CAPS and ACCESSORIES. INSTALL THE VENTS PER THE MANUFACTURERS SPECS.

PROVIDE 50 YEAR TEXTURED COMPOSITION SHINGLE ROOFING over 2 LAYERS 15 LB. ROOFING FELLS over 1/2" 5-PLY CDX PLYWOOD ROOF SHEATHING or 1/2" OSB SHEATHING over THE STRUCTURE. INSTALL THE ROOFING PER THE MANUFACTURERS SPECS with ALL REQUIRED FLASHINGS and ACCESSORIES. THE OWNER SHALL SELECT and APPROVE THE ROOFING STYLE and the COLOR. ALL ROOF SHEATHING SHALL HAVE A RADIANT BARRIER.

PROVIDE 24 GAUGE G.I. EDGE FLASHING at ALL EAVES. TYPICAL.

2x FASCIA TRIM at ALL EAVES. ALL TRIM SHALL BE KELLEHER MOULDING COMPANY 'ADVANTAGE' PRIMED TRIM BOARDS

5" G.I. OGEE GUTTERS with DOWNSPOUTS. TYPICAL at ALL EAVES. THE OWNER SHALL APPROVE THE GUTTER PROFILE and CHOOSE THE FINISH COLOR.

FIBERGLASS-WOOD FRAME SLIDING FRENCH DOORS with TEMPERED LOW-E INSULATED DUAL-GLASS AS MANUFACTURED BY MARVIN WINDOWS OR APPROVED EQUAL. VERIFY THE INTERIOR FINISH and EXTERIOR FINISH COLOR and THE HARDWARE STYLE and COLOR with THE OWNER. REVIEW and VERIFY THE INTERIOR FINISH and TRIM-FINISH DETAILING with THE OWNER.

FIBERGLASS-WOOD FRAME CASEMENT and FIXED WINDOWS with TEMPERED LOW-E INSULATED DUAL-GLASS AS MANUFACTURED BY MARVIN WINDOWS OR APPROVED EQUAL. VERIFY THE INTERIOR FINISH and EXTERIOR FINISH COLOR and THE HARDWARE STYLE and COLOR with THE OWNER. REVIEW and VERIFY THE INTERIOR FINISH and TRIM-FINISH DETAILING with THE OWNER. ALL OPERABLE WINDOWS SHALL HAVE SCREENS.

PROVIDE NEW WINDOWS and SLIDING GLASS-DOORS THROUGHOUT THE HOUSE.

PROVIDE 26 gauge TOP FLASHING at the HEAD OF ALL DOORS and WINDOWS.

CANTILEVER 4x8" long 2x6 JOISTS CUT ACROSS THE TOP OF THE ROOF TRUSS BOTTOM CHORDS TO CREATE THE 18" deep x 6'-10" wide VENT POP-OUT DETAIL at the FRONT GABLE END. PLACE THE 2x6 JOISTS at 12" oc and ATTACH with H3 TIES to FIRST 3 TRUSSES TRANS-ACROSS and CREATE THE LOUVERED VENT AS SHOWN ON THE FRONT ELEVATION.

NEW CANTILEVERED BAY WINDOW ASSEMBLY. TYPICAL OF 2 at the LIVING ROOM FRONT WALL. PROVIDE A 3/4" STEEL BASE PLATE with 5/8" diameter ANCHOR BOLTS at 12" oc. PROVIDE 4" square STEEL TUBE T-FRAMES LOCALLY SPACED and WELDED TO THE BASE PLATE TO SUPPORT THE BAY. WOOD FRAME ACROSS and AROUND THE STEEL TO ENCLOSE and CREATE THE BAY.

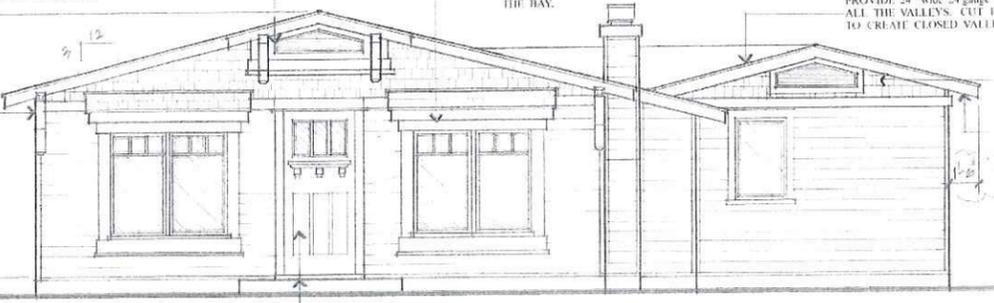
PROVIDE 24" wide 24 gauge G.I. 'W' FLASHING at ALL THE VALLEYS. CUT THE ROOFING SHINGLES TO CREATE CLOSED VALLEYS.

PROVIDE 'CRAFTSMAN' STYLE GABLE END BRACKET AS SHOWN at the FRONT ELEVATION. THE BRACKET SHALL BE MADE OUT OF 6x6 MATERIAL TYPICAL OF 2 at the LOUVERED VENT POP-OUT and 2 at the WALL EDGE GABLE END LOUVERED VENTS. TYPICAL

JAMES HARDIE PRODUCTS COMPOSITION SHINGLES over 2 LAYERS GRADE-D BUILDING PAPER over 1/2" CDX PLYWOOD or OSB WALL SHEATHING at the GABLE ENDS. TYPICAL

1x6 1x6 PLY-GRADE HARDBOARD LAY FINISH at ALL EAVE OVERHANGS.

40.90' FINISH FLOOR
39.60' AVERAGE NATURAL GRADE



NORTH - WEST

CUSTOM FRONT ENTRY DOOR. THE OWNER SHALL SELECT THE DOOR STYLE and FINISH. VERIFY ALL FLOORWORK FINISHES and LAYOUTS at the PATIOS and the PORCHES with THE OWNER. REFER TO THE OWNERS LANDSCAPE DEVELOPMENT PLANS FOR FURTHER INFO REGARDING THE FRONTYARD and BACKYARD DESIGNS.

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

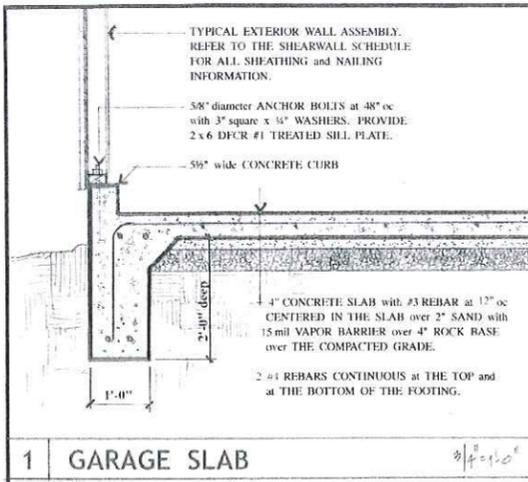
REVISIONS	BY
1	FLANK/TECK

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EXTERIOR ELEVATIONS

FRIESEN HOUSE
196 PANAY STREET
MORRO BAY, CALIFORNIA

Date	MAR 21 2019
Scale	1/4" = 1'-0"
Drawn	GS
Job	130918
Sheet	A4
Of	7 Sheets



SLAB-ON-GRADE CONSTRUCTION

The area of the slabs-on-grade shall be excavated to the approximate sub-grade elevation or to competent material; whichever is deeper. The exposed surface shall be scarified an additional depth of 12", moisture conditioned to near optimum moisture content, and compacted to a minimum relative density of 95% (ASTM D1557-07 test method). The top 12" of sub-grade soil under all slab sections shall be compacted to a minimum relative density of 95%. Sub-grade soils should not be allowed to dry out or have excessive construction traffic between moisture conditioning and compaction and the placement of the slab structural section. Due to the expansive potential of the soils at the Site, a laterally-reinforcing biaxial geogrid, such as manufactured by Tensar, Tenax, Syntec, or equal is recommended to be installed to reinforce the aggregate base course. The concrete slabs shall be placed over sub-grade that is free of loose, soft soil and debris and that has been maintained in a moist condition, with no desiccation cracks present.

Concrete slabs-on-grade shall be a minimum of 4" thick and shall be reinforced with No. 3 rebar placed at 12" on-center in each direction. The reinforcing bars shall be placed slightly above the center of the concrete slab and should have a minimum clear cover of 1 1/2".

The concrete slabs-on-grade shall be underlain by a minimum of 4" of clean free-draining material, such as a 1/2" coarse aggregate mix, to serve as a cushion and a capillary break. Provide a 15-mil Stego Wrap membrane (or equal) installed per the manufacturer's specifications, placed between the free-draining material and the slab. The installation of the vapor barrier shall include the sealing of penetrations, joints and edges of the membrane. Provide 2" thick sand layer on top of the membrane to assist in the curing of the concrete. The sand should be lightly moistened prior to placing concrete.

Concrete for all slabs should be placed at a maximum slump of less than 5". Control joints shall be constructed as required to control cracking. Towel scribe or saw-cut control joints at corners, off-sets and in large open areas of the slabs. The slab-on-grade and the footings shall be a monolithic pour.

MATCH THE HEIGHT OF THE EXISTING FLOOR

SOIL COMPACTION SHALL BE 95% at the BOTTOM OF ALL FOOTINGS. A COMPACTION TEST SHALL BE DONE BY A QUALIFIED TESTING LAB. PROVIDE A COPY OF THE COMPACTION TEST TO THE OWNER and TO THE ARCHITECT FOR REVIEW PRIOR TO COMMENCING THE FOUNDATION WORK.

VERIFY THAT ALL THE EXISTING FOOTINGS and THE SLAB ARE SOUND and ARE IN GOOD CONDITION. VERIFY THAT THERE ARE ANCHOR BOLTS at THE EXISTING PERIMETER WALLS.

THE ADDITIONS SHALL MATCH THE FINISH FLOOR ELEVATION OF THE EXISTING GARAGE. FINISH GRADE OUT FROM and AROUND THE GARAGE TO CREATE A GRADUAL SLOPE AWAY FROM THE STRUCTURE. DIRECT ALL DRAINAGE AWAY FROM THE BUILDING FOUNDATION. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING at A SLOPE OF NOT LESS THAN 6" (5% slope) IN THE FIRST 10' MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

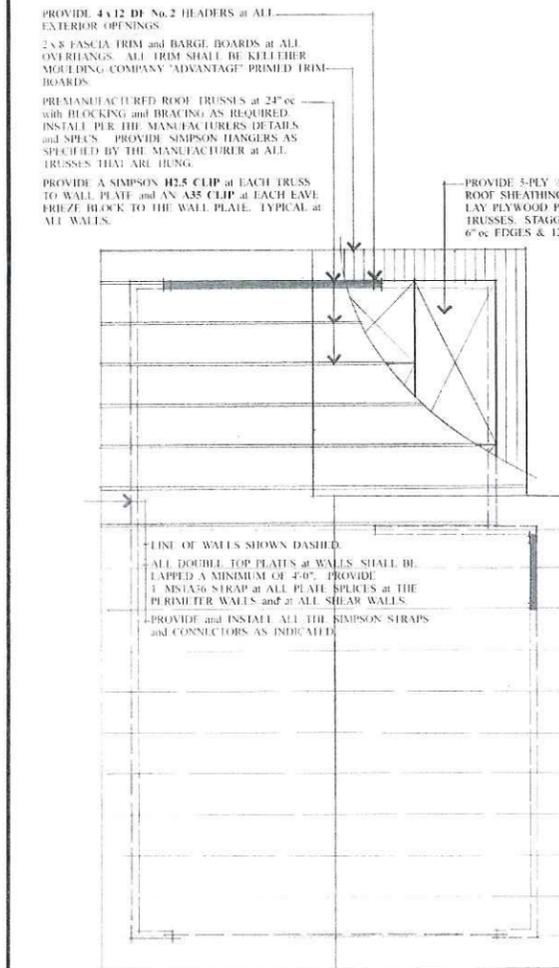
VERIFY and COORDINATE ANY ADDITIONAL GRADING REQUIREMENTS with THE OWNERS FOR FUTURE FLATWORK or LANDSCAPING at THE TIME OF THE FINAL GRADING.

THE LATERAL BRACING SYSTEM FOR THIS PROJECT SHALL CONSIST OF BRACED WALL LINES with CONTINUOUS SHEATHING METHOD FOR SDC D₂. THE TOTAL REQUIRED WALL LENGTHS SHALL BE per 2016 CALIFORNIA RESIDENTIAL CODE TABLE R602.02.2. ALL BRACED WALL LINES ALONG EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED. ALL SHEATHABLE SURFACES SHALL RECEIVE STRUCTURAL WOOD PANELS, INCLUDING THE AREAS ABOVE and BELOW OPENINGS and ALL GABLE END WALLS.

THE EXTERIOR BRACED WALLS ARE SHOWN SHAVED. PROVIDE 3/8" OSB SHEATHING with 8d NAILS at 6" oc EDGES and 10" oc FIELD. TYPICAL at NEW and EXISTING PERIMETER WALLS.

DELETE THE CURB at THE NEW ENTRY DOOR and at THE OPENING BETWEEN THE EXISTING GARAGE and THE ADDITION.

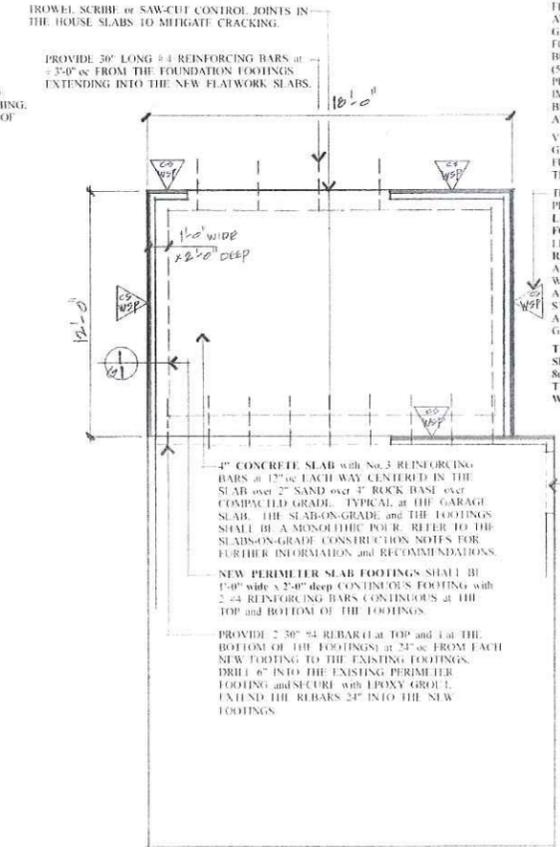
INSTALL A LISTED RACTWAY TO ACCOMMODATE A DEDICATED 200-300-VOLT BRANCH CIRCUIT. THE RACTWAY SHALL NOT BE LESS THAN TRADE SIZE (NOMINAL 1" INSIDE DIAMETER). THE RACTWAY SHALL ORIGINATE at THE MAIN SERVICE or SUBPANEL and SHALL TERMINATE INTO A LISTED CABINET, BOX or OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACTWAYS ARE REQUIRED TO BE CONTINUOUS at ENCLOSED, INACCESSIBLE or CONCEALED AREAS and SPACES. THE SERVICE PANEL or SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT PROTECTIVE DEVICE. CGC 4106.4.1. THE SERVICE PANEL or SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACTWAY TERMINATION LOCATION SHALL BE PERMANENTLY and VISIBLY MARKED AS "EV CAPABLE". CGC 4106.4.1



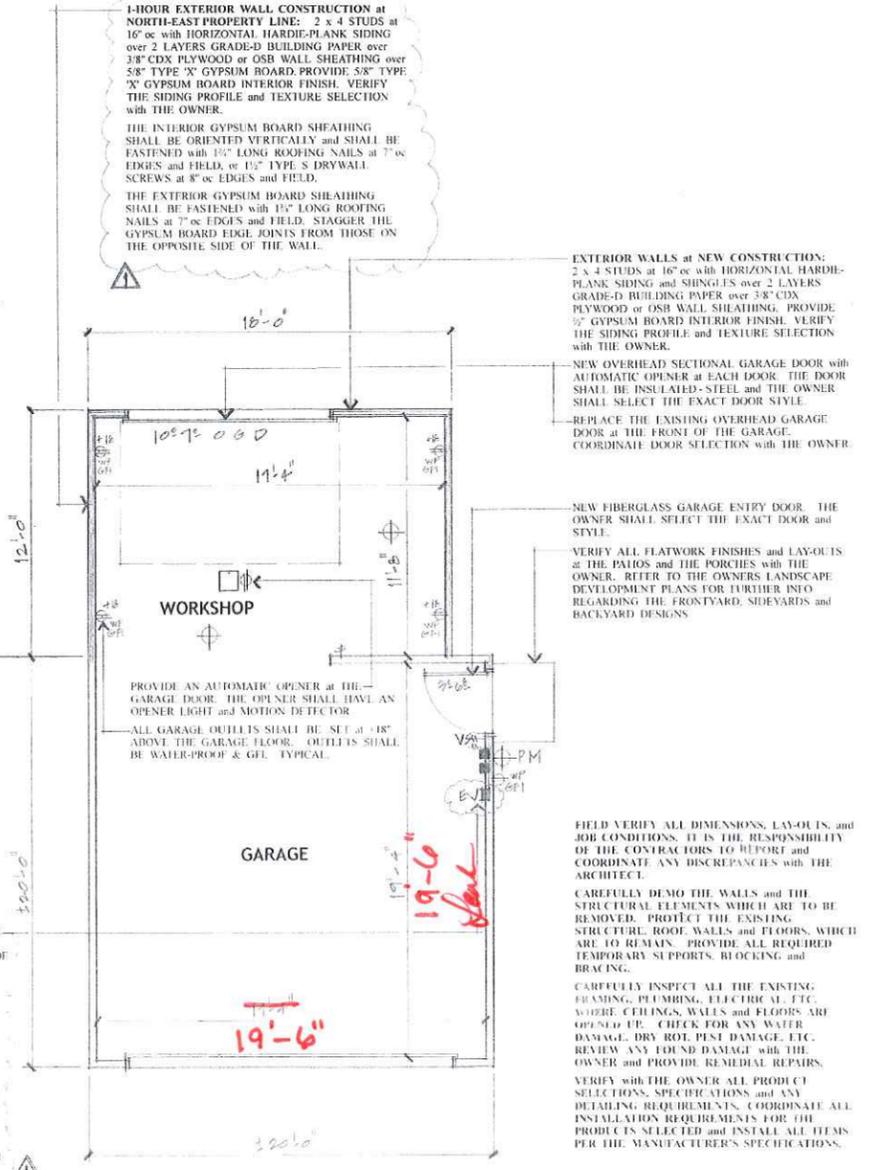
FIELD VERIFY and MATCH THE EXISTING ROOF SLOPES.

INSPECT THE EXISTING ROOF STRUCTURE WHICH IS VISIBLE DURING REMODELING. INCLUDING FRAMING, ROOF SHEATHING, and ROOFING. REVIEW ANY REMEDIAL WORK TO BE DONE with THE OWNER.

ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	BY
1	PLANHECK

Garage Plans

FRIESEN HOUSE
196 PANAY STREET
MORRO BAY, CALIFORNIA

Date: 10/20/2019
Scale: 1/4" = 1'-0"
Drawn: SS
Job: 19-0116
Sheet: **G1**
Of 2 Sheets

Sharon Sample
 ARCHITECT
 929 Erlen Avenue, Morro Bay, CA 93550
 202.466.6230
 sharon@sharon-sample.com

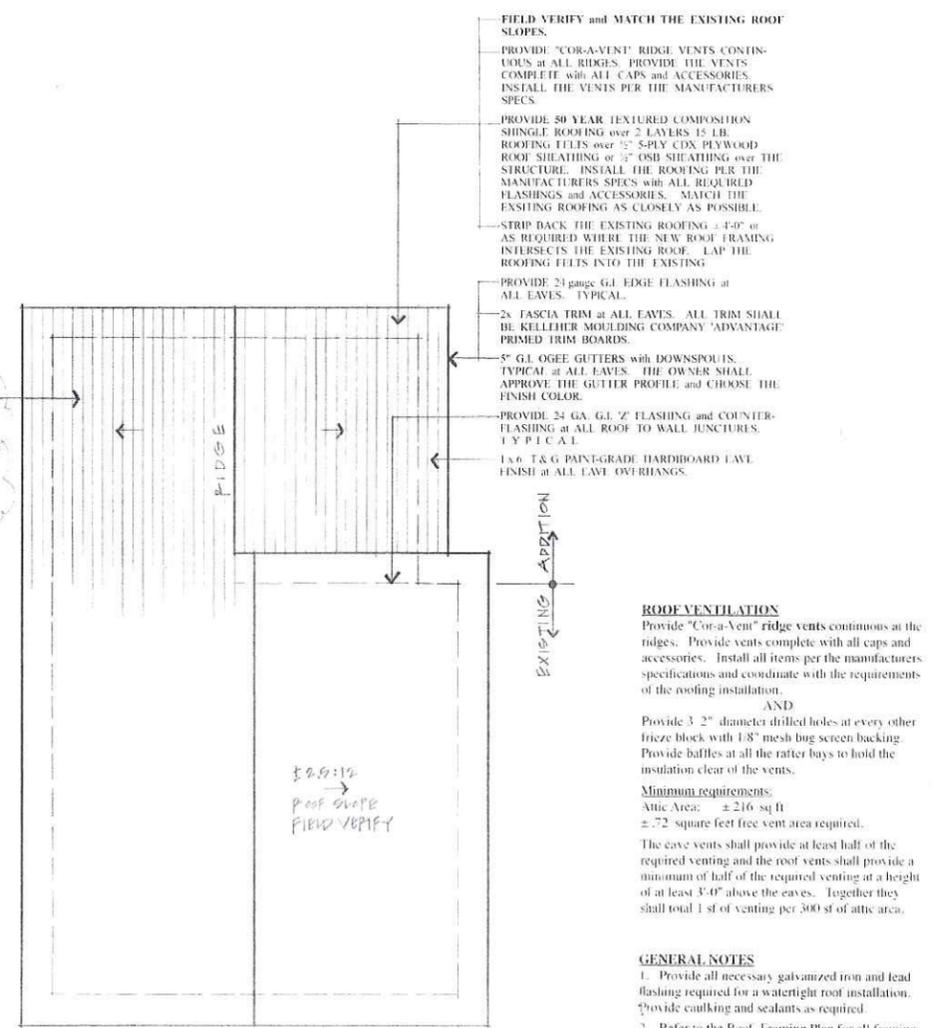
REVISIONS	BY

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ARCHITECT
 Modesto, CA 95350
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GARAGE PLANS

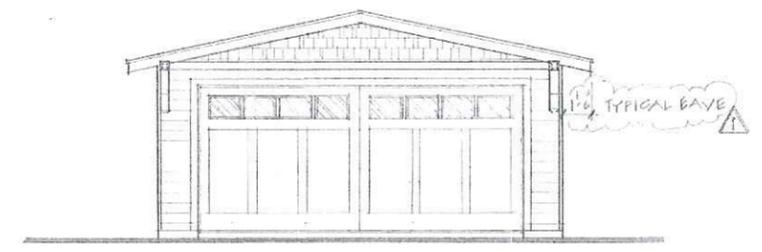
FRIESEN HOUSE
 196 PANAY STREET
 MORRO BAY, CALIFORNIA

Date	MAR 2017
Scale	1/4" = 1'-0"
Drawn	SS
Job	10-0916
Sheet	G2
Of	2 Sheets



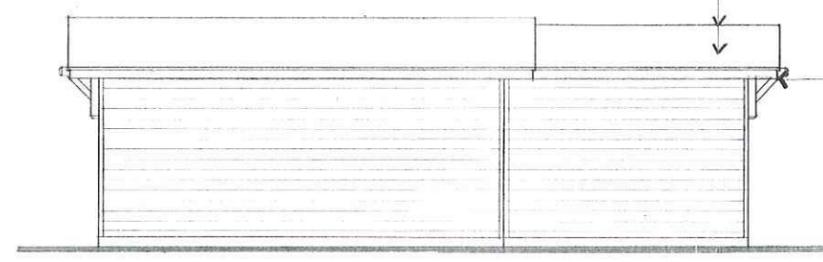
ROOF VENTILATION
 Provide "Cor-a-Vent" ridge vents continuous at the ridges. Provide vents complete with all caps and accessories. Install all items per the manufacturers specifications and coordinate with the requirements of the roofing installation.
 AND
 Provide 3 2" diameter drilled holes at every other frieze block with 1/8" mesh bug screen backing. Provide baffles at all the rafter bays to hold the insulation clear of the vents.
 Minimum requirements:
 Attic Area: ± 216 sq ft
 ± 72 square feet free vent area required.
 The eave vents shall provide at least half of the required venting and the roof vents shall provide a minimum of half of the required venting at a height of at least 3'-0" above the eaves. Together they shall total 1 sf of venting per 300 sf of attic area.

GENERAL NOTES
 1. Provide all necessary galvanized iron and lead flashing required for a watertight roof installation. Provide caulking and sealants as required.
 2. Refer to the Roof Framing Plan for all framing information.
 3. All items which penetrate the roof or are located on the roof shall be painted to match the roof.



NORTH - WEST

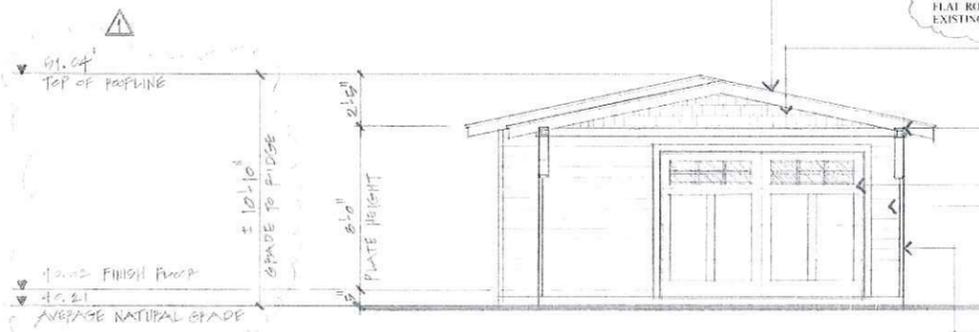
FIELD VERIFY and MATCH THE EXISTING ROOF SLOPES.
 PROVIDE "COR-A-VENT" RIDGE VENTS CONTINUOUS at ALL RIDGES. PROVIDE THE VENTS COMPLETE with ALL CAPS and ACCESSORIES. INSTALL THE VENTS PER THE MANUFACTURERS SPECS.
 PROVIDE 50 YEAR TEXTURED COMPOSITION SHINGLE ROOFING over 2 LAYERS 1/2" LB. ROOFING FELTS over 5/8" CDX PLYWOOD ROOF SHEATHING or 1/2" OSB SHEATHING over THE STRUCTURE. INSTALL THE ROOFING PER THE MANUFACTURERS SPECS with ALL REQUIRED FLASHINGS and ACCESSORIES. MATCH THE EXISTING ROOFING AS CLOSELY AS POSSIBLE.
 STRIP BACK THE EXISTING ROOFING ± 4'-0" or AS REQUIRED WHERE THE NEW ROOF FRAMING INTERSECTS THE EXISTING ROOF. LAP THE ROOFING FELTS INTO THE EXISTING.
 PROVIDE 24 GAUGE G.I. EDGE FLASHING at ALL EAVES. TYPICAL.
 2x FASCIA TRIM at ALL EAVES. ALL TRIM SHALL BE KELLEHER MOULDING COMPANY "ADVANTAGE" PRIMED TRIM BOARDS.
 5" G.I. OGEE GUTTERS with DOWNSPOUTS. TYPICAL at ALL EAVES. THE OWNER SHALL APPROVE THE GUTTER PROFILE and CHOOSE THE FINISH COLOR.
 1x 6 T & G PAINT-GRADE HARDIBOARD LAVE FINISH at ALL LAVE OVERHANGS.



SOUTH - WEST
 NORTH - EAST SIMILAR

PROVIDE 5/8" TYPE 'X' GYPSUM BOARD over THE PLYWOOD SHEATHING at THE NORTH-EAST SIDE OF THE ROOF FOR FIRE SEPARATION DUE TO PROXIMITY TO THE PROPERTY LINES. THE EXTERIOR GYPSUM BOARD SHEATHING SHALL BE FASTENED with 1 1/2" LONG ROOFING NAILS at 7" oc EDGES and FIELD. ADJUST THE HEIGHT OF THE FRAMING TO ACCOMMODATE THE GYPSUM BOARD SHEATHING and PROVIDE A CONTINUOUS FLAT ROOF PLANE FROM THE NEW TO THE EXISTING ROOFING.

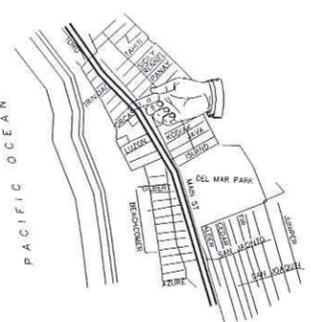
JAMES HARDIE PRODUCTS COMPOSITION SHINGLES over 2 LAYERS GRADE-D BUILDING PAPER over 3/8" CDX PLYWOOD or OSB WALL SHEATHING at THE GABLE ENDS. TYPICAL.
 PROVIDE CRAFTSMAN STYLE GABLE END BRACKETS AS SHOWN at THE FRONT and THE BACK OF THE GARAGE. THE BRACKETS SHALL BE MADE OUT OF 6x6 MATERIAL. TYPICAL.
 CRAFTSMAN STYLE OVERHEAD SECTIONAL GARAGE DOOR. COORDINATE THE SELECTION OF THE DOOR and THE HARDWARE with THE OWNER.
 HORIZONTAL HARDIE-PLANK SIDING and SHINGLES over 2 LAYERS GRADE-D BUILDING PAPER over 3/8" CDX PLYWOOD or OSB WALL SHEATHING. PROVIDE R-21 BATT INSULATION and 5/8" GYPSUM BOARD INTERIOR FINISH. VERIFY THE SIDING PROFILE and TEXTURE SELECTION with THE OWNER.



SOUTH - EAST

1-HOUR EXTERIOR WALL CONSTRUCTION at NORTH-EAST PROPERTY LINE: 2 x 4 STUDS at 16" oc with HORIZONTAL HARDIE-PLANK SIDING over 2 LAYERS GRADE-D BUILDING PAPER over 3/8" CDX PLYWOOD or OSB WALL SHEATHING over 5/8" TYPE 'X' GYPSUM BOARD. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD INTERIOR FINISH. VERIFY THE SIDING PROFILE and TEXTURE SELECTION with THE OWNER.
 THE INTERIOR GYPSUM BOARD SHEATHING SHALL BE ORIENTED VERTICALLY and SHALL BE FASTENED with 1 1/2" LONG ROOFING NAILS at 7" oc EDGES and FIELD, or 1 1/2" TYPE S DRYWALL SCREWS at 8" oc EDGES and FIELD.
 THE EXTERIOR GYPSUM BOARD SHEATHING SHALL BE FASTENED with 1 1/2" LONG ROOFING NAILS at 7" oc EDGES and FIELD. STAGGER THE GYPSUM BOARD EDGE JOINTS FROM THOSE ON THE OPPOSITE SIDE OF THE WALL.

EXTERIOR ELEVATIONS
 SCALE: 1/4" = 1'-0"



VICINITY MAP
NOT TO SCALE

SYMBOL LEGEND:

—x—	FENCE LINE	—	RETAINING WALL
—SS—	SEWER MAIN	—PG&E—	PG&E BOX
—W—	WATER MAIN	—GM—	GAS METER
—G—	GAS MAIN	—TM—	TELEPHONE BOX
—ETC—	ELEC/TELEPHONE/CABLE	—S2—	SIGNAL BOX
—OHE—	OVERHEAD ELECTRIC	—C2—	CABLE T.V. BOX
—	DROP INLET AT CURB	—E2—	ELECTRIC BOX
—	DROP INLET	—T2—	TELEPHONE MANHOLE
—	STORM DRAIN MANHOLE	—SL—	STREET LIGHT
—	FIRE HYDRANT	—JP—	JOINT POLE
—	WATER WELL	—PP—	POWER POLE
—	WATER VALVE	—GW—	GUY WIRE
—	WATER METER		
—	SEWER MANHOLE		
—	SEWER CLEANOUT		
—	MONITORING WELL		

ABBREVIATIONS

AC	ASPHALT CONCRETE	IP	IRON PIPE
AP	ANGLE POINT	GB	GRADE BREAK
BM	BENCH MARK	GM	GAS METER
BLDG	BUILDING	HP	HIGH POINT
BOW	BACK OF WALK	LT	LIGHT
CB	CATCH BASIN	MH	MANHOLE
CF	CURB FACE	PP	POWER POLE
CO	CLEAN OUT	PVC	POLYVINYL PIPE
COL	COLUMN	RB	REBAR
COR	CORNER	RCF	REINFORCED CONCRETE PIPE
CONC	CONCRETE	R10	CANOPY RADIUS
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CMU	CONCRETE MASONRY UNITS	SL	POINT ON SLOPE
CRN	CROWN OF STREET	SS	SEWER
DI	DROP INLET	STP	STEP
ED	EXISTING GRADE	STR	STAIRS
EP	EDGE OF PAVEMENT	TOP	TOP OF SLOPE
FD	FOUND	TOE	TOE OF SLOPE
FL	FLOW LINE	TW	TOP OF WALL
FF	FINISH FLOOR	W	WATER
FW	FACE OF WALL	WL	WALL
HSE	HOUSE COR	WM	WATER METER
GR	GRASS	WV	WATER VALVE
GM	GAS METER		
IP	IRON PIPE		

SURVEYOR'S STATEMENT:
THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON MAY 9, 2019.

Michael B. Stanton 5/13/19
MICHAEL B. STANTON, PLS 5702 DATE

- SURVEYOR'S NOTES:**
- NO TITLE SEARCH (TITLE REPORT) WAS PROVIDED TO THE SURVEYOR. EASEMENTS WHICH MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN PLOTTED.
 - ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR ALSO HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
 - IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
 - THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT. MBS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
 - THE PROPERTY LINES SHOWN HEREON REPRESENT THE ACTUAL BOUNDARY LINES BASED ON A BOUNDARY SURVEY WHICH IS CURRENTLY IN PROGRESS. PERMANENT MONUMENTS WILL BE SET AT ALL PROPERTY CORNERS AND A CORNER RECORD MAP OR RECORD OF SURVEY MAP WILL BE SUBMITTED TO THE COUNTY OF SAN LUIS OBISPO AS REQUIRED BY STATE LAW.

BASIS OF COORDINATES AND BEARINGS:
THE COORDINATES AND BEARINGS AS MEASURED AND SHOWN HEREON ARE ON GRID AND ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 5 0405, (1991.35) IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8601-8619. SAID COORDINATES AND BEARINGS ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO CAL TRANS CONTROL POINT PM-58.21

MAPPING ANGLE AND GRID FACTOR (GRID TO GROUND)

STATION	NORTHING(ft)	EASTING(ft)	MAPPING ANGLE (GRID TO GEODETIC)	COMBINATION FACTOR (GROUND TO GRID)	ELEV. (NAVD88)	ELLIP.HI
PM-58.21	2343710.12	5708580.14	-1°37'54.486"	0.9999895	43.22	-73.45

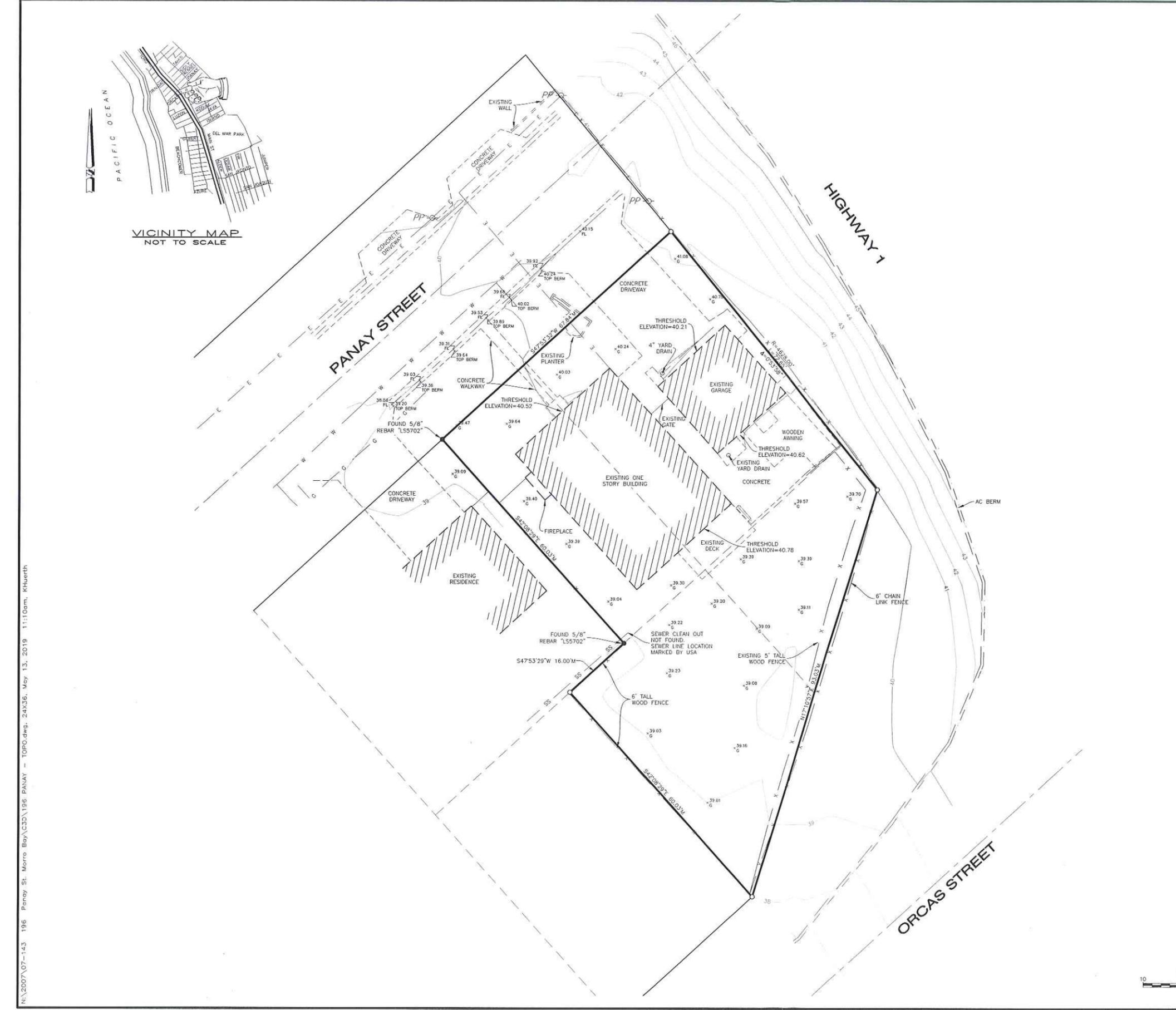
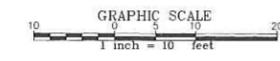
DISTANCES SHOWN HEREON OR INVERSED FROM COORDINATES SHOWN HEREON ARE IN REFERENCE TO CCS83. TO APPROXIMATE LOCAL GROUND DISTANCES DIVIDE BY THE COMBINATION FACTOR PROVIDED HEREON.

BENCH MARK:
THE BENCH MARK FOR THIS PROJECT IS BASED ON 3" BRASS CAP CALTRANS MONUMENT PM-58.21. ELEVATION=43.22' (NAVD88)

SITE DATA:
ADDRESS: 196 PANAY ST. MORRO BAY, CA
ASSESSOR'S PARCEL NO. 065-106-046 & 047

TOPOGRAPHIC MAP
OF THE PROPERTY DESCRIBED ON INSTRUMENT NO 2011-056199 OF OFFICIAL RECORDS, BEING A PORTION OF BLOCK 90 OF ATASCADERO BEACH AS SHOWN ON THE MAP FILED IN BOOK 2 OF MAPS AT PAGE 15 IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

AT THE REQUEST OF JAY AND CYNTHIA FRIESON
MICHAEL B. STANTON, PLS 5702
3559 SOUTH HIGUERA ST.
SAN LUIS OBISPO, CA 93401
805-594-1960
May 13, 2019 JOB #07-143

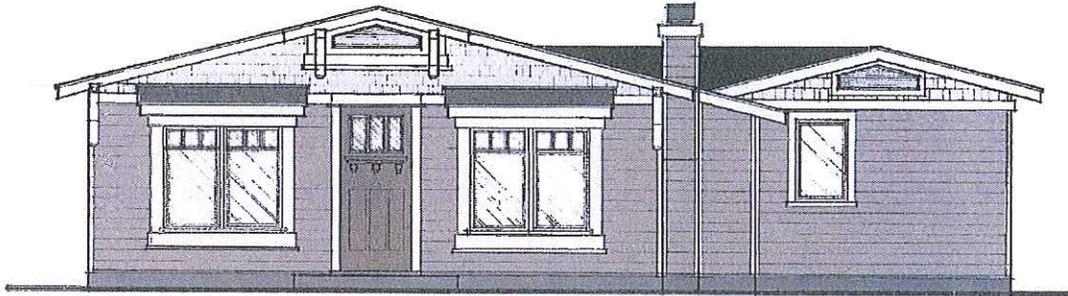


N:\2007\07-143 196 Panay St. Morro Bay\330\196 PANAY - TOPO.dwg, 2/13/2019 11:10am, Klueth



Exhibit C

Neighborhood Compatibility Exhibit
CDP19-033 and CUP19-09
Jay and Cindy Friesen
196 Panay Street



Proposed Structure at 196 Panay Street - Architectural Rendering, no scale - Front Elevation



Adjacent Existing Residence, 176 Panay Street

Existing Residence the Across Street, 185 Panay Street

