



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.*

**Regular Meeting -Tuesday, March 15, 2022 - 6:00 P.M.  
Held Via Teleconference**

Chairperson – Susan Stewart

Vice-Chairperson William Roschen  
Commissioner – Asia King

Commissioner Joseph Ingraffia  
Commissioner Mike Rodriguez

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE  
PLANNING COMMISSIONER ANNOUNCEMENTS  
PUBLIC COMMENT PERIOD

## PRESENTATIONS

### **Public Participation:**

*Remote public participation is allowed in the following ways:*

- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Planning Commission at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) prior to the meeting.*
- *Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “**raise hand**” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input.*

*Please click the link below to join the webinar:*

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNWRWFUQT09>  
Password: 135692

*Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to “**Raise Hand**” for Public Comment*

## A. CONSENT CALENDAR

**A-1** Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

**A-2** Approval of minutes from the Planning Commission meeting of December 21, 2021.  
**Staff Recommendation:** Approve minutes as submitted.

- A-3** Approval of minutes from the Planning Commission meeting of January 18, 2022.  
**Staff Recommendation:** Approve minutes as submitted.

**B. PUBLIC HEARINGS**

**B-1 Case No.:** CUP21-18

**Site Location:** 1288 Berwick Drive, Morro Bay, CA

**Proposal:** Request for Planning Commission approval of a Conditional Use Permit to approve an addition to an existing home with a non-conforming garage. The project includes an expansion of 147-sf to the front of the home for a dining room and a 120-sf addition to the master bedroom on the south side. The additions are conforming, but the garage setback is non-conforming, and the home has had a previous addition of greater than 25%. The property is zoned R-1/S.2 and is not located in the Coastal Appeals Jurisdiction.

**CEQA Determination:** Exempt under 15301, Class 1a, for alterations to existing facilities

**Staff Recommendation:** Approval of a Conditional Use permit to allow the expansion of an existing non-conforming single-family home.

**Staff Contact:** Nancy Hubbard, Contract Planner, [nhubbard@morrobayca.gov](mailto:nhubbard@morrobayca.gov)

**C. NEW BUSINESS**

**D. UNFINISHED BUSINESS**

**D-1** Planning Commission review of Harborwalk logo designs

**Staff Recommendation:** Review and provide comment/direction to staff

**Staff Contact:** Scot Graham, Community Development Director, [sgraham@morrobayca.gov](mailto:sgraham@morrobayca.gov)

**E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS**

**F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS**

**G. ADJOURNMENT**

Adjourn to the next regular Planning Commission meeting on April 5, 2022 at 6:00 p.m. via teleconference.

**PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: [www.morrobayca.gov/planningcommission](http://www.morrobayca.gov/planningcommission) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morrobayca.gov/notifyme](http://www.morrobayca.gov/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

## **APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located with the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay  
 Community Development Department  
 Current & Advanced Project Tracking Sheet  
 This tracking sheet shows the status of the work being processed by the Planning & Building Divisions  
 New Planning items or items recently updated are highlighted in yellow.  
 Approved projects are deleted on next version of log.

Agenda No: A-1  
 Meeting Date March 15, 2022

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
<b>Hearing or Action Ready Projects:</b>											
1	Baker	1288	Berwick Drive	12/16/21	CUP21-19	Two small additions to an existing non-conforming home. The one-time addition had previously been used, requiring a CUP.	Planning comment letter sent 1/6/22, requires resubmittal. Resubmittal received Feb 1, 2022, under review. Project deemed complete on 2/16/22, scheduled for PC hearing on March 15, 2022.				nh
2	McDowell	650	Sequoia Ct	9/15/21	MUP21-04	Minor Use Permit for new SFR (outside the coastal zone). 3 bedroom 3 bath, 2776sf plus 507sf garage	Incomplete letter sent 10/13/21. Supplemental information provided to applicant related to City Engineer and Fire Department review of driveway design/slope. Resubmittal received 2/9/22. Project deemed complete, public noticing underway, admin decision on permit on or after March 22, 2022.				nh
3	Candrell	2995	Beachcomber	11/1/21	CDP21-044	New 354 sf addition to existing home, addition of 572 sf attached ADU	Planning comments sent on 11/23/21, requires resubmittal. Project resubmittal received January 4, 2022, under review. Project deemed complete, scheduled for Planning Commission on February 15, 2022. PC hearing was continued to a date uncertain pending receipt of Coastal Hazard analysis.				nh
4	Kennedy	500	Napa	12/7/21	CDP21-049	Admin CDP for new 588 sf 2nd story 1 bd 1bath ADU w/ 1262sf deck and convert existing 326sf portion of garage to ADU for a total ADU size of 914sf	Review comments provided on 1/25/22, requires resubmittal. Project deemed complete on 2/16/22. Site noticed for pending action with an administrative decision on or about 3/8/22				gc
5	Ogle	337	Main St	9/13/21	COC21-002	Request for Cert of Compliance for 3 underlying adjacent lots within the Cerrito addition.	Comment letter sent to applicant 10/21/21. Resubmittal received 2/1/22.. Final documents prepared and being routed for signatures				cj
<b>30 -Day Review, Incomplete or Additional Submittal Review Projects:</b>											
6	Maritime Museum	1210	Embarcadero	3/7/22	MIN22-002	Amendment of previous Minor Use Permit approval for expansion of Maritime Museum including new outdoor displays.	Under Review				cj
7	Jasso	2515	Greenwood	2/22/22	CDP22-006	Admin CDP for new SFR with 2 car garage and detached ADU	Under Review				am/nh
8	Wells	1478	Quintana	2/22/22	MIN22-001	Minor Modification to upgrade existing roof-mounted wireless telecommunication facility	Under review. Incomplete letter sent 3/1/22. Resubmittal received 3/2/22 and under review.				cj
9	MacDonald	311	Tahiti	1/26/22	CDP22-005	Convert Existing 638sf garage into a 638sf ADU	Incomplete letter sent 2/23/2022				gc
10	Luhr	1140	Allesandro Ave	1/20/22	CUP22-06 / CDP22-004	Live/work mixed use, new construction of 5 residential units and 2 commercial units	Comment letter provided 2/13/22. Requires resubmittal.				nh

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11	Morro 94 LLC	3300	Panorama	1/18/22	CUP 22-05/CDP22-003/TTM222-02	<b>Submittal of combined concept and precise plan review for 61 unit subdivision.</b>	Received and under review. Notify Me account set up to provide information and publically available documents on the project. Subdivision Review committee meeting scheduled. Project comment letter sent 2/18/22, requires resubmittal and environmental review.				nh
12	Garcia	341	Jamaica	1/12/22	CDP22-001	<b>558 sf addition to existing 865 sf residence. Convert upper floor to ADU (468 sf), lower floor main residence (953 sf).</b>	Correction letter sent 2/3/22.	Bldg. - 1/20/22			gc
13	Novell & Johnston	273	Main St.	1/9/22	MUP22-01/PKG22-02	<b>Addition of 73 sf to the front of existing SFR to provide interior staircase access to the second floor and parking exception.</b>	Under review. Correction letter sent 2/4/22.				cj
14	Daniel	964	Las Tunas	1/6/22	CUP22-01/ PKG22-01	<b>Remodel of existing SFR</b>	Planning Comments sent 1/21/22. Requires reponse and resubmittal				am
15	Flood	176	Sicily	12/21/21	CDP21-051	<b>Admin CDP for addition to single family home and major remodel</b>	Comment letter from planning sent on January 6, 2022. Requires response and resubmittal. Project resubmittal received 2/17/22, under review. Planning comment letter sent 3/9/22, requires resubmittal				nh
16	Romero	563	Zanzibar	12/6/21	CDP21-048	<b>Admin CDP for new 1978sf 2 story SFR with 533 sf garage and 2nd level 128sf deck</b>	Incomplete letter sent 12/22/2021.				gc
17	Reyneveld	1060	Quintana	11/22/21	MUP21-06	<b>Create 3 office/retail units and 1 residential security unit, and 1 warehouse/storage unit from existing commercial building with existing residential security unit.</b>	Incomplete letter sent 12-16-21. Requires resubmittal				cj
18	Tallman	610	Fresno Street	11/9/21	CDP21-045	<b>Admin CDP for New 960 sf detached ADU</b>	Projected Deemed Complete 2/22/22, noticing to begin 2/15/22 with approval on 3/9/22				am
19	Morro Bay LLC (Keller)	1108	Front Steet	11/8/21	MAJ21-007	<b>Expansion and extensive remodel of second floor short term rental unit.</b>	Planning comments sent 11/23/21, requires resubmittal. Applicant may put this application on hold until the adoption of the new zoning code (i.e. includes street setbacks closer to the actual placement of the building).				nh
20	Castillo	1055	Allesandero	11/1/21	CUP21-17	<b>CUP to add 2 bedroom &amp; 1 bathroom to existing single family residence.</b>	Planning Comments send 11/30/21, requires resubmittal. Resubmittal under review, deemed incomplete 2/15/22.				am
21	T-Mobile/ Siegel	545	Shasta	10/12/21	CUP21-13/ CDP21-039	<b>T-Mobile modification to existing facility approved under UP0-162/CP0-229. T-Mobile proposes to remove/replace and relocate existing wireless facility screened within existing church steeple and request height exception to construct new 29'0" faux bell tower for relocated wireless facility.</b>	Under review. Project deemed incomplete 11-8-21.				cj
22	2900 Alder LLC/Knanna	2900	Alder Ave	10/7/21	CUP21-14/ CDP21-042	<b>Proposed 4200 sf, 6 unit hotel</b>	Planning comment letter sent 11/6/21. Requires resubmittal. Resubmittal received 12/8/21, planning approved, building disapproved. Applicant is working with buidling to resolve issues. Project resolved building issues and will resubmit with revisions for review.				nh
23	Allen Property Group	1260	Main St.	10/4/21	MAJ21-006	<b>Land Use &amp; Zoning Map Amendment to change C2 zoning to C1 zoning</b>	Application received. October 28, 2021, applicant approved moving forward with consultant contract for environmental review. Environmental Consultant engaged with notice to proceed 12/1/21. Consultant provided review documents for GP/CLUP amendment. Final review draft of LUP amendment documents received 3/2/22 -under review.				nh

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24	Guesno	220	Atascadero Rd	10/4/21	MIN21-012	Minor Amendment - Change temporary outdoor dining area to permanent outdoor dining	Application will apply for a TUP for outdoor dining. This application is on hold until 2022.				nh
25	Nagy	646	Sequoia	9/27/21	MUP21-03	Minor Use Permit for development of new upper level 2,328sf, lower level 1,030sf, and garage level 1,220sf SFR on vacant lot in area outside the coastal zone.	Application received, under review. Project incomplete, comments sent on October 18, 2021. Applicant working with Fire Dept and City Engineer on driveway design (slope).				nh
26	Thai Bounty	560	Embarcadero	9/22/21	MIN21-010	Minor mod to UP0-200/UP0-244 for music.	Under review.				sg
27	Morgan	101	Fig St	8/9/21	CDP21-035/CUP21-12/ VAR21-003	New construction of 1676sf single family home, 465sf garage, roof deck and patio area and request for variance to front setback for property subject to bluff development standards. New home will also require a variance for bluff face development per LCP.	Under review and incomplete letter sent 9/7/21. Resubmittal received 1/19/22. Spoke with agent 2/18/22. Requested revised geological report and plans to delineate bluff face prior to hearing.				cj
28	Eisemann	541	Atascadero Road (at Hill St.)	7/9/21	CUP21-09/ CDP21-029	Four unit apartment complex with attached garages	Review comments provided on July 31, 2021. Project requires resubmittal and environmental analysis. Provided applicant estimate for environmental report on September 24, 2021. January 2022 - project is for sale.				nh
29	Green	1175	Scott Street	6/28/21	CDP21-025 CUP21-07	New construction of 3 hotel units including one ADA unit and a residential security unit	Review comments provided on July 21, 2021. Requires a resubmittal for review. Discussed project with applicant, expected to have resubmittal ready in November 2021. Applicant is reviewing alternative designs for the project, staff provided input on 2/14/22.				nh
30	Perry	3230	Beachcomber	6/24/21	CDP21-024/ CUP/ VAR21-002	New 1537 sf sfh with attached 380 sf garage. VAR request for roof top deck railing height. Application approval is dependent on completion of LTM21-01	Review comments sent 7/20/21, requires resubmittal. Resubmittal received 11/24/21, under review. Planning disapproved, comments sent 12/10/21. Resubmittal received 12/20/21, under review. Planning comment letter sent 1/6/22, requires resubmittal. Resubmittal received Feb 1, 2022 - project deemed complete 2/16/22, but cannot be presented to PC until LTM21-01 has been approved (lot line adjustment and lot merger).				nh
31	Steiner	301-390	Seashell Cove	4/19/21	MAJ21-02	General Plan / LCP Land Use & Zoning Map Amendment application to change land use and zoning from R-A to R-4 designation / low density to high density	Under review. Response letter/ incomplete letter sent 5-6-21. Resubmittal received. Environmental review in process.				cj
32	SR Development	545	Atascadero	Initial partial submittal on 3/31/2021. Submittal complete on 4/26/21	CDP21-013 / CUP21-04	New construction of 15 unit townhomes project	Comment letter sent 5/14/21, requires resubmittal with responses.				nh
33	Perry	3202	Beachcomber	4/14/21	CDP21-014/ CUP/ VAR21-001 and LTM21-01	Demo existing home, build new 2063 sf home with subterranean garage and storage area of 2267 sf. Application approval is dependent on completion of LTM21-01. VAR request for height variance on roof top deck railing. Project requires lot line adjustment and lot merger to create 2 parcels from the three underlying parcels.	Submittal received, but not complete. Balance of submittal received 4/14/21, under review. Incomplete letter comments sent for LTM on 4/30/21 and CDP on 5/4/21. Resubmittal received 6/24/21 with VAR request, under review. Review comments sent 7/20/21. Resubmittal received 11/24/21, under review. Planning disapproved, comments sent 12/14/21, requires resubmittal. Resubmittal received 12/20/21, under review. Planning comments sent 1/11/22, requires resubmittal.				nh
34	Tullis	404	Estero	3/17/21	CDP21-011	CDP to demo existing improvements & construct new SFR and site improvements.	Under review. Deemed incomplete, comment letter sent to applicant April 2, 2021				nh

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35	Vistra	1290	Embarcadero	12/28/20	CDP20-026 & CUP20-14	<b>Battery Energy Storage System (BESS) - New proposed project to construct 600MW BESS on old tank farm north of existing Morro Bay Power Plant. BESS to be constructed as 3 separate buildings, 30 feet in height plus 10 feet of screening for rooftop equipment.</b>	Under initial review. Project deemed incomplete and incomplete letter sent 1-21-2021. Applicant resubmittal received 2-17-2021 and under review currently. Project deemed complete for processing on 2/23/2021. Project plans and documents being evaluated. Environmental review process in progress.				cj
36	Vazquez	590	Morro Ave	10/22/20	MAJ20-002	<b>CDP/CUP Major Modification to propose equipment upgrade to an existing rooftop telecom wireless site.</b>	Under review. Incomplete letter sent 11/19/20. Discussed with Applicant visual simulation requirements via phone on 7/27/21				cj
37	Bean	197	Main Street (formerly known as 199 Sandpiper)	12/19/19	CUP19-20, CDP19-04, VAR20-001	<b>CUP/CDP for new home on triangular small parcel on the bluff. Proposed home is 526 sf 2-stories with access easement to Main Street</b>	Project deemed incomplete, comment letter sent January 7, 2020. Resubmittal received 10/26/20 adding a variance request, under review. Incomplete, need resubmittal. Resubmittal received September 14, 2021, under review. Incomplete letter sent on Oct 4, 2021. Resubmittal received 10/29/21. Planning comment letter sent November 10, 2021, requires resubmittal. Project resubmitted March 2, 2022				nh
<b>Projects Appealed to Planning Commission or PC Continued projects - none</b>											
<b>Projects Appealed or Forwarded to City Council - none</b>											
<b>Environmental Review:</b>											
38	City of Morro Bay		N/A		UP0-423	<b>MND for Chorro Creek Stream Gauges</b>	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
<b>Final Map Under Review Projects: - none</b>											
<b>Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing:</b>											
39	City of Morro Bay		Citywide			<b>Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project</b>	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. Public draft of combined General Plan/ LCP released May 2018 for review. Worked with Coastal staff on CCC input received during 2019. Adoption Draft to be reviewed by Planning Commission at 10/20/20 hearing. Admin Draft of EIR received and to be circulated. Reviewed by PC at the 11/4/2020 & 11/17/20, 12/1/20, & 12/15/20 PC meetings. 3-16-2021 meeting is for review of the EIR and make recommendations to City Council for adoption. Council review of adoption draft held on 4/27/21. Hearing continued to the 5/11 and then 5/25/21 Council meetings. Plan adopted by Council on 5/25/21. LCP Amendment application submitted to Coastal Commission for certification. <b>Coastal Commission LCP certified Coastal Land Use Plan (LUP) on August 12, 2021. Zoning Code Update in progress - to be completed approximately winter 2021.</b>				

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40	City of Morro Bay		Citywide	10/16/13	A00-013. A00-029: Ordinance 601	<b>Zoning Text Amendment - Second Unit</b>	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. Change recommended by PC after Council direction which led to Adoption of Ord. 585 by City Council on 5/13/14. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. <b>New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation in effect 1-1-20 which supersedes previous adopted ordinances. To be incorporated into Plan Morro Bay.</b>	No review performed.			wm
<b>Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:</b>											
41	Verizon / Knight		184 Main new location, corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	<b>Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.</b>	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		jg
<b>Grants</b>											
42	California Coastal Commission, California Ocean Protection Council		City-wide	4/6/16		<b>\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation. Round 6 funding of \$65,000 received Mar 2020.</b>	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17. Additional LCP grant funding received in 2020 under Round 6 for \$65,000 to complete LCP update.	No review performed.	N/A		sg
43	City of Morro Bay		City-wide			<b>Community Development Block Grant/HOME Program - Urban County Consortium</b>	Staff has ongoing responsibilities for contract management in coordination with County staff administration. City Council approved Cooperation Agreement for 2021-2023 CDBG Program Years at 5/26/20 Council meeting. Notice of Funding Availability for 2022 Program Year released 9/27/21. Application funding deadline is 11/1/2021. Council public hearing to consider final funding recommendations to be on 3-8-2022. cj	No review performed.	N/R		cj
44	City of Morro Bay		City-wide			<b>Climate Action Plan - Implementation</b>	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
<b>Projects in Building Plan Check:</b>											

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45	Mellon	455	Acacia St.	1/19/2022	B22-0010	Demo existing interior wall for interior remodel. Demo existing windows and exterior doors for new. Demo South wall for new roof extension. Demo existing 190sf balcony for new 355sf balcony (+165sf new) Construct a new 340sf deck off master bedroom. 33 ft new retaining wall over 30" high. New electrical and plumbing.		Bldg. - Plancheck			sg
46	Castillo	1055	Allesandro St.	6/3/2021	B21-0097	250 sf addition to rear of existing SFR, addition creates two bedrooms and one full bath.		Bldg. - Disapproved 6/10/21			sg
47	Escape Hospitality LLC	295	Atascadero Rd.	1/5/2022	B22-0001	New indoor pool.	Plng approved	Bldg. - Approved 3/1/22			cj
48	Eisemann	535-A	Atascadero Rd.	11/22/2021	B21-0209	New construction of an attached ADU	Planning disapproved with comments on 11/24/21	Bldg. - Approved 2/24/22			nh
49	Cunha	199	Azure St.	11/8/2021	B21-0200	New first story addition to master suite.		Bldg. - Approved 11/23/21			sg
50	Goldstein	186	Bayshore Dr.	11/4/20	B20-0190	Remodel kitchen, dining & living area.		Bldg. - Approved 11/09/20			sg
51	Carter	2035	Bayview Ave.	8/5/21	B21-0135	New SFR, 1980 sf living, with 483 sf attached garage, 96 sf covered deck, 267 sf covered rear patio and 32 sf covered front porch.		Bldg. Disapproved 9/21/21			cj
52	LaPlante	3093	Beachcomber	4/29/17	B-31487	New SFR: 3,495 sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	Permit extended to 9-22-22	Ready to issue	PN - Approved 6/21/2018	Emailed comments on 10-20-17.	cj
53	Acebedo	520	Blanca St.	2/3/22	B22-0023	Elevator install in an existing residence.	Approved 3/3/22	Bldg. - Approved 2/8/22			am
54	Borchard	548	Blanca St.	12/9/21	B21-0217	New SFR - 1774 sf living, 454 sf attached garage and 206 sf 2nd story deck. See permit B21-0218 for attached ADU.	Approved 3/1/22	Bldg. - Approved 2/8/22			am
55	Borchard	548-A	Blanca St.	12/9/12	B21-0218	ATTACHED ADU - 692 sf attached Accessory Dwelling Unit (ADU) on lower level of SFR on downslope lot. See permit B21-0217 for new SFR.	Approved 3/1/22	Bldg. - Disapproved 1/20/22			am
56	Borchard	556	Blanca St.	12/9/21	B21-0219	New SFR - 1890 sf living, 426 sf attached garage and 159 sf upper level deck. See permit B21-0220 for attached ADU.	Approved 3/1/22	Bldg. - Approved 2/28/22			am
57	Borchard	556-A	Blanca St.	12/9/21	B21-0220	ATTACHED ADU - 583 sf attached Accessory Dwelling Unit (ADU) on lower level of SFR on downslope lot. See permit B21-0219 for new SFR.	Approved 3/1/22	Bldg. - Disapproved 1/20/22			am
59	Humphrey	2228	Coral	12/1/21	B22-0024	Expand a portion of the first floor and remove 2nd floor pantry and 1/2 bathroom to create a new bathroom on the 2n floor	Disapprove 03/03/2022	Bldg. - Approved 2/28/22			gc
60	Donnell	480	Crest St.	2/24/22	B22-0041	Install (3) helical piers to existing deck foundation and new grade beam footings.		Bldg. - Approved 2/24/22			sg

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
61	Diaz	365	Driftwood	1/6/20	B19-0280	328 sq ft addition to master bedroom and bath on second flr. Convert covered patio to living space 50 sq ft enclosed covered porch 30 sq ft interior remodel.	Planning disapproved 1/31/20. Project requires a Conditional Use permit. Planning cannot approve building permit until Conditional Use Permit is final and permit issued. CUP20-13 scheduled for PC hearing 11/16/21. CUP approved, applicant can proceed with building permit. Permit received 12/8/21, Planning approved.	Bldg. - Approved 12/29/20			nh
62	Abreau	405	Elena St.	2/10/22	B22-0027	362 sf single story addition to an existing 906 sf home, demo 90 sf to connect the addition that will create two bedrooms and bathroom, full remodel of existing SFR reconfiguring existing layout.	Planning- Under review	Bldg. - Approved 2/28/22			nh
63	Gambrill	571	Embarcadero	2/22/22	B22-0035	Convert office space to commercial vacation rental.		Bldg. - Plancheck			cj
64	Perkins	454	Estero Ave		B22-0036		Under review -Interior remodel of 583 sf of (E) SF. And add 194 SF open deck.	Bldg. - Plancheck			sg/gc
65	Hurlless	2290-A	Greenwood Ave	1/12/22	B22-0006	Conversion of 440 sq ft storage building into a JADU.	Planning approved 1-18-22	Bldg. - Approved 1/20/22			nh
66	Hurlless	2265	Hemlock Ave.	1/12/22	B22-0007	Conversion of 480 sq ft garage into an ADU.		Bldg. - Approved 02/07/22			gc
67	Wilkie	476-A	Hill St.	3/26/20	B20-0057	ATTACHED ADU - Convert existing attached garage to 344 sf Accessory Dwelling Unit.	Correction letter sent 4/30/20.	Bldg. - Approved 4/8/22			nh
68	Errea	602	Ironwood Ct	1/10/22	B22-0003	New single family home	Planning comments sent 1/19/22	Bldg. - Disapproved 2/10/22			gc
69	Johnston	2781	Juniper Ave.	6/2/21	B21-0094	New 463 sf 2nd story deck at rear of existing SFR, also replace five existing windows with three new sliding glass doors.		Ready to issue			sg
70	Cia	2551	Koa Ave.	2/23/22	B22-0038	New 3 bed 2.5 bath SFR w/attached 2-car garage.	Under Review	Bldg. - Plancheck			gc
71	Daniels	964	Las Tunas St.	8/3/21	B21-0133	Remodel the laundry room & add a bedroom, bathroom & hallway to the back of existing home in phase I. Phase 2, build a detached garage		Bldg. - Disapproved 8/18/21			sg
72	Drenick	2530	Laurel Ave.	9/22/21	B21-0174	Reconstruction of 560 sf two-car garage, garage foundation and 560 sf rooftop deck over garage. See permit B21-0141 for separate demolition permit for these structures.	Disapproved and Correction Letter sent 10/5/21	Bldg. - Approved 9/28/21			am
73	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg. - Approved 2/27/19	Disapproved on 4/15/19		sg
74	Sonic	1840	Main St.	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension. Planning permit extension requested and granted to allow new permit expiration of April 2021. Emailed applicant 3-19-2021 advising them of permit expiration date and extension opportunities.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB <b>Permit extended to 4/18/23</b>	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
75	Twins Bay Inc. _ Joyce Kaishar	2460	Main St.	2/10/22	B22-0029		Planning - ADDENDUM TO B20-0114 - Revised ADA path of travel and updated entry landing to hotel lobby. Under Review	Bldg. - Approved 2/10/22			nh
76	Rose	929	Mesa St.	1/25/22	B22-0016	ADU - 508 sf 2 story ADU addition and 42.5 sf bathroom remodel in existing garage.	Planning - Approved	Bldg. - Plancheck			gc
77	Valerie	490	Mindoro St.	12/3/21	B21-0213	Existing 912 SF garage to be converted into 369 SF, one car garage and storage. And 543 SF 1st flr. single family residence and new 912 2nd flr addition.	Planning conditionally approved - required addition of plan sheet with MIN conditions of approval.	Bldg. Approved 2/24/22			nh
78	LifePoint Church	615	Monterey Ave.	1/6/20	B19-0279	Remodel/upgrade current building	Planning disapproved 1/27/20. Awaiting resubmittal.	Bldg - Diapproved 1/30/20			nh
79	Kolb	685	Morro Ave.	10/4/21	B21-0180	Installation of 6' x 8' single sided, non-illuminated, monument sign with one 5' deep concrete footing (center of sign). Sign installed on parcel 066-301-058 (at corner).		Bldg - Approved 10/13/21			mm
80	Allen	310	Morro Bay Blvd.	2/23/22	B22-0040	Adaptive reuse design and development of an existing bank bldg structure for conversion into two-suite office complex. Proposed scope of work does not include an increase in the bldg footprint. Proposed exterior improvements include the removal of the car port awning and barrier removal for site accessibility requirements.		Bldg. - Plancheck			sg
81	Peterson	390	Morro Bay Blvd.	2/2/22	B22-0022	ADDENDUM TO B21-0151 - Adding to scope of work - Demo existing exterior mansard roof, exterior drive thru structure (including structural columns) and demo of interior concrete.		Bldg. - Approved 2/8/22			sg
82	Gumm	480	Morro Bay Blvd.	1/27/22	B22-0020	Interior tenant improvement for sandwich shop.		Bldg. - Approved 2/14/22			sg
83	Erb	2630	Nutmeg Ave	2/14/19	B19-0029	Demo 195 sf third story deck at front of home and rebuild with 80 sf extension to allow for deck beam and column support. Remove 152 sf deck on south side of home, misc. construction to repair water damage.	Dissapproved 3/6/19. Disapproved 4/9. Variance application approved. Awaiting building permit resubmittal.	Bldg. - Approved 3/27/19			wu
84	Appel	400-A	Pico St	8/18/21	B21-0149	Convert existing garage to an ADU without changing the footprint of the garage.	Approved 8/25/21	Bldg. Disapproved 9/10/21			am
85	Barakatt	315	Piney Ln.	12/22/21	B21-0224	Remodel 3718 sf SFR and solarium. Interior remodel of kitchen, living room, bathroom and solarium (1461 sf) Proposed replacement of existing solarium roof (465 sf). Removal of 279 sf carport. Proposed addition of 279 sf carport. Proposed addition of 279 sf deck. Proposed expansion of existing deck (133 sf).		Bldg. -Approved 1/20/22			sg
86	Phelps	490	Piney Way	1/27/22	B22-0017	816 sf addition to existing 763 sf residence. Add 477 sf decks.		Bldg. - Plancheck			nh
87	Phelps	490	Piney Way	1/27/22	B22-0018	Create New ADU from existing sheds. New 469 sf.		Bldg. - Plancheck			gc

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
88	Phelps	490	Piney Way	1/27/22	B22-0019	Convert existing 434 sf garage to a 434 sf JADU.		Bldg. - Plancheck			gc
89	Lee	684	Piney Way	9/10/20	B20-0168	Demo existing detached 416 sf work shed with bathroom & reconstruct new 416 sf garage/shop with electrical, keeping existing bathroom on existing slab/foundation.	Planning disapproved 9/15/20. Requires a Admin CDP and Parking Exception prior to review and approval of the building permit. Waiting for submittal.	Bldg. - Disapproved 3/1/21			nh
90	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and assoicated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2') with associated electrical wiring.	Approved 9/26/19.	Ready to issue			cj
91	Stanford	3041	Sandalwood Ave.	9/2/21	B21-0191	Conversion of existing space 336 sf bedroom to JADU and building renovations for kitchen, laundry, and bathroom.	Planning Approved 1/14/22	Ready to issue	Public Works disapproved.		am
92	Eisemann	599	San Jacinto Street	1/20/22	B22-0014	Demolish of an existing 522 sf one story single family home. Building a new 1498 sf primary residence with 522sf garage and covered 125sf porche.	Under review	Bldg. - Plancheck			gc
93	Battaglia & Winfield	1280	Scott St.	11/9/21	B21-0171	Addition and remodel - 179 sf 2nd level addition to an existing SFR creating a 809 sf primary dwelling with an existing 380 sf deck.	Planning approved. Expanded landscape detail received and approved 2/5/22.	Bldg. - Approved 2/8/22			nh
94	Battaglia & Winfield	1280-A	Scott St.	11/9/21	B21-0172	Detached ADU - 2nd story, 780 sf ADU with front and rear decks totaling 240 sf, over a new 780 sf storage area.	Planning approved	Bldg. - Approved 2/8/22			nh
95	Battaglia & Winfield	1280-B	Scott St.	11/9/21	B21-0173	Attached JADU - Create 404 sf JADU from existing lower level of SFR. Also new 128 sf storage area.	Planning approved	Bldg. - Approved 2/8/22			nh
96	Chaney	508	Shasta Ave	12/21/21	B21-0223	Demolish an existing 163 sf failing deck & rebuild with a 213 sf deck. All exterior & located at the front of the residence.		Bldg. - Approved 12/21/21			sg
97	Parker	580	Shasta Ave	8/31/20	B20-0159	Add new detached garage	Planning under review. Planning disapproved 9/8/20. Need resubmittal	Bldg. - Disapproved 9/14/20			nh
98	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane,, new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal. Permit aplication expired	Bldg. - Approved 3/27/19			wu
99	Leonard	550	Zanzibar St.	1/12/22	B22-0008	New 1855 SFR w/482 sf garage and 144 sf balcony deck.	Disapproved	Bldg. - Plancheck			nh
<b>Planning Projects &amp; Permits with Final Action:</b>											

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
100	Dorfman	570	Olive	7/28//21	CDP21-031	<b>Admin CDP for 1150sf new detached ADU</b>	Project deemed incomplete and letter sent 8/27/21. Resubmittal received 1-4-22 and under review. Project deemed complete and noticed for administrative action after 2/8/22. Permit approved 2/10/22				cj
101	McGonagill/Mathias	690	Olive Street	10/14/21	LLA21-001	<b>Move lot line between two parcels</b>	Planning review complete 11/2/21, need PW comments. Project deemed complete, LLA certificated provided to applicant for signature on November 6, 2021. Final document approved, signed by applicant and city, March 1, 2022 sent to applicant for recording.				nh
102	Meisterlin	315	Morro Bay Blvd (Previously submitted as 842 Main )	12/16/21	CDP21-050	<b>Admin CDP to convert/remodel existing office &amp; storage space into 2 studio apts.</b>	Planning comments sent on January 6, 2022. Requires a resubmittal with single set of plans that include both residential units. Owner is changing the scope of the project, will resubmit new scope and plans. Resubmittal received Feb 3, 2022, under review. Project deemed complete 2/22/22, requires public notice followed by an administrative decision on the permit. Project approved March 8, 2022, permit issued.				nh
103	DeSimone	755	Kern	1/18/22	COC22-001	<b>Request for Cert of Compliance for 5 contiguous parcels with APN number 066-075-017</b>	Cert of Compliance approved by City, recording documents prepared and signed by applicant and City - returned to applicant for recording.				nh
Staff Directory: Scot Graham - sg                      Chad Ouimet - co                      Cindy Jacinth - cj                      Pam Newman - pn                      Nancy Hubbard - nh                      Gabby Cortez - gc                      Alison MacCarley - am											

AGENDA ITEM: <u>    A-2    </u>
DATE: <u>    MARCH 15, 2022    </u>
ACTION: <u>    DRAFT    </u>

ACTION MINUTES – MORRO BAY PLANNING COMMISSION  
REGULAR MEETING – DECEMBER 21, 2021  
HELD VIA TELECONFERENCE – 6:00 PM

PRESENT:	Susan Stewart Bill Roschen Joe Ingraffia Mike Rodriguez Asia King	Chairperson Vice-Chairperson Commissioner Commissioner Commissioner
STAFF:	Scot Graham Nancy Hubbard	Community Development Director Contract Planner

ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE

PLANNING COMMISSIONER ANNOUNCEMENTS - NONE

PUBLIC COMMENT PERIOD – NONE

**Public Participation:**

*In order to prevent and mitigate the effects of the COVID-19 pandemic, and limit potential spread within the City of Morro Bay, in accordance with Executive Order N-08-21, the City will not make available a physical location from which members of the public may observe the meeting and offer public comment. Remote public participation is allowed in the following ways:*

- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) prior to the meeting and will be published on the City website with a final update one hour prior to the meeting start time. Agenda correspondence received less than an hour before the meeting start time may not be posted until after the meeting.*
- *Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*

- *Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input.*

*Please click the link below to join the webinar:*

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcxTHlRTk9xaTlmWVNWRFUQT09>

*Password: 135692*

*Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to “Raise Hand” for Public Comment*

PRESENTATIONS – Pre-Approved Accessory Dwelling Unit (ADU) Plans Presentation by  
Ryan Brockett Architect and WorkBench  
<https://youtu.be/N8oY7gajjZ8?t=73>

Comments and questions from the Commissioners.

Chairperson Stewart opened the Public Comment period and seeing none closed the Public Comment period.

<https://youtu.be/N8oY7gajjZ8?t=3267>

A. CONSENT CALENDAR

<https://youtu.be/N8oY7gajjZ8?t=3301>

- A-1** Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

The Commissioners received and filed.

B. PUBLIC HEARING – NONE

C. NEW BUSINESS – NONE

D. UNFINISHED BUSINESS

<https://youtu.be/N8oY7gajjZ8?t=3323>

- D-1** Review and consideration of a policy memo to establish design guidelines for public amenities along the waterfront.

**Staff Recommendation:** Review and provide direction

**Staff Contact:** Scot Graham, Community Development Director;

[sgraham@morrobayca.gov](mailto:sgraham@morrobayca.gov).

Graham presented the staff report.

Discussion and comments between the Commissioners and staff.

Chairperson Stewart opened the Public Comment period.  
<https://youtu.be/N8oY7gajjZ8?t=5941>

Erica Crawford, Morro Bay Chamber of Commerce, commented she would like the Planning Commission to discuss the public and private sectors on the waterfront.

Graham responded.

Comments from the Commissioners.

Chairperson Stewart closed the Public Comment period.  
<https://youtu.be/N8oY7gajjZ8?t=6250>

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS  
<https://youtu.be/N8oY7gajjZ8?t=6256>

Chairperson Stewart inquired when the zoning code will come up for review again.

Graham responded.

Vice-Chairperson Roschen requested a presentation for the Commissioners regarding accessory dwelling units, the incentives to build them, and what the advantages would be.

Graham responded.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS  
<https://youtu.be/N8oY7gajjZ8?t=7075>

Graham notified the Commissioners there will be no meeting on January 4, 2022, due to no items for the agenda. The next meeting will reconvene on January 18, 2022.

G. ADJOURNMENT

The meeting adjourned at 8:00 p.m. to the next scheduled Planning Commission meeting via teleconference, on January 18, 2022, at 6:00 p.m.

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Susan Stewart, Chairperson

ATTEST:

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Scot Graham, Secretary



*the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input.*

*Please click the link below to join the webinar:*

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNW.RWFUQT09>  
Password: 135692

*Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to “Raise Hand” for Public Comment*

## PRESENTATIONS - NONE

### A. CONSENT CALENDAR <https://youtu.be/ym6NNm8ebVU?t=85>

Commissioner Rodriguez asked for clarification on the number of tables mentioned in the approval of the October 5, 2021 for 715 Embarcadero.

Graham will research and confirm the number of tables.

- A-1** Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.
- A-2** Approval of minutes from the Planning Commission meeting of September 21, 2021.  
**Staff Recommendation:** Approve minutes as submitted.
- A-3** Approval of minutes from the Planning Commission meeting of October 5, 2021.  
**Staff Recommendation:** Approve minutes as submitted.

**MOTION:** Commissioner Rodriguez moved to approve with staff’s clarification on the number of tables. Vice-Chairperson Roschen seconded, and the motion passes 5-0, with Ingraffia, King, Roschen, Rodriguez, and Stewart voting yes.  
<https://youtu.be/N6QpX7AJq1Q?t=369>

### B. PUBLIC HEARING

### C. NEW BUSINESS <https://youtu.be/ym6NNm8ebVU?t=470>

- C- 1** Review and discussion of the Accessory Dwelling Units as Affordable Housing Options in Los Angeles County Report, prepared by Inclusive Action for the City.  
Link to report:  
[https://www.morrobayca.gov/DocumentCenter/View/16280/01-18-22-C-1-ADU\\_LA-County\\_presentation](https://www.morrobayca.gov/DocumentCenter/View/16280/01-18-22-C-1-ADU_LA-County_presentation)

**Staff Recommendation:** This item has no staff report. Review ADU report, hear presentation and discuss. Please click the link below for presentation:

Vice-Chairperson Roschen introduced the City of Los Angeles, Inclusive Action, Policy Director, Lyric Keller.

Keller gave her presentation on accessory dwelling units as affordable housing options.

The Commissioner's presented their questions to Keller.

Chairperson Stewart opened the Public Comment period and seeing none, closed the Public Comment period.

<https://youtu.be/ym6NNm8ebVU?t=2828>

Discussion between the Commissioners.

D. UNFINISHED BUSINESS

<https://youtu.be/ym6NNm8ebVU?t=4610>

**D-1** Review and adoption of a policy memo to establish design guidelines for public amenities along the waterfront.

**Staff Recommendation:** Review and Adopt Resolution 01-22

**Staff Contact:** Scot Graham, Community Development Director;

[sgraham@morrobayca.gov](mailto:sgraham@morrobayca.gov)

Graham presented the report.

Discussion between the Commissioners.

**MOTION:** Vice-Chairperson Roschen moved to approve the policy memo as written. Commissioner Rodriguez seconded, and the motion passes 5-0, with Ingraffia, King, Rodriguez, Roschen, and Stewart voting yes.

<https://youtu.be/ym6NNm8ebVU?t=6942>

Questions for staff from the Commissioners.

Graham responded to the Commissioners questions.

Chairperson Stewart opened the Public Comment period and seeing none closed the Public Comment period.

<https://youtu.be/ym6NNm8ebVU?t=7683>

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

<https://youtu.be/ym6NNm8ebVU?t=7698>

Chairperson Stewart reviewed the future agenda items with the Commissioners. Stewart requested additional information for accessory dwelling units, and separate waterfront walks with staff to review design elements and the menu.

Commissioner King asked staff when will the next discussion on zoning be presented.

Graham responded.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

<https://youtu.be/ym6NNm8ebVU?t=7803>

Graham told the Commissioners he wasn't sure what items would be on the next agenda, but noted the Planners were discussing it.

G. ADJOURNMENT

The meeting adjourned at 8:12 p.m. to the next scheduled Planning Commission meeting via teleconference, on February 1, 2022, at 6:00 p.m.

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Susan Stewart, Chairperson

ATTEST:

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Scot Graham, Secretary



**AGENDA NO: B-1**

**MEETING DATE: March 15, 2022**

## Staff Report

**TO:** Planning Commissioners                      **DATE:** March 10, 2022

**FROM:** Nancy Hubbard, Contract Planner

**SUBJECT:** **Addition to Existing Residential.** Conditional Use Permit No. CUP21-18 for two small additions to an existing single-family home with a non-conforming garage.

**RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by adopting Planning Commission Resolution 03-22 making the necessary findings for approval of CUP21-18

**APPLICANT:** Kathy Baker  
**AGENT:** Preston Jones  
**ADDRESS/APN:** 1288 BERWICK/APN 068-225-011

**PROPOSED PROJECT:** Request for Planning Commission approval of Conditional Use Permit to approve an addition to a non-conforming existing home. The project is a 147-sf dining room addition to the front with a new covered porch at the entryway and a 120-sf addition to the master bedroom on the south side. The additions are conforming, but the garage setback is non-conforming, and the home has had a previous addition of greater than 25%. The property is zoned R-1/S.2 and is not located in the Coastal Appeals Jurisdiction.

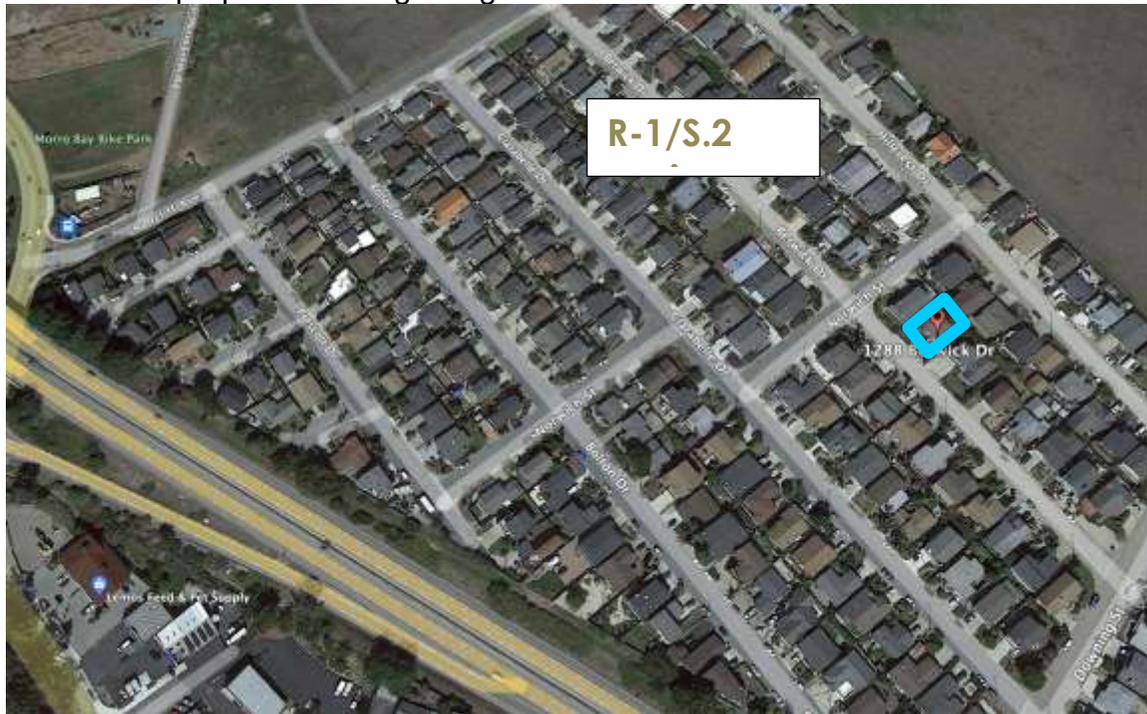
**APPROVAL PROCESS REQUIREMENTS:** The existing home is non-conforming as to front setback for the garage. The garage was permitted allowing a 5-foot setback because of the extreme slope of the site. However, the garage, when built, was positioned slightly out of alignment with the front property line resulting in a 4.5-foot setback on the garage's north corner and a 5'4" setback on the south corner. The size of the proposed addition (21.8% of existing home square footage) and the existing non-conforming conditions require approval of a Conditional Use Permit through a discretionary review and approval process.

**ZONING:** The site is in the residential area accessed from Radcliff Ave, just north of Highway 1. The subject property is located on Berwick Drive between Norwich Street and Downing Street, is zoned R-1/S.2 (single family home residential with

an S.2 overlay zone allowing reduced standards to accommodate properties that because of their size, location or configuration require special design criteria). This zone allows single family residential uses. The proposed new zoning designation for this site will be RS-A allowing moderate density from 4.1 to 7 units per acres intended for primarily single-family housing.

Adjacent Zoning			
North	R-1	East	R-1
South	R-1	West	R-1

**GENERAL PLAN/COASTAL LAND USE PLAN:** The Coastal Land Use plan designates this area for moderate density residential which is consistent with the current and proposed zoning designations



Site Characteristics	
Site Area	5191 square feet
Existing Use	Single-level home with garage down the slope
Terrain	sloped
Vegetation/Wildlife	Residential landscaping
Archaeological Resources	N/A
Access	Existing access to Berwick Drive

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
<b>General Plan/Coastal Plan Land Use Designation</b>	Moderate Density Residential (2021 LUP)
<b>Base Zone District</b>	R-1
<b>Zoning Overlay District</b>	n/a
<b>Special Treatment Area</b>	S2
<b>Combining District</b>	n/a
<b>Specific Plan Area</b>	none
<b>Coastal Zone</b>	Not within the Coastal Commission Appeal Jurisdiction

2015 image from Berwick Drive looking east



**SITE HISTORY:**

- The SLO County records show the home was built in 1961 and was 896 sf with an addition of 360 sf.
- The garage was added in 1985 (400sf) and was approved for a reduced setback (5 feet) because the site met the extreme slope requirements that allow reduced setbacks for garages.
- The home was determined by SWCA to not meet the criteria as a historic resource for the purposes of CEQA.



**PROJECT DESCRIPTION AND NEIGHBORHOOD COMPATIBILITY:**

The proposed project is an expansion of the living space in an existing single level home on a sloped site that has a garage on the lower level. There is a front deck that is supported by the garage roof, but otherwise, the garage is detached from the home. The proposed addition is to add a 147-sf new dining room in the front of the home, expansion of the covered entryway and an expansion of the master bedroom on the south side of the home. The existing home is 1224 sf of living space and with the additions, will be 1491 sf. The site is 5191 sf. The additions are conforming to the development standards of the zoning district.



	R-1/S.2 Standards	Proposed Project (e)SFH w/ Addition)
Front Setback	15 feet	15'5" feet
Garage Setback	5 feet (MBMC17.48.045 C)	4'6" to 5'4" feet
Rear Setback	5 feet	20 feet
Side setback	5 feet	10'8" south side/ 5'3" north side
Height (from ANG)	25 Feet	18'6" (no increase from existing height)
Lot Coverage	45%	38.5%
Parking	2 spaces covered/enclosed	2 spaces covered/enclosed

**ENVIRONMENTAL DETERMINATION:**

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1e. This exemption applies to additions to residential development in a residential zone. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

**CONCLUSION:**

The project is consistent with the Morro Bay Municipal Code, the General Plan, and the Local Coastal Program as conditioned.

**PUBLIC HEARING NOTICE:**

Notice of a public hearing on this item was published in the San Luis Obispo Tribune newspaper on March 4, 2022, and all property owners and occupants of record within 500 feet of the project site were notified of the scheduled public hearing and invited to voice any concerns on this application. The project site was also posted with a public notice sign.

**RECOMMENDATION:**

Staff recommends that the Planning Commission CONDITIONALLY APPROVE THE PROJECT by adopting Planning Commission Resolution 03-22 which includes findings for CUP21-18 to allow the proposed use as reflected on the plans submitted to the City of Morro Bay on February 1, 2022.

**ATTACHMENTS:**

- Exhibit A – Resolution 03-22 – Findings and Conditions of Approval
- Exhibit B – Plans
- Exhibit C – Architectural Historic Evaluation

# EXHIBIT A

## RESOLUTION NO. PC 03-22

### A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION FOR APPROVAL OF A CONDITIONAL USE PERMIT CUP21-18 FOR THE PROPOSED ADDITIONS TO AN EXISTING RESIDENTIAL DWELLING AT 1288 BERWICK DRIVE

**WHEREAS**, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing via video conference on March 15, 2022, for the purpose of considering approval of a Conditional Use Permit CUP21-18 for additions to an existing single-family home (“Project”); and

**WHEREAS**, pursuant to the Governor's Executive Order N-29-20 issued on March 17, 2020 in response to the present State of Emergency in existence due to the threat of COVID-19, the City of Morro Bay Planning Commission is authorized to hold public meetings via teleconferencing and all requirements in the Brown Act expressly or impliedly requiring the physical presence of members, the clerk or other personnel of the body, or of the public as a condition of participation in or quorum for a public meeting are hereby waived; and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the appellant, applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

#### California Environmental Quality Act (CEQA)

Pursuant to the California Environmental Quality Act, the project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1e (additions to existing structures). Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

#### Conditional Use Permit findings

1. The project is consistent with the General Plan and Local Coastal Program (LCP) that specifically identifies this area for moderate density residential uses.
2. The project complies with the zoning code and related overlay areas, which encourages single family residential projects.

# EXHIBIT A

3. The project is in compliance with the General Plan and certified Local Coastal Program and will not be detrimental to the health, safety, and general welfare of persons residing or working in the surrounding neighborhood.

4. The project meets the criteria for findings as follows:

Findings for Expansions of an existing non-conforming structure

The project proposes an addition that is 21% of the existing floor area of the original home and has had a previous addition in excess of 25% of the floor area. As required in MBMC 17.56.160, Additions and structural alterations to non-conforming structures occupied by conforming uses require a conditional use permit and must meet the following findings:

- The expansion is in conformance with this title meeting all the required development standards and not worsening the non-conforming aspects (garage front setback)
- The proposed project satisfies all other provisions of this section, including meeting Title 14 requirements for a conforming use.
- The project is suitable for conforming uses, and has been occupied as a conforming use since 1961.
- It is not feasible to fix the non-conforming aspects of the home.

	<b>R-1/S.2 Standards</b>	<b>Proposed Project (e)SFH w/ Addition</b>
<b>Front Setback</b>	15 feet	15'5" feet
<b>Garage Setback</b>	5 feet (MBMC17.48.045 C)	4'6" to 5'4" feet
<b>Rear Setback</b>	5 feet	20 feet
<b>Side setback</b>	5 feet	10'8" south side/ 5'3" north side
<b>Height (from ANG)</b>	25 Feet	18'6" (no increase from existing height)
<b>Lot Coverage</b>	45%	38.5%
<b>Parking</b>	2 spaces covered/enclosed	2 spaces covered/enclosed

Residential Design Guideline Compliance

The proposed project is consistent with the neighborhood compatibility and design guidelines in the following design elements:

1. Improved frontage and visibility to entryway to the front door.
2. The project is single-story living space on a sloped site with the garage at a lower level. The exterior improvements provide an improved visual image from the street. The home is well designed with a tasteful low-profile view from the street.
3. The landscaping planned will enhance the curb appeal.

# EXHIBIT A

**Section 2: Action.** The Planning Commission does hereby approve Conditional Use Permit (CUP21-18) with the following conditions of approval supported by the above findings.

## **STANDARD CONDITIONS**

1. This permit is granted for a Conditional Use Permit No CUP21-18 to allow two small additions to an existing home with a non-conforming garage. The project is a 147-sf dining room addition to the front with a new covered porch at the entryway and a 120-sf addition to the master bedroom on the south side. The additions are conforming, but the garage setback is non-conforming, and the home has had a previous addition of greater than 25%. The property is zoned R-1/S.2 and is not located in the Coastal Appeals Jurisdiction.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.

# EXHIBIT A

This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

## **PLANNING CONDITIONS**

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.

# EXHIBIT A

5. Architecture: Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Director.
6. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. A licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Director. A copy of the surveyor's Form Certification based on a boundary survey shall be submitted with the request for foundation inspection.
7. Landscaping: Landscape plans are required to be included with the building permit submittal and shall include landscaping over all bare earth areas using drought tolerant, native plants and trees that will reach a 90% coverage within 5 years.

## **BUILDING DIVISION CONDITIONS**

### **A. CONDITIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:**

- 1.) Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
- 2.) The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
- 3.) The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
- 4.) The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.

# EXHIBIT A

5.) A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.

6.) Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.

7.) **BUILDING PERMIT APPLICATION:** To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.

8.) The Title sheet of the plans shall include, but not limited to:

- Street address, lot, block, track and Assessor Parcel Number
- Occupancy Classification(s)
- Construction Type
- Maximum height of the building allowed and proposed
- Floor area of the building(s)
- Fire sprinklers proposed or existing
- Minimum building setback allowed and proposed

All construction will conform to the 2019 California Building Code (CBC), 2019 California Residential Code (CRC), 2019 California Fire Code (IFC), 2019 California Mechanical Code (CMC), 2019 California Plumbing Code (CPC), 2019 California Electrical Code (CEC), 2019 California Energy Code, 2019 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

## **B. CONDITIONS TO BE MET DURING CONSTRUCTION:**

1.) **SITE MAINTENANCE:** During construction, the site shall be maintained to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained through the duration of the project. The storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.

2.) **ARCHAEOLOGICAL MATERIALS:** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If

# EXHIBIT A

discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.

3.) FOUNDATION SETBACK VERIFICATION: Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some lot types.

4.) BUILDING HEIGHT VERIFICATION: Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some site-specific projects.

5.) EXISTING BUILDINGS: Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the maximum sill height requirements of section R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2019 California Residential Code.

## **C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:**

1.) Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.

2.) Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.

3.) If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.

# EXHIBIT A

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- 4.) If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
- 5.) Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
- 6.) Final T-24 energy reports (Certificates of Installation).

## **PUBLIC WORKS CONDITIONS:**

1. **Stormwater Management:** The City has adopted Low Impact Development (LID) and Post Construction requirements. All proposed projects must complete the "Performance Requirement Determination Form" to determine if any requirements should be submitted. The requirements can be found in the Stormwater management guidance manual on the City's website [www.morro-bay.ca.us/EZmanual](http://www.morro-bay.ca.us/EZmanual) (MBMC 14.48.140)
2. **Erosion and Sediment Control Plan:** For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. Show on plans the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
3. **Special Encroachment Permit Agreement:** Plans identify two retaining walls and a portion of the staircase past the property line and within the City's right-of-way. Per City Municipal Code, Encroachments on the public right-of-way are not allowed without City approval and requires a Special Encroachment Permit Agreement be obtained. For approval complete Step 1 of the attached instructions. (MBMC 8.14.020)

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permit application and requirements are available on the City's website at the following location: <https://www.morro-bay.ca.us/197/Public-Works>.

## **FIRE DEPARTMENT CONDITIONS**

1. Fire Safety during Construction and Demolition shall be in accordance with 2019 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration, and demolition operations to provide reasonable Safety to life and property from fire during such operations.

# EXHIBIT A

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2. Automatic fire sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903) and Morro Bay Municipal Code (Section 14.08.090).

*Automatic Fire sprinklers are required throughout existing structures where alterations encompass more than 50% of the existing square footage of the structure AND/OR is in excess of 300 square feet addition OR where there is a change of occupancy to a more hazardous use as determined by the Fire Chief.*

3. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace, or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA720 and the manufacturer's instructions (CRC R315.2)

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 15th day of March 2022 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Chairperson Stewart

ATTEST

\_\_\_\_\_  
Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted on this 15<sup>th</sup> day of March 2022.

# BAKER ADDITION

## PROJECT TEAM

### TRUSS

TRUSPRO  
LYNDON SOBEL  
695 OBISPO STREET  
GUADALUPE, CA 93434  
(805) 343-2555  
LYNDON@TRUSPRO.COM

### ENERGY / HVAC

DUCT DYNASTY  
JIM REED  
CC2006321  
WALTER JACKSON  
610 10TH STREET, SUITE C  
PASO ROBLES, CA 93446  
(805) 423-0436  
WALTER.JACKSON82@GMAIL.COM

### GEOTECHNICAL

GEOSOLUTIONS, INC.  
KRAIG CROZIER  
R.C.E. 61361  
220 HIGH STREET  
SAN LUIS OBISPO, CA 93401  
(805) 543-8539  
PROJECT SL12431-1  
NOVEMBER 8, 2021

### CIVIL

ABOVE GRADE ENGINEERING  
SCOTT STOKES, P.E.  
R.C.E. 55256  
245 FIGUERA STREET  
SAN LUIS OBISPO, CA 93401  
(805) 548-1172  
SCOTT@ABOVEGRADEENGINEERING.COM

### STRUCTURAL

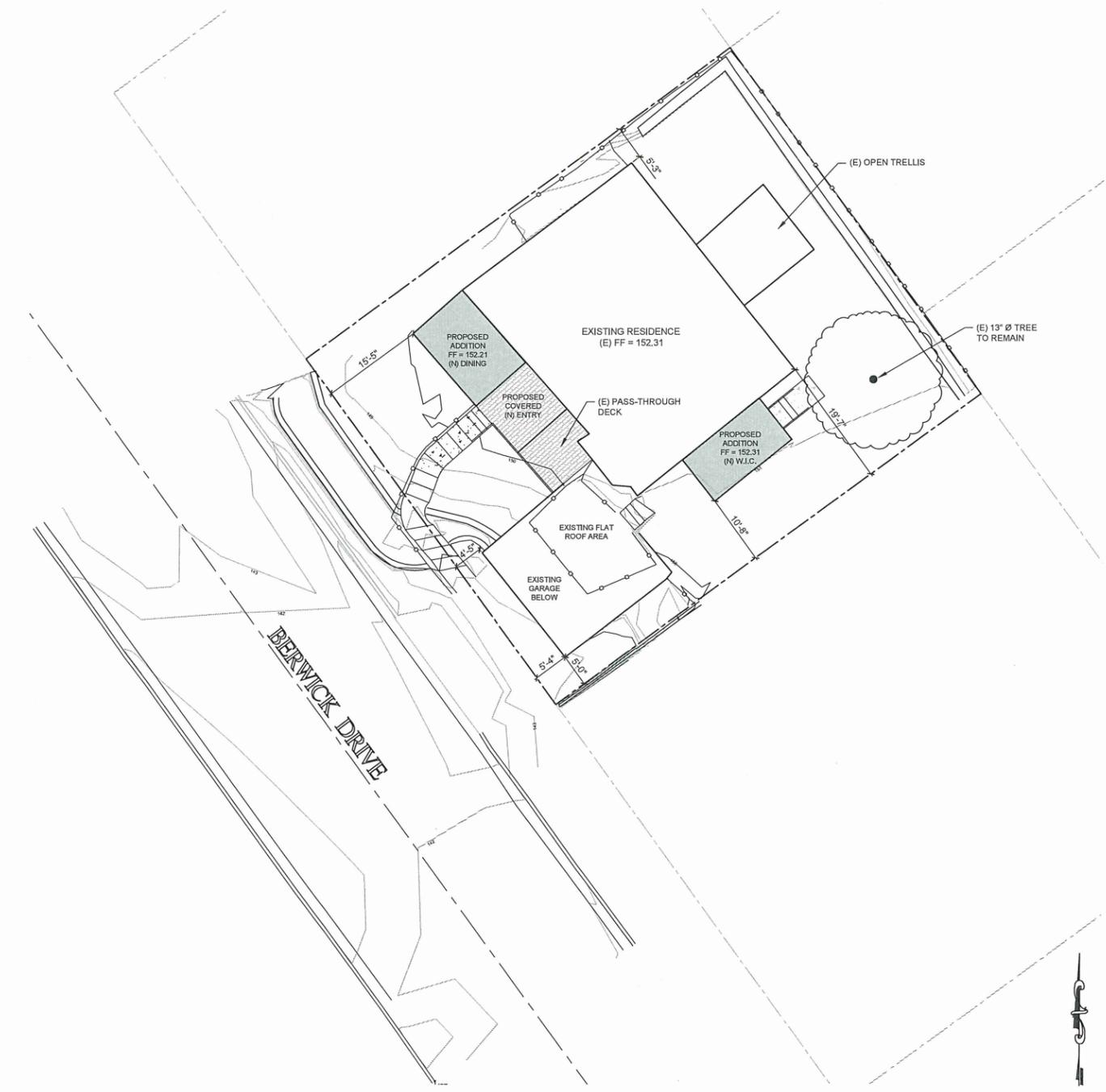
KUDLA ENGINEERING  
DARRELL KUDLA, P.E.  
R.C.E. 94211  
810 10TH STREET, SUITE A  
PASO ROBLES, CA 93446  
(805) 423-4844  
DKUDLA922@GMAIL.COM

### DESIGNER

PJ DESIGNS  
PRESTON JONES  
800 WARD CT.  
TEMPLETON, CA 93465  
(805) 550-7436  
PRESTON@PJ-DESIGNS.COM

### OWNER

KATHY BAKER  
1288 BERWICK DRIVE  
MORRO BAY, CA 93442  
(805) 304-3902  
KBAKER3209@GMAIL.COM



SITE PLAN

1" = 10'-0"

## SHEET INDEX

CS	COVER SHEET/SITE PLAN
COA	CONDITIONS OF APPROVAL
C-1.1	PRELIMINARY GRADING PLAN
A-0	EXISTING FLOOR PLAN
A-1.1	PROPOSED FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS

## SHEET SET

NUMBER OF ORIGINALS IN SET 7

## LOT CALCS

*INCLUDES TOTAL SITE	
1491 SQ.FT.	(E+N) LIVING FOOTPRINT
94 SQ.FT.	(N) COVERED ENTRY
411 SQ.FT.	(E) GARAGE FOOTPRINT
1996 SQ. FT.	FOOTPRINT
5191 SQ. FT.	LOT SIZE (DETERMINED BY SURVEY)
38.5%	LOT COVERAGE

## FIRE REQUIREMENTS

- FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION SHALL BE IN ACCORDANCE WITH 2019 CALIFORNIA FIRE CODE, CHAPTER 33. THIS CHAPTER PRESCRIBES MINIMUM SAFEGUARDS FOR CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS TO PROVIDE REASONABLE SAFETY TO LIFE AND PROPERTY FROM FIRE DURING SUCH OPERATIONS.
- AN EMERGENCY ESCAPE WINDOW (OR DOOR WHICH OPENS DIRECTLY TO THE OUTSIDE OF THE HOUSE) IS REQUIRED IN EVERY BEDROOM, OR HABITABLE BASEMENT. IN THE EVENT OF A FIRE, THIS WINDOW (OR DOOR) WILL ALLOW PEOPLE TO ESCAPE, AND/OR ALLOW FIREFIGHTERS TO GET INTO THE HOUSE TO RESCUE PEOPLE.
- AUTOMATIC FIRE SPRINKLERS. AN AUTOMATIC FIRE SPRINKLER SYSTEM, IN ACCORDANCE WITH NFPA 13-D, CALIFORNIA FIRE CODE (SECTION 903) AND MORRO BAY MUNICIPAL CODE (SECTION 14.08.090).
- CARBON MONOXIDE ALARMS IN NEW DWELLINGS AND SLEEPING UNITS. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLINGS HAVING A FOSSIL FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE OR AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND THE MANUFACTURER'S INSTRUCTIONS. (CRC R315.2)
- ADDRESS IDENTIFICATION. ALL NEW AND EXISTING SINGLE FAMILY RESIDENCE AND ADU'S SHALL HAVE THEIR OWN APPROVED ADDRESS NUMBERS OR BUILDING NUMBERS PLACED IN A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (CFC 505). PROVIDE APPROVED ADDRESS NUMBERS 4 INCHES HIGH WITH 1/8 INCH STROKE IN CONTRASTING NUMBERS.
- ACCESS AND EGRESS. ADU'S MUST HAVE EXTERIOR ACCESS THAT IS INDEPENDENT FROM THE PRIMARY RESIDENCE.

## GENERAL NOTE

- THE OWNER IS ADVISED THAT THESE DRAWINGS AND ASSOCIATED CONSTRUCTION DOCUMENTS ARE THE ONLY MEDIUM AVAILABLE TO EXPRESS THE INTENT OF PJ DESIGNS AND CANNOT BE ASSUMED ALL-INCLUSIVE WITH REGARD TO SUCH.

## DESIGNER NOTE

PLANS PREPARED BY:

PJ DESIGNS  
800 WARD CT.  
TEMPLETON, CA 93465  
PH (805) 550-7436  
PRESTON@PJ-DESIGNS.COM

PJ DESIGNS TAKES NO LIABILITY FOR INFORMATION PROVIDED BY THE OWNER IN THE PREPARATION OF THESE CONSTRUCTION DRAWINGS. THE OWNER HAS APPROVED THIS SET OF PLANS AND AGREED THAT THIS STRUCTURE IS BUILDABLE ON SAID LOT.

THE DRAFTSMAN DOES NOT REPRESENT THAT THESE PLANS OR THE SPECIFICATIONS IN CONNECTION THEREWITH ARE SUITABLE, WHETHER OR NOT MODIFIED FOR ANY OTHER SITE THAN THE ONE FOR WHICH THEY WERE SPECIFICALLY PREPARED. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED IN LETTER OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THIS DRAWING IS NOT FINAL OR TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ENGINEER.

ALL DRAWING AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE DRAFTSMAN AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DRAFTSMAN.

## JOB DESCRIPTION

- CONSTRUCT DINING ROOM ADDITION, WALK-IN CLOSET ADDITION, AND COVERED ENTRY ADDITION

## AREA CALCS

1224 SQ.FT.	(E) LIVING
252 SQ.FT.	(E) OPEN TRELLIS
29 SQ.FT.	(E) COVERED ENTRY
239 SQ.FT.	(E) FLAT ROOF AREA
411 SQ. FT.	(E) GARAGE
261 SQ. FT.	(E) PASS-THROUGH DECK
147 SQ.FT.	(N) DINING
120 SQ. FT.	(N) W.I.C.
267 SQ. FT.	(N) TOTAL LIVING ADDITION
94 SQ.FT.	(N) COVERED ENTRY

1491 SQ.FT. TOTAL LIVING

## BLDG CODE DATA

OCCUPANCY: R-3/U  
TYPE OF CONSTRUCTION: VB  
ALLOWABLE AREA: UNLIMITED  
HEIGHT: 418'-9" (EXISTING)  
AUTOMATIC FIRE SPRINKLER: TBD  
STORIES: 1-STORY

## PROJECT DATA

MAP NO. MB 75-256, RECORDED IN BOOK 18, PAGE 46 OF PARCEL MAPS. IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA

APN: 068-156-024

## VICINITY MAP



## DOCUMENTS

THESE RECORD DOCUMENTS HAVE BEEN PREPARED BASED UPON INFORMATION SUBMITTED, IN PART, BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PJ DESIGNS IS NOT RESPONSIBLE FOR THEIR ACCURACY, NOR FOR ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DOCUMENTS AS A RESULT

## SEPARATE PERMITS

THIS PROJECT CONTAINS SEPARATE PERMITS THAT ARE NOT INCLUDED IN THIS SET OF PLANS

- SOLAR PERMIT
- FIRE SPRINKLER PERMIT

## DEFERRED SUBMITTAL

SUPPORTING DOCUMENTS WILL BE PROVIDED UPON SECOND SUBMITTAL DUE TO CURRENTLY LENGTHY INDUSTRY LEAD TIMES

- TRUSS CALCULATIONS
- FOUNDATION REVIEW LETTER

## CODE ANALYSIS

ALL CONSTRUCTION SHALL CONFORM TO THE:  
2019 California Energy Code  
2019 California Residential Code  
2019 California Electrical Code  
2019 California Fire Code  
2019 California Green Building Code  
2019 California Mechanical Code  
2019 California Plumbing Code  
2019 California Building Code  
2019 California Reference Standards Code  
AS WELL AS ALL MORRO BAY CITY BUILDING ORDINANCES AND GREEN BUILDING STANDARDS



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Project

## BAKER ADDITION

1288 BERWICK DRIVE  
MORRO BAY, CA 93442

Jurisdiction  
CITY OF MORRO BAY, CA

APN  
068-156-024

Job No. 22009

Sheet Title

COVER SHEET

CUP21-18

Plan Set	
Preliminary	11.1.21
CUP Submittal	11.12.21
CUP Submittal 2	1.27.22

Sheet Number

CS



EXHIBIT B

EXISTING LOT COVERAGE

1224 SQ. FT. (E) LIVING FOOTPRINT  
 29 SQ. FT. (E) COVERED ENTRY  
 411 SQ. FT. (E) GARAGE FOOTPRINT  
 1664 SQ. FT. (E) FOOTPRINT  
 5191 SQ. FT. (E) LOT SIZE (DETERMINED BY SURVEY)  
 32% (E) LOT COVERAGE

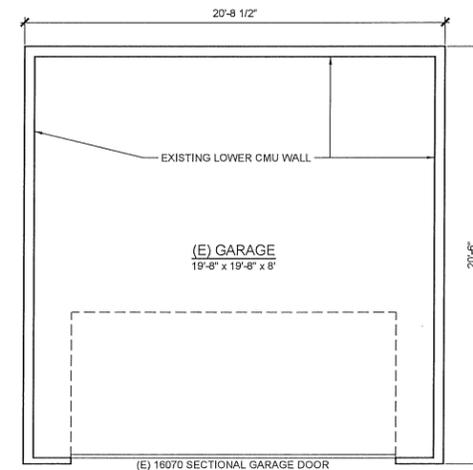
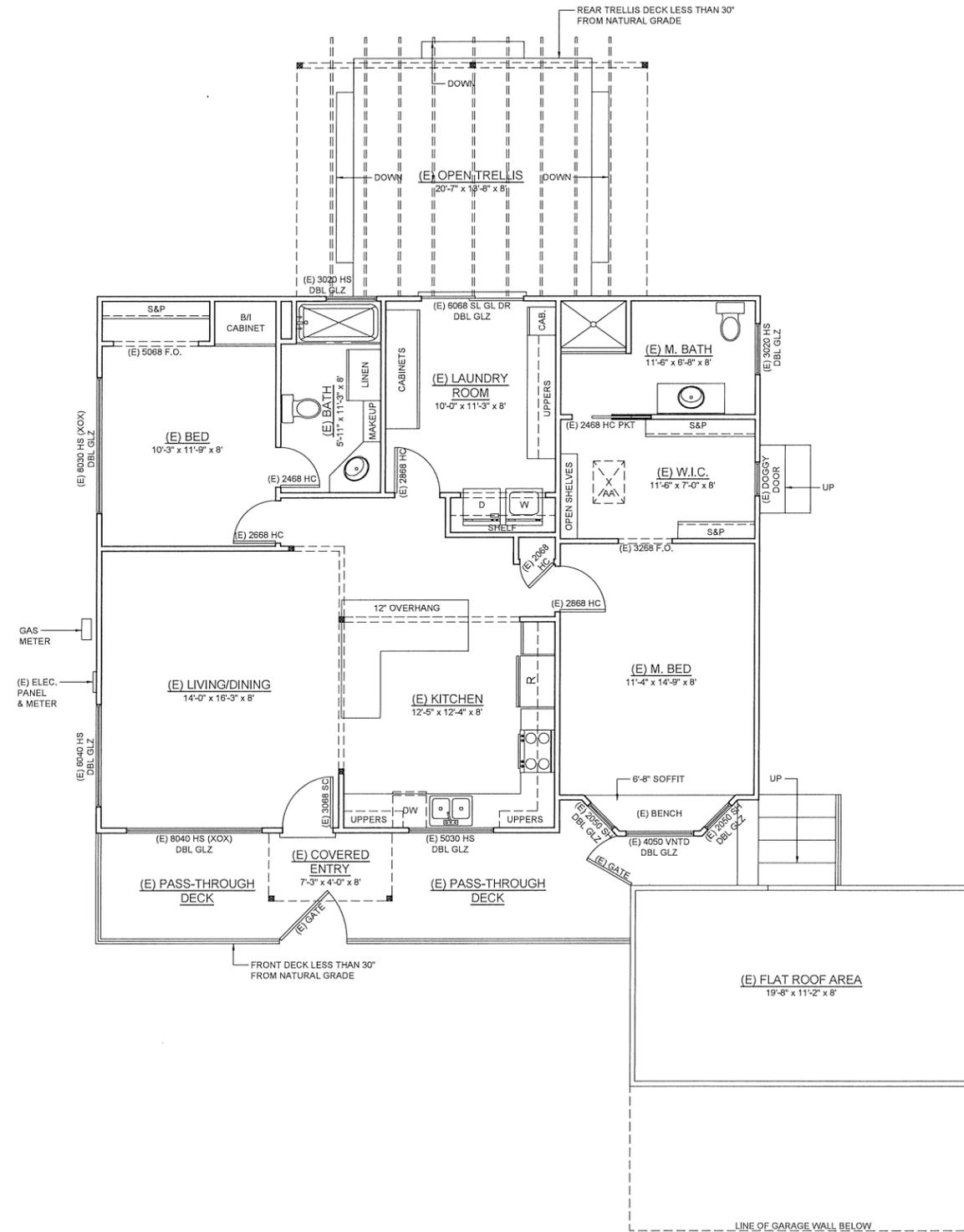
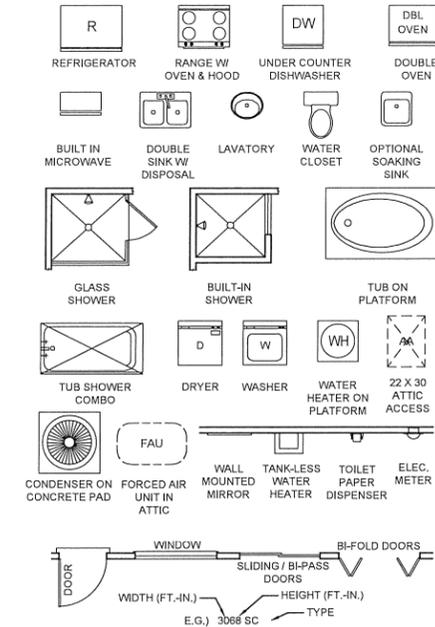
WALL LEGEND

(E) 2x4 STUDS @ 16" O.C.  
 (E) 42" HIGH GUARDRAIL

EXISTING AREA CALCS

1224 SQ. FT. (E) LIVING  
 252 SQ. FT. (E) OPEN TRELLIS  
 29 SQ. FT. (E) COVERED ENTRY  
 239 SQ. FT. (E) FLAT ROOF AREA  
 411 SQ. FT. (E) GARAGE  
 261 SQ. FT. (E) PASS-THROUGH DECK

LEGEND



EXISTING RESIDENCE FLOOR PLAN

NOTE:  
 EXISTING CONDITIONS ARE SUBJECT TO FIELD INSPECTION

1/4" = 1'-0"

EXISTING GARAGE FLOOR PLAN

NOTE:  
 EXISTING CONDITIONS ARE SUBJECT TO FIELD INSPECTION

1/4" = 1'-0"



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Project

BAKER ADDITION

1288 BERWICK DRIVE  
 MORRO BAY, CA 93442

Jurisdiction  
 CITY OF MORRO BAY, CA

APN  
 068-156-024

Job No.  
 22009

Sheet Title

EXISTING FLOOR PLAN

CUP21-18

Plan Set

Preliminary	11.1.21
CUP Submittal	11.12.21
CUP Submittal 2	1.27.22

Sheet Number

A-0

EXHIBIT B

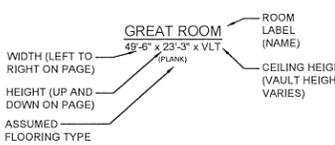
NOTES

- SCHEDULE NOTES - GENERAL:**
- WINDOW AND DOORS ARE APPROXIMATE ONLY. VERIFY ALL SIZES AND TYPES PRIOR TO ORDERING.
  - TEMPERED GLASS SHALL BE PROVIDED WHERE NEW GLASS IS REQUIRED AT ALL HAZARDOUS LOCATIONS INCLUDING INGRESS AND EGRESS DOORS, PANELS IN SLIDING OR SWINGING DOORS, DOORS AND ENCLOSURE FOR BATH TUB & SHOWER AND IF WITHIN 2 FEET OF VERTICAL EDGE OF CLOSED DOORS AND WITHIN 5 FEET OF STANDING SURFACE.
  - DOORS AND WINDOWS:**
    - DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB, OR JOINED BY A RABBETED JOINT TO THE JAMB.
    - ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED, SHALL HAVE NON-REMOVABLE HINGE PINS.
    - THE STRIKE PLATE FOR LATCHES AND THE HOLDING DEVICE FOR PROTECTING DEADBOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NOT LESS THAN 2 1/2" IN LENGTH.
    - DEADBOLTS SHALL CONTAIN HARDENED INSERTS.
    - STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 3/4".
    - A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4".
    - INTERIOR AND EXTERIOR DOORS TO BE 1 1/2" THICK MIN. WITH SOLID CORE CONSTRUCTION, UNLESS NOTED OTHERWISE.
    - GLASS DOORS SHALL HAVE FULLY TEMPERED GLASS.
  - INSULATED GLASS:**
    - ALL DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL BE DUAL-GLAZED WITH INSULATED GLASS ASSEMBLIES. SAFETY GLAZING WILL BE USED FOR ASSEMBLIES WHERE REQUIRED. ALL NEW GLAZING SHALL BE LOW-E, U-FACTOR 0.75 OR LOWER, AND SHGC .40 OR LOWER, DUAL GLAZED ASSEMBLY.
  - SAFETY GLAZING:**
    - WINDOW AND DOOR LIGHTS WITHIN 40" OF THE LOCKING DEVICE SHALL BE FULLY TEMPERED OR LAMINATED GLASS.
    - ALL GLAZING IN HAZARDOUS LOCATIONS PER C.B.C. SECTION 2406.4 MUST BE TEMPERED AND PERMANENTLY LABELED IN ACCORDANCE WITH APPLICABLE STANDARDS.
    - SAFETY GLAZING TO BE PROVIDED IN ALL DOORS AND ADJACENT PANELS, IN BATH AND SHOWER DOORS AND ENCLOSURES, WITHIN 12" OF A DOOR IN THE CLOSED POSITION, AND IN ALL PANELS IN EXCESS OF 6 S.F. AND WHOSE LOWEST EDGE IS LESS THAN 18" TO THE FINISH FLOOR OR WITHIN 36" OF A WALKING SURFACE.
    - ALL SLIDING GLASS DOOR ASSEMBLIES, SHOWER DOORS AND ENCLOSURES, AND ALL OTHER SAFETY GLAZING SHALL BE A MINIMUM OF 3/8" THICK.
  - EMERGENCY ESCAPES:**
    - EMERGENCY EGRESS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE. THESE EMERGENCY ESCAPE WINDOWS OR DOORS MUST PROVIDE A FULL CLEAR OPENING AND SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SPECIAL TOOLS. ALL EMERGENCY ESCAPE WINDOWS SHALL HAVE A MINIMUM NET OPENING OF 5.7 SQ. FT. WITH A MINIMUM NET CLEAR HEIGHT OF 24 INCHES AND WIDTH OF 20 INCHES. THE SILL HEIGHT OF EMERGENCY ESCAPE WINDOWS SHALL NOT BE MORE THAN 3'-8" (44 INCHES) ABOVE THE INTERIOR FLOOR.
- FLOORPLAN NOTES**
- ALL EXTERIOR HEADERS ABOVE OPENINGS SHALL BE 6 x 12 #1 DF UNLESS OTHERWISE NOTED. INTERIOR HEADER SHALL BE 4 x 8 #2 DF UNLESS NOTED.
  - ALL INTERIOR PLUMBING WALLS RECOMMENDED TO BE 2 x 6 STUDS @ 16" O.C.
  - PROVIDE FIRE STOPS IN CONCEALED SPACES OF STUD WALLS INCLUDING SPACES AT CEILINGS AND FLOORS AND IN OPENINGS AROUND DUCTS, PIPES, CHIMNEYS AND SIMILAR OPENINGS WHICH ALLOW PASSAGE OF FIRE.
  - SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT, HARD SURFACE TO A HEIGHT OF 72" ABOVE DRAIN INLET.
  - FIBER-CEMENT, FIBER-MAT REINFORCED CONCRETE, GLASS MAT GYPSUM BACKERS, OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR CERAMIC WALL TILES IN TUB AND SHOWER AREAS AS WELL AS PANELS IN SHOWER AREAS.
  - ALL FIREPLACES SHALL HAVE APPROVED COLLAPSIBLE METAL OR GLASS DOORS AND OUTSIDE COMBUSTION AIR. OUTSIDE COMBUSTION AIR IS NOT REQUIRED ON INTERIOR FIREPLACES INSTALLED OVER CONCRETE SLAB ON GRADE. MANUFACTURER'S INSTALLATION GUIDE TO BE ON-SITE FOR INSPECTION.
  - FLUE DAMPER TO BE PERMANENTLY BLOCKED OPEN IF A GAS LOG LIGHTER IS PROPOSED. CMC
  - FLOOR LEVEL CHANGE AT DOORS NOT TO EXCEED 1/2".
  - METAL CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR AND ROOF WITH TWO 1 1/2" x 18" METAL STRAPS LOOPED AROUND THE OUTSIDE OF THE CHIMNEY INSTALLATION AND NAILED WITH NOT LESS THAN (6) 8d NAILS PER STRAP AT EACH JOIST. CBC
  - ALL CHIMNEYS ATTACHED TO ANY APPLIANCE OR FIREPLACE THAT BURNS SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR. THE NET FREE AREA OF THE ARRESTOR SHALL NOT BE LESS THAN 4 TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY FLUE IT SERVES. THE ARRESTOR SCREEN SHALL HAVE HEAT AND CORROSION RESISTANCE EQUIVALENT TO 12 GA WIRE, 19 GA GALVANIZED STEEL OR 24 GA STAINLESS STEEL. OPENINGS SHALL NOT PERMIT THE PASSAGE OF SPHERES HAVING A DIA. GREATER THAN 1/2" NOR BLOCK THE PASSAGE OF SPHERES HAVING A DIAMETER LESS THAN 1/2".
  - PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING SHALL NOT BE LESS THAN 5.7 SQ. FT. MIN. NET OPENING HEIGHT DIMENSION, 24" CLEAR. MIN. NET OPENING WIDTH DIMENSION, 20" CLEAR FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR.
  - PENETRATION OF FIRE-RETARDANT WALLS, FLOOR-CEILINGS AND ROOF SHALL BE FIELD VERIFIED DURING CONSTRUCTION. ASSEMBLIES SHALL BE PROTECTED PER CBC SECTION 713.3 & 713.4
  - ADDRESSES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 5 INCHES IN HEIGHT, 1/2" MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. (FIELD VERIFY)
  - A MINIMUM VENT AREA OF NOT LESS THAN 1/150 SHALL BE PROVIDED IN ATTIC OR ENCLOSED RAFTER SPACE. THIS MAY BE REDUCED TO 1/100 OF THE ATTIC AREA PROVIDED THAT A CLASS 1 OR 11 VAPOR RETARDER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION OR AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENT AREA LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

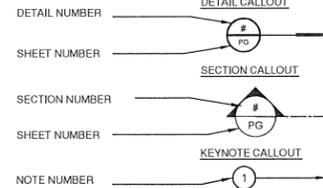
KEYNOTES

- (N) CUSTOM BUILT-IN SHELVES PER OWNER
- (N) VINYL WINDOWS (MATCH EXISTING BRAND/STYLE/COLOR)

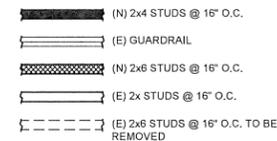
ROOM LEGEND



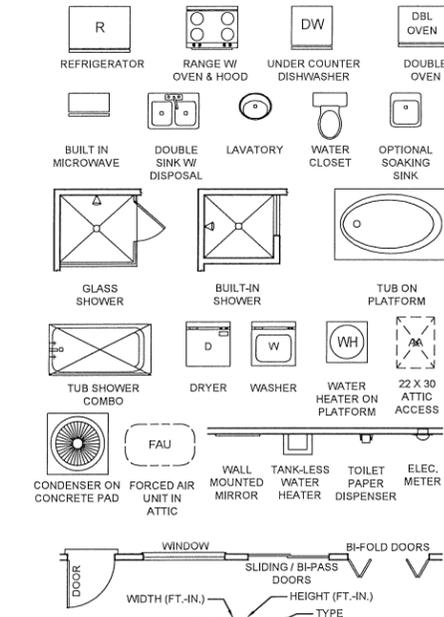
SYMBOL LEGEND



WALL LEGEND



LEGEND



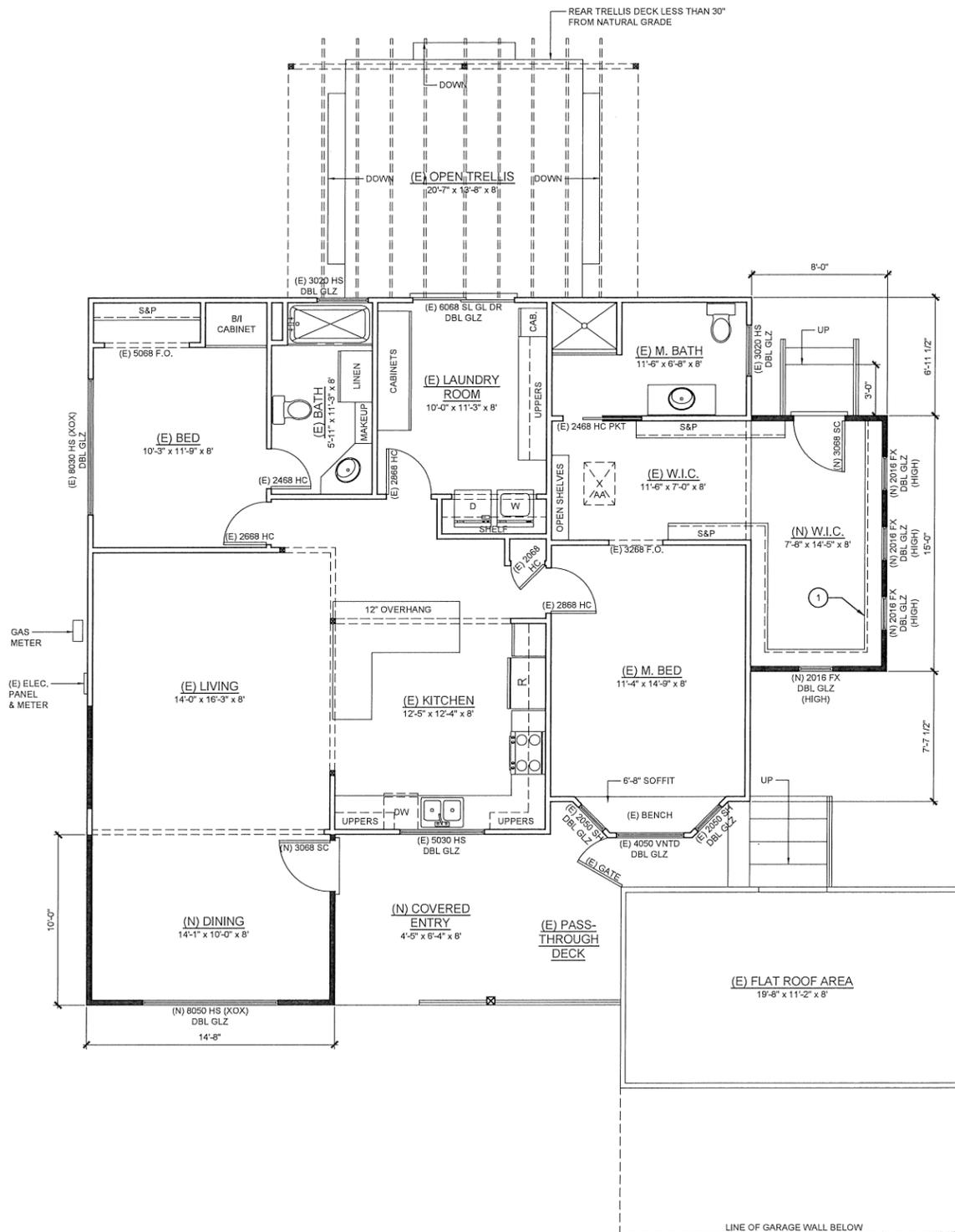
AREA CALCS

1224 SQ. FT.	(E) LIVING
252 SQ. FT.	(E) OPEN TRELIS
29 SQ. FT.	(E) COVERED ENTRY
239 SQ. FT.	(E) FLAT ROOF AREA
411 SQ. FT.	(E) GARAGE
291 SQ. FT.	(E) PASS-THROUGH DECK
147 SQ. FT.	(N) DINING
120 SQ. FT.	(N) W.I.C.
287 SQ. FT.	(N) TOTAL LIVING ADDITION
94 SQ. FT.	(N) COVERED ENTRY

1491 SQ. FT. TOTAL LIVING

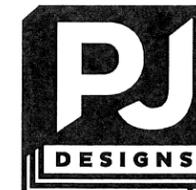
LOT COVERAGE

1491 SQ. FT.	(E+N) LIVING FOOTPRINT
94 SQ. FT.	(N) COVERED ENTRY
411 SQ. FT.	(E) GARAGE FOOTPRINT
1996 SQ. FT.	FOOTPRINT
5191 SQ. FT.	LOT SIZE (DETERMINED BY SURVEY)
38.5%	LOT COVERAGE



PROPOSED RESIDENCE FLOOR PLAN

1/4" = 1'-0"



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Project

BAKER ADDITION

1288 BERWICK DRIVE  
MORRO BAY, CA 93442

Jurisdiction

CITY OF MORRO BAY, CA

APN

068-156-024

Job No.

22009

Sheet Title

PROPOSED FLOOR PLAN

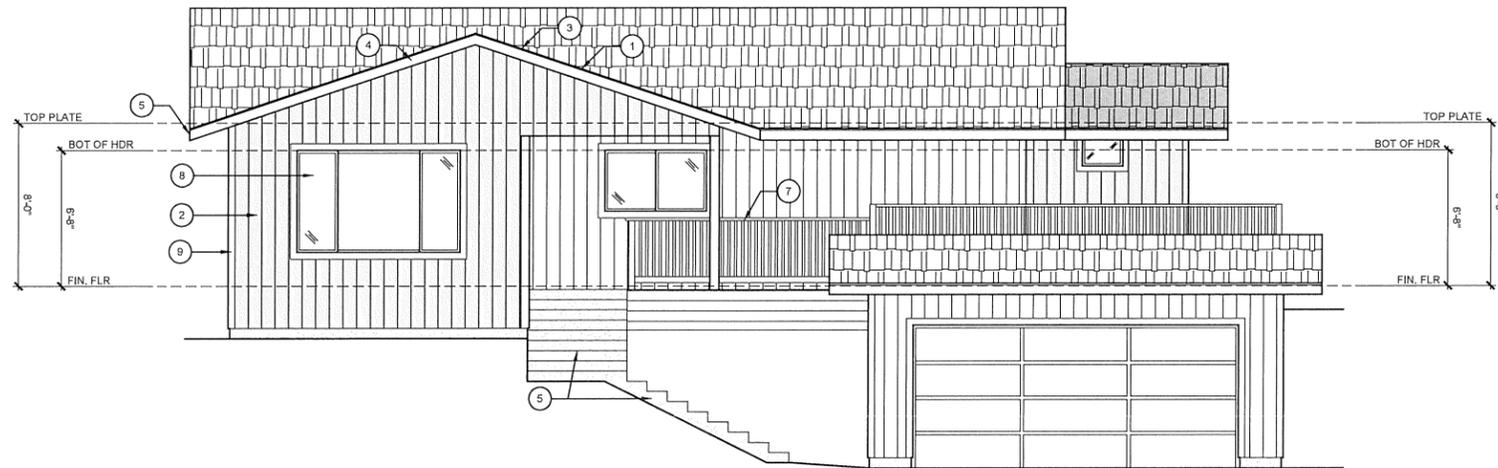
CUP21-18

Plan Set

Preliminary	11.1.21
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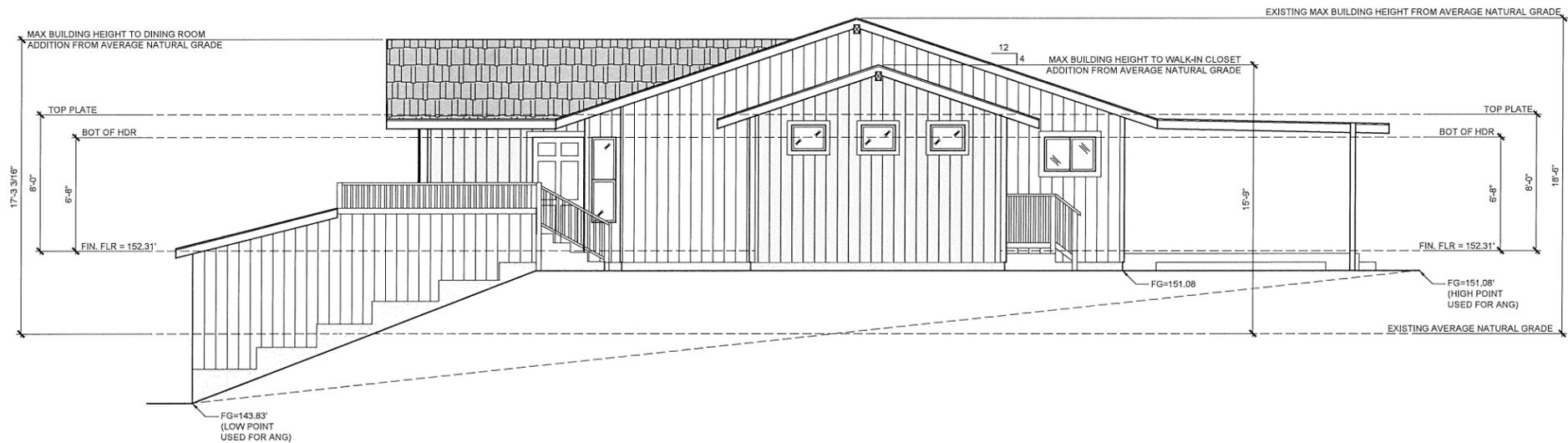
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A-1.1



FRONT ELEVATION (SOUTH-WEST FACING BERWICK DRIVE)

1/4" = 1'-0"



RIGHT ELEVATION (SOUTH EAST FACING)

1/4" = 1'-0"

ELEVATION NOTES

1. 2 LAYERS OF GRADE "D" PAPER SHALL BE APPLIED UNDER CEMENT FIBER SIDING COVERING WHEN APPLIED OVER WOOD SHEATHING PER CBC
2. ALL ROOFING MATERIAL SHALL BE CLASS "A", AND SHALL BE ICBO APPROVED.
3. ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN 28 GALV. SHEET CORROSION-RESISTANT METAL AND SHALL EXTEND AT LEAST 8" FROM THE CENTER LINE EACH WAY. SECTIONS OF FLASHING SHALL EXTEND AT LEAST 6" FROM THE CENTERLINE EACH WAY. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4". ALTERNATIVELY, THE VALLEY SHALL CONSIST OF WOVEN ASPHALT SHINGLES APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS. ATTIC INSULATION SHALL BE CONFINED SO AS NOT TO BLOCK EAVE OR CORNICE (ONE INCH MIN. CLEARANCE REQUIRED)
4. ATTIC VENTS ARE TO BE PROTECTED BY 1/4 CORROSION RESISTANT METAL MESH
5. THE CHIMNEY SHALL BE EQUIPPED WITH A SPARK ARRESTOR. THE NET FREE AREA OF THE SPARK ARRESTOR SHALL NOT BE LESS THAN 4 TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY. SPARK ARRESTOR SCREEN SHALL BE CORROSION RESISTANT AND SHALL HAVE OPENINGS LESS THAN 1/2" AND GREATER THAN 3/8" IN SIZE.
6. AIR EXHAUST AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH 1/2" MINIMUM- AND 1/2" MAXIMUM SIZED OPENINGS IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS.
7. ALL ROOF STRUCTURES SUCH AS ATTIC VENTS, PLUMBING, VENTS, GUTTERS, ETC., SHOULD BE PAINTED TO MATCH THE ROOF COLORS AND BE POSITIONED BEHIND THE ROOF CROWN.
8. ALL ROOF PENETRATIONS FOR VENTS SHOULD BE ON THE REAR SIDE OF THE ROOF RIDGE AND AS LOW AS POSSIBLE
9. EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN DOORS SHALL BE DUAL-GLAZED UNITS. GLAZING FRAMES OF VINYL SHALL HAVE WELDED CORNERS AND METAL REINFORCEMENT IN THE INTERLOCK AREA.

KEYNOTES

1. (N) COMPOSITION CLASS A ROOF OVER BUILDING FELT (MATCH EXISTING)
2. (N) WOOD SIDING OVER APPROVED BUILDING PAPER (MATCH EXISTING NEUTRAL COLOR AND REPAIR WHERE NECESSARY)
3. (N) ATTIC VENTS ON ADDITION AREA
4. (N) 2 X 6 HEM FIR FASCIA (MATCH EXISTING)
5. (N) PROVIDE ALUMINUM SEAMLESS GUTTERS WITH DOWNSPOUTS, PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
6. (N) CONCRETE STEPS
7. (N) 42" GUARDRAIL
8. (N) VINYL WINDOWS (MATCH BRAND/COLOR/STYLE)
9. (N) 4" TRIM (MATCH EXITING COLOR/WDTH/STYLE)



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MORRO BAY, CA 93442

Jurisdiction

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Job No.

22009

Sheet Title

ELEVATIONS

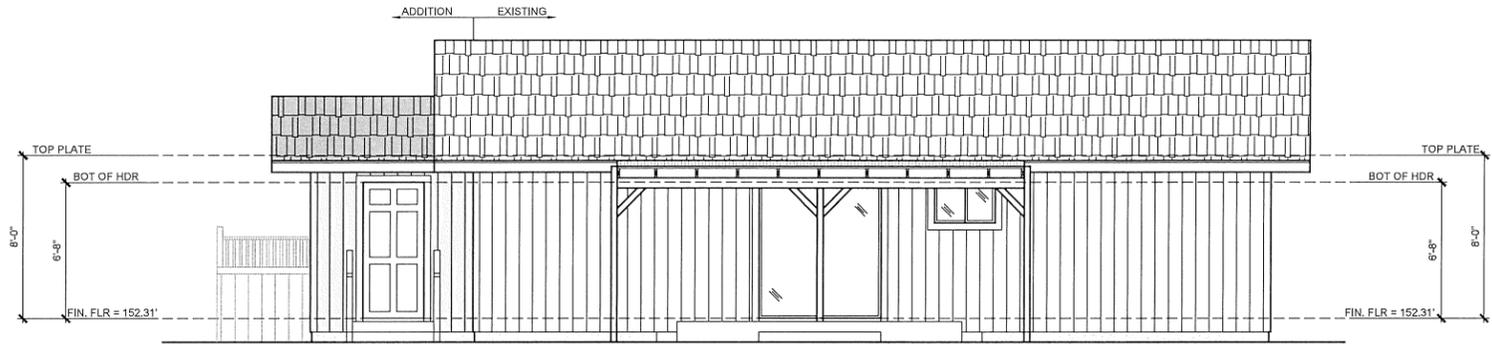
CUP21-18

Plan Set

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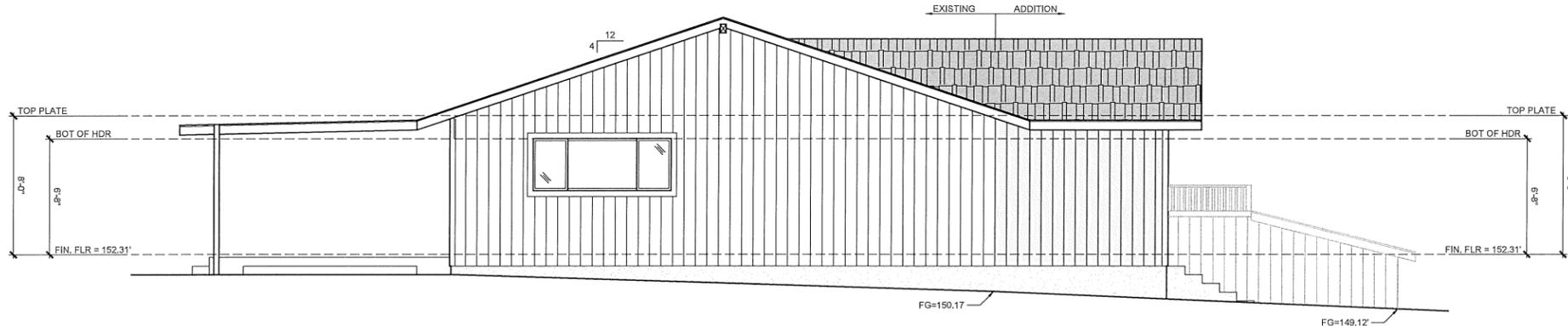
Sheet Number

A-2.1



REAR ELEVATION (NORTH-EAST FACING)

1/4" = 1'-0"



LEFT ELEVATION (NORTH-WEST FACING)

1/4" = 1'-0"

ELEVATION NOTES

- 2 LAYERS OF GRADE 'D' PAPER SHALL BE APPLIED UNDER CEMENT FIBER SIDING COVERING WHEN APPLIED OVER WOOD SHEATHING PER CBC
- ALL ROOFING MATERIAL SHALL BE CLASS 'A', AND SHALL BE ICBO APPROVED.
- ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN 28 GALV. SHEET CORROSION-RESISTANT METAL AND SHALL EXTEND AT LEAST 8" FROM THE CENTER LINE EACH WAY. SECTIONS OF FLASHING SHALL EXTEND AT LEAST 8" FROM THE CENTERLINE EACH WAY. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4". ALTERNATIVELY, THE VALLEY SHALL CONSIST OF WOVEN ASPHALT SHINGLES APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS. ATTIC INSULATION SHALL BE CONFINED SO AS NOT TO BLOCK EAVE OR CORNICE (ONE INCH MIN. CLEARANCE REQUIRED)
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KEYNOTES

- (N) COMPOSITION CLASS A ROOF OVER BUILDING FELT (MATCH EXISTING)
- (N) WOOD SIDING OVER APPROVED BUILDING PAPER (MATCH EXISTING NEUTRAL COLOR AND REPAIR WHERE NECESSARY)
- (N) ATTIC VENTS ON ADDITION AREA
- (N) 2 X 6 HEM FIR FASCIA (MATCH EXISTING)
- (N) PROVIDE ALUMINUM SEAMLESS GUTTERS WITH DOWNSPOUTS, PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
- (N) CONCRETE STEPS
- (N) 4" GUARDRAIL
- (N) VINYL WINDOWS (MATCH BRAND/COLOR/STYLE)
- (N) 4" TRIM (MATCH EXITING COLOR/WIDTH/STYLE)



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Sheet Number

A-2.2

# EXHIBIT C

## Architectural Evaluation of 1288 Berwick Drive (APN 068-156-024), Morro Bay, San Luis Obispo County, California

JANUARY 2022

PREPARED FOR

**Kathleen Baker**

PREPARED BY

**SWCA Environmental Consultants**

# EXHIBIT C

# EXHIBIT C

## **ARCHITECTURAL EVALUATION OF 1288 BERWICK DRIVE (APN 068-156-024), MORRO BAY, SAN LUIS OBISPO COUNTY, CALIFORNIA**

Prepared for

**Kathleen Baker**  
1288 Berwick Drive  
Morro Bay, CA 93442

Prepared by

Paula Juelke Carr, M.A.

**SWCA Environmental Consultants**  
1422 Monterey Street, Suite C200  
San Luis Obispo, CA 93401  
(805) 543-7095  
[www.swca.com](http://www.swca.com)

SWCA Project No. 70561

January 2022

# EXHIBIT C

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1288 Berwick Drive Architectural Evaluation

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## INTRODUCTION

SWCA Environmental Consultants (SWCA) has prepared this architectural evaluation to assist the property owner and the City of Morro Bay in meeting regulatory responsibilities in connection with the proposed redevelopment of 1288 Berwick Drive (APN 068-156-024) (project) in the City of Morro Bay, San Luis Obispo County, California. Historic-period built environment resources (defined as resources 50 years of age or older) are present on the parcel and require architectural evaluation for potential significance and to determine whether they meet the criteria for listing in the California Register of Historical Resources (CRHR) or otherwise constitute historical resources for the purposes of the California Environmental Quality Act (CEQA).

## PROJECT SETTING

The project is located within Harbor Front Unit No.1, a residential subdivision within the city limits of Morro Bay. The current tract is bounded on the north by Hillcrest Drive, on the west by Radcliffe Avenue, on the east by Downing Avenue, and on the south Highway 1. The tract slopes uphill from the highway. The residential properties were constructed individually in a variety of architectural styles; many are large, filling the lots. The County of San Luis Obispo (County) Assessor's online property information documents that, of the 45 residences fronting on Berwick Drive, three (including 1288 Berwick) were built in the 1960s, 10 in the 1970s, nine in the 1980s, 11 in the 1990s, and five between 200 and 2009. A few vacant lots were also noted. Residences are a mixture of one- story, two-story (within the same footprint), and multi-level (a series of overlapping one-story levels that stair-step up or down the hill, depending on which side of the street they occupy). Because of the steep topography, nearly every residence incorporates retaining walls, one or two exterior stairways, and balconies; garages are at street level on the downhill side of the streets. The overall residential streetscape is characterized by mature trees and other vegetation, but the primary architectural focus is on capturing views of Morro Rock and the sea.

## METHODOLOGY

Preliminary research consisted of reviewing standard secondary sources, including general San Luis Obispo County histories (Angel 1994 [facsimile of 1883 edition]; Morrison and Haydon 2002 [facsimile of 1917 edition]), as well as local Morro Bay histories (Gates and Bailey 1982; Castle and Ream 2006; Moses 2007). Next, an appropriate historical context was identified. While such aspects as the physical condition, style, materials, and workmanship of architectural resources can be considered to some extent on their own merits, the significance of these resources can be determined only with reference to the historic circumstances that created them. The historical context for the resources on the subject parcel focuses on the creation and evolution of Harbor Front Unit No. 1, as well as on the mid-century residential building boom. Because of Coronavirus Disease 2019 (COVID-19) restrictions, limited in-person research was conducted at the County Assessor and Clerk-Recorder offices and at the County Library. Additional research was carried out in County Assessor and Recorder online databases, and in other online databases (e.g., Ancestry.com, Newspapers.com, California Digital Newspaper Collection). A windshield survey of the property was made on November 14, 2021, to take current photographs and make additional notes.

The subject property does not appear to have been previously evaluated. The City is currently working on developing its own historic preservation guidelines, but no list of locally designated resources is yet available. SWCA Architectural Historian Paula Juelke Carr developed the historical context and carried out the architectural evaluation and report preparation.

## HISTORIC CONTEXT

### Rancho San Bernardo

Like much of coastal California in general, the subject location and the greater Morro Bay region were formerly part of a sprawling Mexican-era land grant devoted primarily to livestock raising. Rancho San Bernardo, encompassing 4,379 acres, was granted to Vicente Canet by Alta California Governor Alvarado in 1840. By 1846, however, Mexican control of Alta California was challenged by the westward-expanding United States during the Mexican–American War. The Treaty of Guadalupe Hidalgo that ended the conflict in early 1848 gave the United States possession of Alta California, with the proviso that legitimate Mexican land grants would be honored.

Validation of the former Mexican land grants was a protracted and costly process. Rancho San Bernardo grantee Canet died in 1858, and the patent securing his title wasn't issued until 1865—7 years after his death. In 1874 Canet's heirs sold the bulk of Rancho San Bernardo (4,300 acres) to Francisco Estevan Quintana, who gave the property to his son, Pedro de Jesús Quintana, and daughter-in-law Luz as a wedding present (Gates and Bailey 1982:8-11). Ten years later, in 1884, a map partitioning Rancho San Bernardo was drawn up by county surveyor R. R. Harris. The future Harbor Front Unit No. 1, including the subject parcel, lay within the boundaries of Lot No. 8, as depicted on the Harris map (Figure 1).

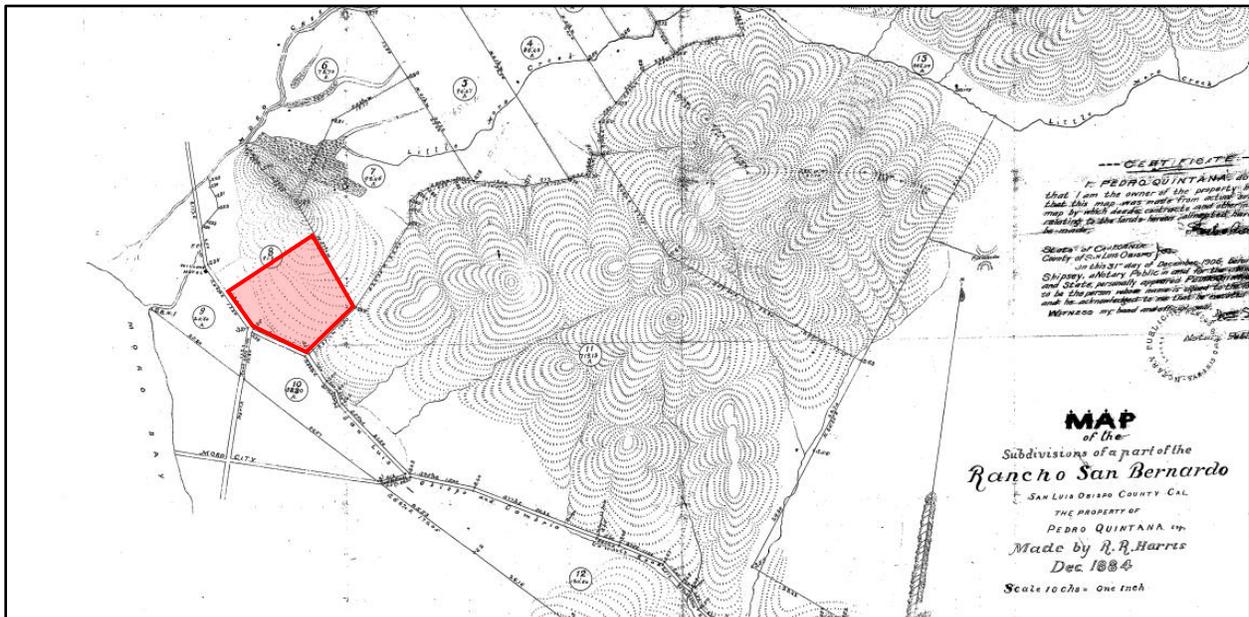


Figure 1. Detail of the subdivision map (Harris 1884) for Rancho San Bernardo, showing the approximate location and steep topography of future Harbor Front Tract No.1, in rancho Lot No. 8.

### The Town of Morro Bay

The area immediately around the bay was not part of a rancho land grant or other private property and therefore automatically became the property of the U.S. government when the Mexican–American War ended and Alta California became a U.S. territory. Farther north in the foothills of the Sierra, the discovery of gold in 1848 set off a flood of immigration to California. In the heyday of gold mining, newcomers had clustered around the various “diggings” in the Sierran Mother Lode, but as time went on, disheartened miners began to look elsewhere in California for opportunities. Although California had

been admitted to the Union in 1850 as the thirty-first state, land use remained much as it had been during the Mexican era of the 1830s and 1840s, with an emphasis on cattle ranching. The severe floods of 1862, however, followed by the protracted drought of 1863 to 1864, decimated the large, free-roaming herds of cattle and ruined the once prosperous cattle-based rancho economy. Stock raising resumed in the early 1870s but in a different form—flocks of sheep and herds of dairy cows.

The small settlement that would become the Town of Morro was strategically located on the coastal terrace near the bay, alongside Morro Creek at the intersection of two county roads, and, significantly, outside the boundaries of any rancho. As federally owned land, the non-rancho tracts began to be surveyed, mapped, and opened up to settlement and purchase in the early 1870s. The land could be acquired either under the provisions of the 1862 Homestead Act or by the redemption of military-issued scrip. The latter method was used by Franklin Riley (1824–1897), reportedly the first to take advantage of the availability of government land locally. In 1872 Riley acquired 137.94 acres and was responsible for the first glimmerings of residential development alongside Morro Bay (U.S. Geological Survey [USGS] 1872).

Within 6 months of obtaining his land, Riley hired Carolan Mathers, a local county “road viewer” with surveying experience, to draw up a townsite map. Riley’s intention was to create a commercial hub for shipping the agricultural produce of the hinterlands (grain, wool, and cheese) and importing lumber and other necessities not available locally. “The town of Morro Bay was booming in 1872 and 1873 . . . and new settlers were moving into the area looking for farmland. . . . All were looking for good land where transportation of farm products would not be too difficult” (Gates and Bailey 1982:15–16, 20). County historian Myron Angel noted in 1883: “The year 1873 brought prosperous times for Morro. A new wharf was projected, several dwellings and business houses were put up, and the benefits of the excellent situation and rich back country began to be visible. Morro exceeded every other place in the county in the briskness of its growth. . . . There had been erected fourteen dwelling-houses, two stores, two blacksmith shops, one shoemaker shop, one carpenter shop, and a butcher shop” (Angel 1994:347–348). Coastal lands from Morro Bay north to the Monterey County line were soon dotted with dairy farms, producing butter and cheese through the winter and spring months, as long as the coastal pastures remained green and provided sufficient feed.

The 1880s saw plans for even more intensive development of the Town of Morro. A group of San Francisco businessmen formed the Morro Bay Improvement Association and sold lots, and for a few more years there were rumors (that never materialized) of a luxury hotel and railroad that was hoped would bring certain success. By 1888, roughly half of the land surveyed for Franklin Riley in 1872 had been acquired by March and McAlister, who had a new survey done by County Surveyor H. C. Ward. Some of the proposed developments from the late 1880s to the turn of the twentieth century showed quite different plans, with densely packed small lots laid out on a regular street grid. The size of the lots is consistent with those of many other proposed Central Coast beach developments of the same time (for example, El Pizmo and Pacific Grove), with room enough for tent platforms but not full-sized homes. All of the plans for large-scale development of Morro Bay went awry with the economic downturn of the early 1890s, although Morro Bay continued to be a coastal magnet, with seasonal camping, boating, fishing, and other recreational uses well established by the turn of the twentieth century. This pattern of seasonal use of the Morro Bay area became a factor in the development of residential subdivisions in the 1910s and 1920s.

## Early Subdivisions in the Town of Morro Bay

The first subdivision in the Morro Bay area was north of the town—the Atascadero Beach tract—created in the late 1910s and associated with the development of Atascadero Colony, nearly 20 miles inland. As reported by local Morro Bay historians Dorothy Gates and Jane Bailey, the “first real subdivision within

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the town proper was that promoted by James Goulding and his Morro Heights Syndicate” (Gates and Bailey 1982:47). The syndicate had acquired the Olmstead ranch and commissioned a survey and tract map in 1922 (Hughes 1922). The Morro Heights subdivision was bounded roughly by Piney Way, Luisita, Kern, Pecho, Kings, and Pacific—a very large tract of land with expansive views of the bay and Morro Rock.

The following year, in 1923, the road between Morro Bay and San Luis Obispo was paved with Portland cement concrete, making it an all-weather link between the Town of Morro Bay and points south. The pace of residential real estate development near the bay began to accelerate. Although the new highway made it easier for prospective buyers to travel up from the south, the primary market for sales of Morro Bay lots remained the southern San Joaquin Valley (street names in the Morro Heights subdivision included Fresno, Kern, Kings, and Tulare). This pattern was the general rule in Morro Bay residential development, in part because the lots were marketed heavily in Southern San Joaquin Valley newspapers as suitable for summer homes for valley residents escaping hot summers at home. Harbor Front Unit No. 1 was one such subdivision, among a surge of new subdivision maps from the mid-1920s to early 1930s, before the Great Depression disrupted the trend.

## **Lot 8 of the 1887 Rancho San Bernardo Partition Map**

Each of the seven sons of Pedro de Jesús Quintana (1833–1921) was intended to receive a portion of his subdivided Rancho San Bernardo (Gates and Bailey 1982:11). The fifth son, Juan Pedro Quintana (1870–1905) (Figure 2), was to have received Lot 8. In about 1896 he had married a distant cousin, Cleofas Quintana (1876-1959) (Figure 3), but he died just a few years later, in 1905, leaving the widowed Cleofas and a posthumous son, Peter. Cleofas married her second husband, Carlos Serrano (a cousin of Juan Pedro), in 1910 (Figure 4). Lot 8 would then have passed to Juan Pedro and Cleofas’s son, but the young boy (see Figure 4) died of typhoid in 1919.



**Figure 2. Juan Pedro Quintana, c1889, who was to receive Lot 8 of Rancho San Bernardo from his father, Pedro de Jesús Quintana (Ancestry 2022b).**



**Figure 3. Juan Pedro married a distant cousin, Cleofas Quintana, in about 1896 (Ancestry 2022b).**



**Figure 4. the Quintana-Serrano family in 1913: Cleofas and her second husband, Carlos Serrano, with their two children, Peter Quintana and Frances Serrano (Ancestry 2022b).**

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When her young son died in 1919, Cleofas was left to manage the future disposition of Lot 8; she and her second husband are very likely to have been the ones who first commissioned a survey of the east half of Lot 8 in 1927 for a potential subdivision. The County Recorder’s online grantor-grantee index reveals that an intermediary, Marquis de Lafayette (also “M. D. L.” and “Lafe”) Todd (1881–1945), was involved in the creation of the subdivision. Todd, a career Union Oil employee, appears to have secured the financing from the Bank of America, and Carlos and Cleofas Serrano deeded a portion of Lot 8 to him on the same day. Four months later Todd deeded the land to Serrano Heights, Inc. (Figure 5).

1929004571 • DEED (GRANT,JOINT TENANCY,QUIT)		
Recording Date 08/13/1929 12:00 AM	Grantor (2) TODD M DE L ETAL	Grantee SERRANO HEIGHT INC
1929001963 • DEED (GRANT,JOINT TENANCY,QUIT)		
Recording Date 04/01/1929 12:00 AM	Grantor (2) SERRANO CARLOS ETAL	Grantee TODD M DE L
1929001962 • DEED OF TRUST		
Recording Date 04/01/1929 12:00 AM	Grantor (2) TODD M DE L ETAL	Grantee (2) BANK OF AMERICA OF CAL ETAL

Figure 5. Excerpt from County Recorder grantor-grantee index.

## **Serrano Heights, Inc., and Harbor Front Unit No. 1**

Harbor Front Unit No. 1, “a subdivision in Lot 8,” had been surveyed and laid out 2 years earlier, in April 1927, probably at the request of Carlos and Cleofas Serrano and probably in association with M. D. F Todd. The survey was done under the supervision of civil engineer Warren B. Burch (Burch and Beck 1927) but was not filed with the County Recorder until December 22, 1930. The certification sheet that accompanies the recorded tract map lists Serrano Heights, Inc., as the sole owners of the subdivision. The company was incorporated on March 21, 1929 (California Secretary of State 1929). Not surprisingly, the certification sheet documents that M. D. F. Todd was president of Serrano Heights, Inc. (San Luis Obispo County *Maps* Book 5, page 18, sheets 1 and 2).

Between 1930 and 1951, the County Recorder documents 19 deeds sold by Serrano Heights, Inc. The total number of lots sold (or re-sold) in the opening years of Harbor Front Unit No. 1, however, is not known. The *Arroyo Grande Valley Herald-Recorder*, as a newspaper of record, was one of the local papers reporting real estate transfers in the Harbor Front Unit No. 1 subdivision. In the 1930s the newspaper reported only one sale: Lot 9 of Block 4 was purchased directly from Serrano Heights, Inc., by H. McIntuff et ux. (*Arroyo Grande Valley Herald-Recorder* 1934:3). Online records for the San Luis Obispo newspapers do not extend past the mid-1920s.

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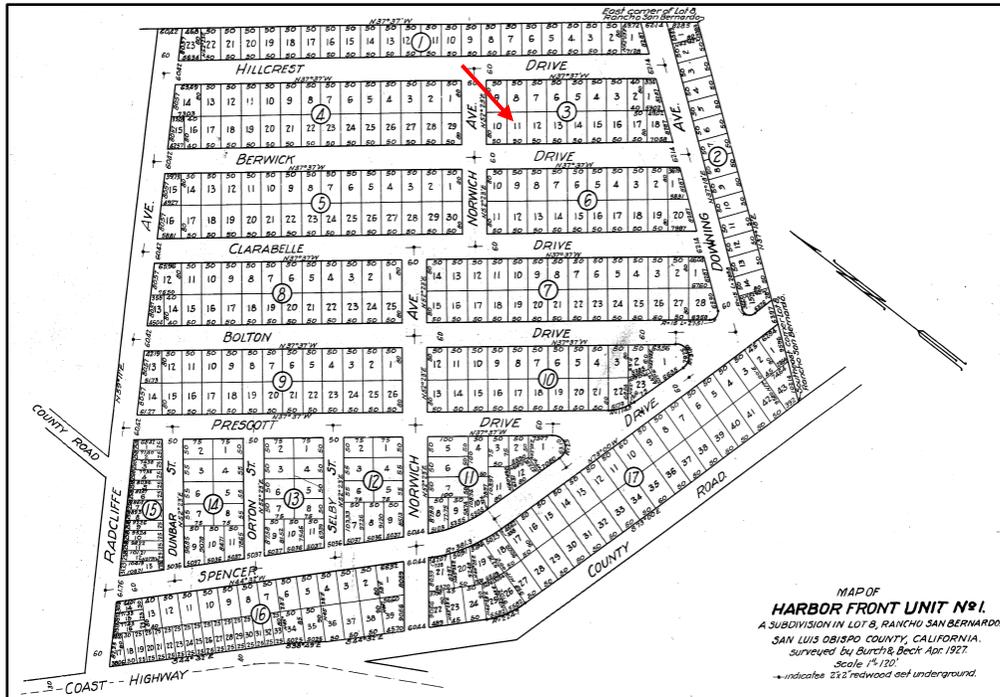


Figure 6. Burch and Beck's 1927 Tract Map for Harbor Front Unit No. 1. Arrow indicates Lot 11.

## Selwood Realty Company

In 1951 Serrano Heights, Inc. is no longer listed as a grantor; sales were being handled by Selwood Realty Co., which had incorporated on August 22, 1951 (California Secretary of State 1951). M. D. L. Todd died in 1945 (*Arroyo Grande Valley Herald-Recorder* 1945:5), so it is likely that the Selwood Realty Company was a successor organization to Serrano Heights, Inc. It is interesting that local historians Gates and Bailey (1982:136) list 1951 as the year that the “82-acre Serrano Heights tract goes on market for homesites.” Between 1951 and 1970, when listings for Selwood Realty appear to have ceased, the County Recorder shows that the company deeded property to at least 185 individuals or couples.

In 1956–1957, Selwood Realty deeded several properties to the State of California because the Division of Highways needed to acquire additional right-of-way from the subdivision to widen Highway 1 (*Arroyo Grande Valley Herald-Recorder* 1957:8). These acquisitions impacted, or entirely removed, blocks 10 through 17 of the Harbor Front Tract (cf. Figure 6). Some of the lots in blocks 16 and 17 were completely severed from the rest of the tract by the highway. These parcels now front on Main Street and Quintana Road and are non-residential (Figure 7).

In 1960 the County Board of Supervisors held a public hearing concerning the proposed rezoning of portions of certain subdivisions, including Harbor Front Tract Lots 6, 7, 8, 10, and 11 [sic; no block numbers are given] (*Arroyo Grande Valley Herald-Recorder* 1960:8). In 1963 the County Board of Supervisors created an Assessment Improvement District for Harbor Front Unit No. 1, which required the sale of bonds. The Ted Watkins Construction Co., incorporated in 1960 and based in Paso Robles, won the construction contract with a bid of \$125,683.50, suggesting a sizeable infrastructure project was in the works (*Grover City Press* 1963:7). Ten months later, the County Board of Supervisors adopted Resolution No. 109-64, “accepting streets in Harbor Front Unit No. 1 Improvement District into the County Road System” (*Grover City Press* 1964:4).

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**Figure 7. From Bolton Drive south to Main Street and Quintana Road, blocks 10 through 17 of the Harbor Front Tract were altered by the widening of Highway 1 in the 1950s (cf. Figure 6).**

In 1975 the subject parcel was adjusted, and a new parcel map was drawn (Hilliard 1975) and recorded on 28 October 1975 (San Luis Obispo County *Maps* Book 18, page 46). Based on the 1975 map, the parcel is now legally described as Parcel A of Parcel Map No. MB 75-256, superseding the older legal description, Lot 11 of Block 3 of the Harbor Front Unit No. 1.

## Ownership of 1288 Berwick Drive

The earliest owners identified are Albert B. and Jean B. Goorwitch, who purchased the lot directly from the Selwood Realty Company on January 1, 1961 (San Luis Obispo County *Official Records* Book 1102, page 435) and immediately deeded it (on the same day) to Thomas A. and Lois Tucker (*Official Records* Book 1102, page 436). The Tuckers retained the property until 1964 and are therefore the presumed builders of the residence at 1288 Berwick Drive. The first occupants of the house, however, appear to have been Thomas Tucker's mother and stepfather, Bonnie D. and William B. Rogers (*Bakersfield Californian* 1975:15). San Luis Obispo County directories for 1961 and 1965 list William B. Rogers as the resident (Polk 1961, 1965). The house may have been the first built on Berwick Drive—the 1960 directory lists the street name but gives no addresses, and the 1961 directory lists only the Rogers house at 1288 Berwick (Polk 1960, 1961). Even after the Tuckers sold the property to Adolph R. and Tessie B. Sather on November 17, 1964 (*Official Records* Book 1324, page 333), William and Bonnie Rogers continued on as tenants at least through 1965 and possibly until 1967, when they had moved from Morro Bay into San Luis Obispo.

The Sathers owned the property for just over 20 years. Adolph died in 1980, and Tessie died in 1985; both are buried at the Los Osos Valley Memorial Park. Probate records document Tessie's last address as 1288 Berwick Drive; the Decree of Distribution, recorded on August 14, 1985, shows the property was inherited by Bonnie Bellos, Jack H. Mitchell, and Gretchen Murden (*Official Records* Book 2738, page 795). On the same day, the property was deeded by Bellos, Mitchell, and Murden to Robert L. and Marilyn M. Baty (*Official Records* Book 2738, page 799).

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The Batys owned the property and resided at 1288 Berwick Drive for nearly 30 years, from 1985 to 2002, when they sold to Carolyn J. Margon (San Luis Obispo County *Document No.* 2002046370). Carolyn died in 2011 and the property was passed to Pamela Margon by a Decree of Distribution recorded on November 28, 2011 (*Document No.* 201160146). On August 14, 2014, Pamela Margon sold the property to Kathleen M. Baker, the current owner (San Luis Obispo County *Document No.* 201432960).

## DESCRIPTION OF ARCHITECTURAL RESOURCES AT 1288 BERWICK DRIVE

The single-family residence at 1288 Berwick Drive (APN 068-156-024) was constructed in 1961. Online County Assessor's information states that the resource was originally 896 square feet, with an addition of 360 square feet (constructed at an unknown date). The house and garage are located on a steep slope, with the detached garage offset and at a lower level than the one-story residence. The slope is supported by two four-course retaining walls of decorative concrete blocks set in a running bond pattern. These retaining walls are infilled with terraced landscaping. Three flights of concrete steps, with wooden railings, angle up across the slope to the front porch of the residence. A deck enclosed with wood railings extends from the residence across the rear half of the top of the garage (Figures 8 and 9). The photographs in Figures 8–11 were taken by SWCA in a windshield survey on November 14, 2021.



Figure 8. Residence and garage at 1288 Berwick Drive.

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**Figure 9. Concrete staircases angle up to the front porch of the residence.**

The residence has a raised foundation and is of frame construction with vertical wood siding on the main portion of the house, on the left, and horizontal siding on the bay-window portion, on the right (this bay-window portion is probably the addition mentioned in the County Assessor’s record). The residence has a low-pitched side-gabled roofline with broad eaves finished with fascia and gutters. The roofing material is composition shingles. The front door is flush with the front elevation and is sheltered under a small extension of the roof, supported on two wood posts. The openings for the tripartite window, sliding window, and door appear original, although the sash may have been replaced. The bay-window portion features a center fixed window flanked by 1/1 sash set in narrower surrounds (Figure 10).



**Figure 10. The bay-window portion of the house, at the far right, may be the addition constructed at an unknown date. The siding, window surrounds, and sash differ from the rest of the house.**

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The frame garage also features a side-gabled roofline and vertical wood siding. The rear roof plane (which is flat and covered by a deck with railings) has no eaves; the front roof plane (a low-pitched shed roofline) extends outward over the garage door and has broad eaves, fascia, and gutters. The short driveway and apron are concrete (see Figures 10 and 11).



Figure 11. Detached garage, with deck spanning the rear part of the roof.

## Evaluation of Architectural Resources

Public Resources Code (PRC) Section 21084.1 states that “a project that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment. For purposes of this section, an historical resource is a resource listed in, or determined to be eligible for listing in, the California Register of Historical Resources. Historical resources included in a local register of historical resources, as defined in subdivision (k) of Section 5020.1, or deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1, are presumed to be historically or culturally significant for purposes of this section, unless the preponderance of the evidence demonstrates that the resource is not historically or culturally significant.”

The purpose of this architectural evaluation is to determine whether any historic-period architectural resources (resources constructed in 1972 or earlier) present at 1288 Berwick Drive are eligible for listing in the CRHR, or if they otherwise constitute historical resources for the purposes of CEQA. Eligibility for listing on the CRHR is evaluated under the following four criteria:

- **Criterion 1.** The resource is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage;
- **Criterion 2.** The resource is associated with the lives of persons important in our past;
- **Criterion 3.** The resource embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- **Criterion 4.** The resource has yielded, or may be likely to yield, information important in prehistory or history (PRC Section 5024.1(c)).

In addition to having historical significance, eligible resources must also have sufficient integrity to be able to convey their significance. Integrity is assessed according to seven aspects: location, setting, design, materials, workmanship, feeling, and association.

## ***Evaluation under Criterion 1***

The property at 1288 Berwick Drive does not have significance under Criterion 1. The Serrano Heights Harbor Front subdivision was created three decades before the subject residence was built; the residence is therefore not significant in the formation of the tract nor influential in the construction of its earliest houses. Similarly, when sales in the tract resumed under the Selwood Realty Company in 1951, the subject property was still a decade behind the earliest mid-century homes built in the subdivision. Although part of the general nationwide trend in home construction that followed the end of World War II, the Harbor Front subdivision did not play a significant role in that trend or establish an influential architectural style or construction methodology.

## ***Evaluation under Criterion 2***

The property at 1288 Berwick Drive does not have significance under Criterion 2. It is not likely that Lot 11 was owned or occupied prior to 1961, when Selwood Realty sold it to Albert and Jean Goorwitch. The new owners, however, immediately re-deeded the still-vacant property to Thomas and Lois Tucker, who are presumed to have been the builders (though not the occupants) of the current residence. Long-term owner-occupants have included Adolph and Tessie Sathers (1964–1985) and Robert and Marilyn Baty (1985–2002). The Sathers were both in their mid-to-late 60s when they bought the residence. Adolph's career had been as a construction engineer and inspector; he worked on both the Grand Coulee Dam in Washington State in the 1930s and on the Friant Dam (for the Bureau of Reclamation) in the 1940s. Their association with 1288 Berwick Drive and Morro Bay occurred in their retirement years and does not represent the accomplishments of his career. The Batys lived in Morro Bay, but at another location, during the years they raised their family. A tribute from her family provides the following information about Marilyn:

In the middle of her life, with her own kids in school, Marilyn returned herself and earned a BA in English plus a teaching credential from Cal Poly. Marilyn became a favorite English teacher for a generation of students at Morro Bay High School. She retired from teaching in 1989 but continued reading essays for many years – this time for California Retired Teachers to determine scholarship recipients. For the rest of her life she belonged to organizations that help students, especially women returning to school. She was a member of AAUW [American Association of University Women] for decades.... She especially enjoyed participating in the garden tour fundraiser because it raised money for scholarships. Well into her 80s, Marilyn would host visitors to a beautiful garden all weekend because she knew how important the scholarships would be for young women in San Luis Obispo County (Ancestry 2022a).

Marilyn's personal contributions to Morro Bay and the county were clearly an important part of her long and productive life. It is nevertheless the case that her many accomplishments are not best represented by the residence she and her husband acquired in 1985, and that the residence is not an eligible resource based on her community involvement.

## ***Evaluation under Criterion 3***

The property at 1288 Berwick Drive does not have significance under Criterion 3. The house is one of many similar examples of mid-century residential development in Morro Bay that began with the wave of post-war construction in the mid-1940s and accelerated through the 1950s and beyond.

## ***Evaluation under Criterion 4***

The architectural resources at 1288 Berwick Drive do not have significance under Criterion 4. Although this criterion is generally applied to archaeological resources, it may in certain circumstances be appropriate for built environment resources displaying unusual construction methods or materials. The residential building at 1288 Berwick Drive, however, does not demonstrate any such unusual features.

## **CONCLUSIONS**

The residence at 1288 Berwick Drive (APN 068-156-024), constructed in 1961, is located within the boundaries of the 1930 Harbor Front Unit No. 1 subdivision, but was not part of the first round of lot sales carried out by Serrano Heights, Inc., who created the subdivision. Similarly, the lot was not sold, and the residence was not built until a decade after the second round of lot sales began in 1951, under the ownership of the Selwood Realty Company. Although the residence and garage have substantial integrity of location, setting, design, materials, workmanship, feeling, and association, they lack the level of architectural and historical significance necessary to meet the eligibility criteria for listing in the CRHR and do not otherwise constitute historical resources for the purposes of CEQA.

## **PREPARER'S QUALIFICATIONS**

SWCA Architectural Historian Paula Juelke Carr, M.A., meets the Secretary of the Interior's Standards for Professionally Qualified Staff as both historian and architectural historian. Ms. Carr has more than 25 years of experience in California history and architectural history, including more than 11 years as an Associate Environmental Planner (Architectural History) for the California Department of Transportation, District 5. She has been with SWCA for 5 years.

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**AGENDA NO: D-1**

**MEETING DATE: March 15, 2022**

## Staff Report

**TO: Planning Commissioners                      DATE: March 9, 2022**

**FROM: Scot Graham, Community Development Director**

**SUBJECT: Review of Harborwalk Logo Design**

### **RECOMMENDATION**

Review the Harborwalk Logo designs, discuss and provide direction on desired next steps.

### **BACKGROUND**

As part of the waterfront design discussions, The Planning Commission expressed an interest in development of a Harborwalk logo that could be used to denote public areas along the waterfront. The logo would potentially be applied to things like signage for umbrellas, tables, benches, and similar public amenities located along the Harborwalk public areas. See logo options below.

1.



2.



3.



4.



5.



6.



7.

