



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.*

**Regular Meeting -Tuesday, January 17, 2023  
Veteran's Memorial Building – 6:00 P.M.  
209 Surf Street, Morro Bay, CA**

Chairperson – Susan Stewart

Vice-Chairperson William Roschen  
Commissioner – Asia King

Commissioner Joseph Ingraffia  
Commissioner Mike Rodriguez

*Pursuant to Assembly Bill 361 (2021-22) and Government Code section 54953 this meeting will be conducted in a hybrid format with both in person and virtual participation. Ways to participate, watch, and submit public comment for this meeting are provided below.*

### **Public Participation:**

*Remote public participation is allowed in the following ways:*

- *Community members may attend the meeting in person at the Morro Bay Veterans Hall*
- *Members of the public may watch the meeting and speak during the general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the "raise hand" feature to indicate your desire to provide public comment.*

*Please click the link below to join the webinar:*

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcxTHlRTk9xaTlmWVNWRWFUQT09>

*Password: 135692*

- *Or Telephone Attendee: 1 (408) 638-0968 or 1 (669) 900 6833 or 1 (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \*9 to "Raise Hand" for Public Comment*
- *Alternatively, members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Planning Commission at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) prior to the meeting. Agenda correspondence received at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) by 10 a.m. on the meeting day will be posted on the City website.*

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE/PLEDGE OF ALLEGEANCE  
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT

Members of the audience wishing to address the Planning Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Planning Commission at this time.

PRESENTATIONS

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

B. PUBLIC HEARINGS

- B-1 Case No.:** CDP 22-023  
**(Continued from the January 3, 2023, hearing)**  
**Site Location:** 3009 Beachcomber Drive, Morro Bay, CA  
**Proposal:** Application for a Coastal Development Permit (CDP22-023) for the proposed demo of the existing home and new construction repositioned on the parcel for a 3,335-sf home with a 715-sf garage. The home is single story with a central courtyard/entryway on an 8,100 square foot parcel adjacent to the sand dunes and ocean beyond. The existing home on the site is the Jim Maul designed home that was previously determined to have local historical significance. A structural review of the property has resulted in findings of severe structural damage in the existing home, which renders the home unsuitable for repair and restoration. The CEQA Historic Evaluation report has been updated to take into account the poor condition of the home. The report concurs with the conclusion to demo the existing home and requests photo documentation of the existing home prior to tear-down. The project zoning is R-1/S2.A and is located within the coastal appeals jurisdiction. The Coastal Land Use and proposed new zoning designation is Moderate Density Residential (RS-B).  
**CEQA Determination:** Exempt under Section 15301, Class 1j(1) for demo of a single family home and Section 15303, Class 3a for a new single family home on a residentially zoned parcel.  
**Staff Recommendation:** Conditionally Approve  
**Staff Contact:** Nancy Hubbard, Contract Planner, (805) 772-6211

C. NEW BUSINESS

- C-1 Historic Preservation Ordinance Discussion.** Planning Commission requested a discussion item be placed on the agenda in relation to future development of an historic preservation Ordinance and possible recommendation to Council for inclusion in the PC workplan for 2023. Item does not include a staff report.  
**Staff Contact:** Scot Graham, Community Development Director, (805) 772-6291

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on February 7, 2023, at 6:00 p.m.

**PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: [www.morrobayca.gov/planningcommission](http://www.morrobayca.gov/planningcommission) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morrobayca.gov/notifyme](http://www.morrobayca.gov/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

**APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located with the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$326 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

Planning Commission Meeting of January 17, 2023

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay  
 Community Development Department  
 Current & Advanced Project Tracking Sheet  
 This tracking sheet shows the status of the work being processed by the Planning & Building Divisions  
 New Planning items or items recently updated are highlighted in yellow.  
 Approved projects are deleted on next version of log.

Agenda No: A-1  
 Meeting Date 1-17-2023

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
<b>Hearing or Action Ready Projects:</b>											
1	Orgill	3009	Beachcomber	7/19/22	CDP22-023	Demo of existing home that is structurally unsound, and rebuild new 3335 sf home with a 715 sf garage/trash area . Existing home was the Jim Maul residence.	Comments sent August 6, 2022, requires resubmittal and will require updated Architectural Historic Resource review based on the new plan and the structural report. Resubmittal received October 20, 2022, project was deemed complete November 2, 2022. Scheduled for Planning Commission hearing on December 20, 2022. Public notice to begin on December 9th, 2022. PC continued hearing to January 17, 2023.				nh
2	Murphy	2440	Laurel Ave	8/1/22	CDP22-025	Demo existing home and new construction of a new 3037 sf home with a 1198 sf garage/shop on a 4000 sf parcel. Admin CDP with CEQA Historic Evaluation report required.	Incomplete letter sent on 8/23/22. Project resubmittal received on 10/24/22 and comment letter sent on 11/2/22 with minor corrections required. Project deemed complete, public notice period from November 22, 2022 to December 5, 2022. Administrative decision on permit on December 6, 2022. Permit issued Dec 10, 2022. Project was appealed to Planning Commission - hearing on February 7, 2023.				nh
3	Lutschaunig	242	Surf St	10/31/2022	CDP22-035	New 380 sf ADU to be constructed over existing 340 sf garage - a portion of the garage will be used for ADU bathroom and stairway	Planning disapproved and comments sent on November 25, 2022. Required redesign and resubmittal. Meeting week of 12/12/22 with planning consultant to review comments. Applicant to revise plans and resubmit. Project deemed complete. Need a site study prior to public notice and admin decision on the permit.				nh
4	Green	1175	Scott Street	6/28/21	CDP21-025 CUP21-07	New construction of 3 hotel units including one ADA unit and a residential security unit	Review comments provided on July 21, 2021. Requires a resubmittal for review. Discussed project with applicant, expected to have resubmittal ready in November 2021. Applicant is reviewing alternative designs for the project, staff provided input on 2/14/22. Resubmittal received October 25, 2022 - reviewing under both zoning codes. The project was redesigned to include only one hotel unit and one residential unit. Planning disapproved and letter was sent to applicant on November 18, 2022, requires a resubmittal. Meeting with applicant to review planning comments on Dec. 13, 2022. Applicant to revise plans and resubmit. Resubmittal received 12/19/22. Project deemed complete on 12/27/22. Applicant is required to submit an additional study prior to				nh
<b>30 -Day Review, Incomplete or Additional Submittal Review Projects:</b>											
5	Van Beurden	715	Embarcadero	12/19/2022	MAJ22-002	Major modification to CUP to reflect Coastal Commission approved changes at the Dutchman Harborwalk	Under review				cj
6	Salbi	450	Marina	12/19/2022	CDP22-043	Admin CDP for two story single family home with garage and Accessory Dwelling Unit	Under review				gc
7	Kleckner	515	Main	12/7/2022	CDP22-042	After the fact Admin CDP for the demo of a partial construction of residential unit	Under review				
8	Torres	381	Nevis	12/12/2022	PKG22-06	Parking exception request to allow 1 uncovered space in driveway as part of a proposed 18sf addition to an existing 646sf single family home	Incomplete letter sent 12-15-22.				st
10	Bradley	2285	Emerald Circle	12/5/2022	CDP22-041 / CUP22-12	CDP and CUP for new construction of a 2,368sf one story single family home and 2 car garage on a vacant lot in the Cloisters subdivision.	Incomplete letter sent 1-5-2023				gc
11	Smartlink/ AT&T	590	Morro Ave	12/5/2022	MAJ22-001	Permit amendment for proposed modifications to existing AT&T rooftop cell site	Under review. Incomplete letter sent 12/15/22.				cj
12	Naghsh	466	Bonita St	11/29/2022	CDP22-040	Admin CDP for 240sf garage conversion to ADU.	Under Review.				st
13	Patel	1050	Morro Ave	11/17/2022	CUP22-10/ CDP22-039	Remodel existing hotel and add second floor with kitchen and hotel dining area, plus other guest amenities. Increase from 16 rooms to 27 rooms.	Under Review. Comments provided Dec 12, 2022, requires a resubmittal. Applicant is addressing parking issues included in the PW comment letter.				nh
14	Agular	351	Panay	11/2/2022	CDP22-036	Demo existing one story 849sf SFR to build a two story 1,926sf SFR with a 226sf garage and a 280sf roof deck.	Under Review, Incomplete letter sent on 12/15/22.				gc
16	Gonzalez	590	Radcliff	10/25/2022	CDP22-034	Admin CDP for a new 1,956 two story SFR with a 522sf attached garage and 640sf second story deck.	Under review. Planning disapproved and incomplete letter sent on 11/22.				gc/st
17	Hsiao	205	Harbor St.	9/20/2022	LTM22-02	Lot merger application for underlying lot lines per approved planning permit for 6 unit hotel	Under review. Correction letter sent 11/21/22.				cj

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18	Messer	550	Kern	8/11/2022	CDP22-027	CDP for new construction of a two story 2,411sf SFR with a 565sf garage and 1,000sf attached ADU.	Under Review, Incomplete letter sent 8/31, Resubmittal on 11/16, Under review, second Incomplete letter sent 12/13/22				gc
19	Crizer	420	Sicily St	9/8/22	CDP22-031	Admin CDP to add a 411sf second -story ADU with 329sf deck.	Incomplete letter sent on 9/27/22				gc/st
20	MSA Architects	2417	Greenwood Ave.	8/24/2022	CDP22-030	Admin CDP to develop a new 562 detached ADU	Incomplete letter sent on 9/12/22, resubmittal on 10/26, under review, minor edits request on 11/17				gc
21	Shepler	2181	Sunset Ave	8/24/2022	CDP22-029	CDP Application for a new third dwelling and one ADU on a property with two existing homes	Comment letter sent on 9-5-22. Resubmittal received 10/24/22. planning requires minor changes and sent letter November 10, 2022. Requires resubmittal.				nh
22	Kersten	1358	Prescott	7/27/2022	CDP22-024	Admin CDP for partial conversion of an existing (522sf) attached garage into a single story 276sf ADU.	Incomplete letter sent on 08/09/22				gc
23	California Coastal Investments, LLC	801	Embarcadero	6/28/2022	CUP22-09	Concept/Precise Plan CUP for mixed-use redevelopment of the Libertine Brewing Co. building to convert existing second floor to 7 hotel units and first floor as mix of restaurant, coffee shop, outdoor dining, provision of new public access improvements including extension of Harborwalk	Under review. Incomplete letter sent 7/27/22.				gc
24	McDonald	471	Panay	6/1/2022	CDP22-019	Admin CDP for the new construction of a two story residence	Incomplete Letter Sent 6/14				gc
25	Birchell	2030	Main	5/4/2022	MIN22-005	The Applicant requested a withdrawal.	Applicant changed scope of work and withdrew permit application.				gc
26	Vanderbyl	531	Yerba Buena	4/20/22	CDP22-015	Admin CDP for shed conversion into 468 sf ADU	Correction Letter sent 5/12/22. Resubmittal received 7/21/22 - review comments sent on August 6, 2022, requires resubmittal. Resubmittal received and planning and building disapproved based on fire/life/safety issues. Resubmittal required.				nh
27	Hartman	320	Orcas St	4/14/22	CUP22-07/ CDP22-010	New SFR with attached garage to replace home destroyed in fire	Correction letter sent 5/1/22.				nh
28	Jasso	2515	Greenwood	2/22/22	CDP22-006	Admin CDP for new SFR with 2 car garage and detached ADU	Comment Letter Sent 3/17/22				nh
29	Luhr	1140	Allesandro Ave	1/20/22	CUP22-06 / CDP22-004/ TTM22-04	Live/work mixed use, new construction of 5 residential units and 2 commercial units	Comment letter provided 2/13/22. Project deemed complete - processing will continue once Vesting Tentative Map submittal is complete. Vesting map submittal received May 12, 2022. Planning sent comment letter on 5/28/22, requires resubmittal. Resubmittal received with tentative tract map submittal on August 9, 2022, under review. PW disapproved the VTM, comment sent to applicant on 9-17-22, requires a resubmittal of the VTM. Applicant working with Public Works on some design issues in the public right of way. Once resolved, resubmittal required with any changes.				nh
30	Morro 94 LLC	3300	Panorama	1/18/22	CUP 22-05/CDP22-003/TTM22-02	Submittal of combined concept and precise plan review for 61 unit subdivision.	Received and under review. Notify Me account set up to provide information and publically available documents on the project. Subdivision Review committee meeting scheduled. Project comment letter sent 2/18/22, requires resubmittal and environmental review. Planning consultant team is preparing to hold a neighborhood meeting April 20, 2022 at Del Mar Elementary School at 6pm. City working with selected environmental consultant on contract and owner reimbursement agreements. TTM resubmittal received October 10, 2022, under review. Tentative Tract Map disapproved on November 2, 2022. Requires resubmittal with the CUP/CDP plans in order to be processed together. Environmental review is under contract and work has commenced. Anticipate process to take 6-9 months to complete.				nh
31	Romero	563	Zanzibar	12/6/21	CDP21-048	Admin CDP for new 1978sf 2 story SFR with 533 sf garage and 2nd level 128sf deck	Incomplete letter sent 12/22/2021, Resubmittal 7/28, under review				gc
32	Morro Bay LLC (Keller)	1108	Front Steet	11/8/21	MAJ21-007	Major Modification permit for Expansion and extensive remodel of second floor short term rental unit.	Planning comments sent 11/23/21, requires resubmittal. Applicant may put this application on hold until the adoption of the new zoning code (i.e. includes street setbacks closer to the actual placement of the building).				nh
33	T-Mobile/ Siegel	545	Shasta	10/12/21	CUP21-13/ CDP21-039	T-Mobile modification to existing facility approved under UP0-162/CP0-229. T-Mobile proposes to remove/replace and relocate existing wireless facility screened within existing church steeple and request height exception to construct new 29'0" faux bell tower for relocated wireless facility.	Under review. Project deemed incomplete 11-8-21. Resubmitted 8/25/22. Under review. Deemed incomplete and response letter sent 9/22/22. No recent activity				ej
34	Guesno	220	Atascadero Rd	10/4/21	MIN21-012	Minor Amendment - Change temporary outdoor dining area to permanent outdoor dining	Application will apply for a TUP for outdoor dining. This application is on hold until 2022.				nh

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35	Eisemann	541	Atascadero Road (at Hill St.)	7/9/21	CUP21-09/ CDP21-029	Four unit apartment complex with attached garages	Review comments provided on July 31, 2021. Project requires resubmittal and environmental analysis. Provided applicant estimate for environmental report on September 24, 2021. January 2022 - project is for sale. Applicant inactivity letter sent 7/22/25, no response from applicant yet. Applicant wants to keep project file open.				nh
37	SR Development	545	Atascadero	Initial partial submittal on 3/31/2021. Submittal complete on 4/26/21	CDP21-013 / CUP21-04	New construction of 15 unit townhomes project	Comment letter sent 5/14/21, requires resubmittal with responses. Applicant inactivity letter sent 7/22/22, applicant responded that they would like to keep the application active.				nh
38	Tullis	404	Estero	3/17/21	CDP21-011	CDP to demo existing improvements & construct new SFR and site improvements.	Under review. Deemed incomplete, comment letter sent to applicant April 2, 2021				nh
39	Vistra	1290	Embarcadero	12/28/20	CDP20-026 & CUP20-14	Battery Energy Storage System (BESS) - New proposed project to construct 600MW BESS on old tank farm north of existing Morro Bay Power Plant. BESS to be constructed as 3 separate buildings, 30 feet in height plus 10 feet of screening for rooftop equipment.	Under initial review. Project deemed incomplete and incomplete letter sent 1-21-2021. Applicant resubmittal received 2-17-2021 and under review currently. Project deemed complete for processing on 2/23/2021. Project plans and documents being evaluated. Environmental review process in progress. NOP released and two scoping meetings held on 6/21/22 and 6/29/22. Master Plan community workshop scheduled for 9/14/22. Environmental review still in process.				cj
<b>Projects Appealed to Planning Commission or PC Continued projects - none</b>											
40	Morgan	101	Fig St	8/9/21	CDP21-035/CUP21-12/ VAR21-003	Coastal development permit, conditional use permit, and variance request for new construction of 1676sf single family home, 465sf garage, roof deck and patio area and request for variance to front setback for property to minimize alteration of bluff feature.	Under review and incomplete letter sent 9/7/21. Resubmittal received 1/19/22. Spoke with agent 2/18/22. Requested revised geological report and plans to delineate bluff face prior to hearing. Revised plans emailed with updated geological information. Under review. Discussed bluff policies with Coastal Commission staff. Updated geo report received 7/2022. Updated plans received 10-2022. Project deemed completed and noticed on 11-4-22 for PC action on 11-15-22. PC approved, and project appealed to City Council on 11-25-22. Appeal hearing set for 1-24-23.				cj
<b>Projects Appealed or Forwarded to City Council</b>											
41	Steiner	301-390	Seashell Cove	4/19/21	MAJ21-02	General Plan / LCP Land Use & Zoning Map Amendment application to change land use and zoning from R-A to R-4 designation / low density to high density	Under review. Response letter/ incomplete letter sent 5-6-21. Resubmittal received. Environmental review in process. MND document complete and routed to State Clearinghouse - public comment period closes May 4th. PC reviewed on June 7th, and voted to not forward a favorable recommendation to Council but instead that land use change request should be associated with a project. Applicant is determining next steps.				cj
<b>Environmental Review - none</b>											
<b>Final Map Under Review Projects:</b>											
42	Huber	2783	Coral Ave	8/30/22	TTM22-03	5 unit residential subdivision	Planning approved, forwarded to PW.				nh
<b>Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing: - none</b>											
<b>Grants</b>											
43	California Coastal Commission, California Ocean Protection Council		City-wide	4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation. Round 6 funding of \$65,000 received Mar 2020.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17. Additional LCP grant funding received in 2020 under Round 6 for \$65,000 to complete LCP update. Zoning Code/Implementation Plan adopted by Council on 11/22/22 as part of LCP update. LCP amendment submitted to Coastal Commission on 12/12/2022.	No review performed.	N/A		sg/cj
44	City of Morro Bay		City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. City Council approved Cooperation Agreement for 2021-2023 CDBG Program Years at 5/26/20 Council meeting. Notice of Funding Availability for 2022 Program Year released 9/27/21. Application funding deadline is 11/1/2021. Council public hearing to consider final funding recommendations to be on 3-8-2022. cj	No review performed.	N/R		cj

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45	City of Morro Bay		City-wide			<b>Climate Action Plan - Implementation</b>	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				ci
<b>Projects in Building Plan Check:</b>											
46	Castillo	1055	Allesandro St.	6/3/2021	B21-0097	250 sf addition to rear of existing SFR, addition creates two bedrooms and one full bath.	Planning disapproved 7/2/21. Resubmittal received 7/25/22. Resubmittal disapproved 8/01/22.	Bldg. - Disapproved 8/4/22			sg
47	Castillo	1055	Allesandro St.	7/25/2022	B22-0158	Jr. Accessory Dwelling Unit (JADU) - Existing bedroom in primary dwelling will be converted to JADU.	Planning disapproved 8/1/22	Bldg. - Disapproved 8/5/22			gc
48	Nabors	240	Bali	12/5/2022	B22-0259	Attaching ADU approx 477 SF living space onto west elevation side yard.		BLDG - Disapproved 12/8/22			
49	Goldstein	186	Bayshore Dr.	11/4/20	B20-0190	Remodel kitchen, dining & living area.	Planning disapproved 11-6-20	Bldg. - Approved 11/09/20			sg
50	Carter	2035	Bayview Ave.	8/5/21	B21-0135	New SFR, 1980 sf living, with 483 sf attached garage, 96 sf covered deck, 267 sf covered rear patio and 32 sf covered front porch.	Disapproved 8-26-21. am	Bldg. Disapproved 9/21/21			ci
51	Gray	429	Bernardo Ave	10/12/22	B22-0231	Build new 2 bedroom, 1 bath detached 742 sf ADU to rear of lot.		Bldg. - Approved 12/12/22	under review		gc
52	Segovia	2824	Birch Ave.	3/21/22	B22-0057	Cover patio, conversion to sunroom.	Disapproved 4/1/22	Bldg. - Approved 3/24/22			am
53	Dillard	1256	Bolton	3/30/22	B22-0072	Convert Unfinished Underfloor Space in 986 sf of conditioned livable space	Disapproved 4/7/22. Resubmittal approved 7/29/22.	Ready to issue			am
54	Faubus	2900	Cedar Ave	12/22/22	B22-0281	Addendum to B22-0047 - As per the city's instructions, the original roof deck has been eliminated from the original plans, currently going with a straight gable 3/12 pitch roof that will cover the entire addition.		Bldg - Approved 1/3/23			am
55	Ellis	2988	Cedar Ave	12/15/22	B22-0268	Reconfiguring kitchen & bathroom layouts. No new SF. Adding 2nd bathroom.		Bldg. - Approved 12/19/22			
56	Berner	2750	Dogwood Ave.	12/6/22	B22-260	Add 235 sq of conditioned space, including a new bathroom, additions to bedroom and utility room, 297 sf, roof deck, spiral stair, ground floor deck (136 sf), less than 30" above existing adjacent grade.	Under Review				st
57	Robinson	2940	Dogwood Ave.	7/12/22	B22-0148	Install (2) bay windows, replacing (2) windows of smaller dimension on W facing front of house. Living Room: replace 5'x5' window w/ 50"x81" bay window. Bedroom: replace 32"x44" window w/ 50"x81" window.	Planning disapproved 7/19/22	Bldg. Conditionally Approved 7/18/22			ci
58	Gambrill	571	Embarcadero	2/22/22	B22-0035	Convert office space to commercial vacation rental.	Disapproved 3-8-21. Disapproved resubmittal 6-2-22. new resubmittal received 9/1/22 under review. Disapproved 10/3/22	Bldg. - Approved 6/14/22			ci

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59	Redican	725	Embarcadero	3/14/22	B22-0049	The project consists of a 608 SF interior remodel of the existing arcade retail space into an extension of the commercial kitchen prep area. All work is exclusive to the interior of the lower level with no impacts to the site, exterior elevation or occupant circulation of the existing building.	Disapproved 3-17-22. Resubmittal received 6-23-22 and conditionally approved 8/25/22	Ready to issue			ci
60	TLC Family Enterprises	833	Embarcadero	3/16/22	B22-0052	Addendum #1 to B20-0220 - Removal of parapet wall which requires removing steel post below and show railing on upper level. Revert back to cantilevered floor joists for hotel access walkway upstairs.	Disapproved 3-21-22	Bldg. - Disapproved 4/18/22			ci
61	Mission Linen Supply	399	Errol St.	10/18/22	B22-0240	Project consists of installing a dissolved air flotation system to treat wastewater for the purpose of meeting the wastewater discharge limits in our new wastewater permit.		Bldg. - Approved 10/27/22			
62	Beale	2230	Greenwood Ave.	9/29/22	B22-0215	Conversion of 451sf of existing conditioned space into an accessory dwelling unit.		Bldg. - Disapproved 10/27/22			
63	McLain	2678-A	Greenwood Ave.	6/27/22	B22-0134	n interior remodel of an existing 480 sf detached garage into a detached ADU with a kitchen, laundry, & bathroom renovation.	Planning Disapproved 7/1/22	Bldg. - Approved 10/12/22			gc
64	Hsiao	205	Harbor St.	4/20/22	B22-0084	Demolition of three existing structures and their accessory structures. Construct new 6-room, 5042 sf hotel with 7 onsite parking spaces on a .40 acre lot, the hotel is designed as two story on the east elevation and steps down the bluff with single story on the west elevation.	Planning disapproved 4-28-22. Resubmittal disapproved 11-3-22. Comment letter sent to Building. Approved 12/1/22.	Bldg. - Approved 10/12/22			ci
65	Godfrey	396	Hill St.	12/7/22	B22-0261	Addendum #2 to B21-0045 Relocate hold down along grid 1 at basement		Ready to issue			
66	Wilkie	476-A	Hill St.	3/26/20	B20-0057	ATTACHED ADU - Convert existing attached garage to 344 sf Accessory Dwelling Unit.	Correction letter sent 4/30/20.	Bldg. - Approved 4/8/22			nh
67	Duffy	2865	Ironwood Ave.	9/20/22	B22-0201	Renovation to an existing 2-story single family home. Improvements include reconfiguration of interior rooms and existing roof, and addition of fire sprinklers. No additional square footage, however, replacement of the existing exterior deck is included. No other site improvements are planned.	Planning disapproved 10-5-22. Waiting for resubmittal.	Bldg. - Approved 10/24/22			st
68	Johnston	2781	Juniper Ave.	6/2/21	B21-0094	New 463 sf 2nd story deck at rear of existing SFR, also replace five existing windows with three new sliding glass doors.	planning disapproved 6/3/21. Planning approved resubmittal 7-20-21.	Ready to issue			sg
69	Cook	2941	Juniper	10/26/22	B22-0243	Demo unpermitted studio at lowest level of existing SFR and convert that space with additional underfloor space to create new workout area, bathroom, theatre, storage, and stairs to access upper levels adding approx. 906 sf to SFR.		Bldg. - Approved 11/28/22			
70	Tarver	671	Kern Ave	12/22/22	B22-0271	DIGEPLAN: New 255 SF attached Accessory Dwelling Unit (ADU)		Bldg - Plancheck			
71	Melen	2540	Koa Ave.	8/18/22	B22-0179	Repair of existing outdoor stairway	Planning- Disapproved on 8/31/22	Ready to issue			gc
72	Cia	2551	Koa Ave.	2/23/22	B22-0038	New 3 bed 2.5 bath SFR w/attached 2-car garage.	Planning Approved resubmittal 6/28	Ready to issue			gc
73	Daniels	964	Las Tunas St.	8/3/21	B21-0133	Remodel the laundry room & add a bedroom, bathroom & hallway to the back of existing home in phase I. Phase 2, build a detached garage	Planning approved 5-12-22	Bldg. - Approved 5/16/21			sg

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
74	Drenick	2530	Laurel Ave.	9/22/21	B21-0174	Reconstruction of 560 sf two-car garage, garage foundation and 560 sf rooftop deck over garage. See permit B21-0141 for separate demolition permit for these structures.	Disapproved and Correction Letter sent 10/5/21. Planning approved 7/27/22	Bldg. - Approved 8/4/22			am
75	Elliott	2620	Laurel Ave.	4/14/22	B22-0082	New SFR 2.5 story with attached garage.	Planning disapproved 4/16/22. Resubmittal disapproved 6/25/22. Planning approved 7/21/22	Ready to issue			nh
76	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg. - Approved 2/27/19	Disapproved on 4/15/19		sg
77	Sonic	1840	Main St.	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension. Planning permit extension requested and granted to allow new permit expiration of April 2021. Emailed applicant 3-19-2021 advising them of permit expiration date and extension opportunities. No recent activity. Planning permit expires 4/18/2023.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB <b>Permit extended to 4/18/23</b>	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj
78	CenCal Enterprise, INC	2030	Main St.	9/21/22	B22-0232	The scope of work has changed. Applicant is now proposing to convert an existing space into an office space, and staff is awaiting the withdrawal of MIN22-005 to proceed with the Building Permit review process.		Bldg. - Disapproved 11/15/22			
79	Timothy and Allyson Cleath Family Trust	2790	Main St	11/8/22	B22-0248	Addendum to B22-0106, Modification to drain collection for parking lot. Sheets C-3 and C-4 revised. No change in flow to the bioswale per attached statement from civil engineer.	Approved 11-10-22. nh	Bldg - Approved 11/8/22			
80	Peterson	390	Morro Bay Blvd.	8/8/22	B22-0171	Commercial T.I., Former BofA office building converted to coffee roasting facility, bakery and coffee shop. Includes indoor guest seating areas, four restrooms, outdoor seating, parking lot refinishing/stripping with four additional stalls, new ADA parking stalls & path of travel, new storefront doors and steele awnings at each entry.	Planning approved 8/18/22	Bldg. - Approved 11/14/22			sq
81	JP Morgan Chase Bank	595	Morro Bay Blvd.	3/31/22	B22-0060	Installation of one solar carport, 99' 3 1/16" X 16' 7 3/8", with 15 modules, wall mounted PV equipment and four carport mounted lights, located in the existing Chase Bank parking lot.	disapproved 4/7/22	Bldg. - Disapproved 5/17/22			am
82	Erb	2630	Nutmeg Ave	2/14/19	B19-0029	Demo 195 sf third story deck at front of home and rebuild with 80 sf extension to allow for deck beam and column support. Remove 152 sf deck on south side of home, misc. construction to repair water damage.	Dissapproved 3/6/19. Disapproved 4/9. Variance application approved. Awaiting building permit resubmittal, resub 8/24. planning disapproved 7/2/19.	Bldg. - Approved 3/27/19			gc
83	Mollaghaffari & Hawes	427	Oahu St.	5/5/22	B22-0087	New 2nd floor single family residence, 1048 sf living, with a 258 sf 2nd story deck, and 255 sf single car garage. (The garage and an ADU make up the 1st floor level, see permit B22-0088 for attached ADU).	Planning disapproved 5-12-22	Bldg. - Disapproved 9/26/22			nh

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
84	Mollaghaffari & Hawes	427-A	Oahu St.	5/5/22	B22-0088	Attached ADU - 702 sf Accessory Dwelling Unit.	Planning disapproved 5-12-22	Bldg. - Disapproved 9/26/22			nh
85	Currey	154	Orcas St.	3/23/22	B22-0062	Remodel & additions to kitchen, entry, & masterbedroom.	Disapproved 4/11/22	Bldg. - Disapproved 4/4/22			gc
86	Currey	154-A	Orcas St	3/23/22	B22-0063	171 sf addition as an ADU	Disapproved 4-11-22	Bldg. - Disapproved 4/4/22			sg
87	Appel	400-A	Pico St	8/18/21	B21-0149	Convert existing garage to an ADU without changing the footprint of the garage.	Approved 8/25/21	Bldg. Disapproved 9/10/21			am
88	Lee	684	Piney Way	9/10/20	B20-0168	Demo existing detached 416 sf work shed with bathroom & reconstruct new 416 sf garage/shop with electrical, keeping existing bathroom on existing slab/foundation.	Planning disapproved 9/15/20. Requires a Admin CDP and Parking Exception prior to review and approval of the building permit. Planning disapproved resubmittal 2/24/21.	Bldg. - Disapproved 3/1/21			nh
89	Reyneveld	1060	Quintana Rd.	9/21/22	B22-0203	Install new drive approach to existing parking area, restripe parking areas, handicap stall, access isle new handicap ramp.		Bldg. - Disapproved 10/25/22			
90	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and associated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2") with associated electrical wiring.	Approved 9/26/19.	Ready to issue			cj
91	Macias/Mudge	153	Rennell	11/9/22	B22-0249	Construct new 1-story SF residence with 1,478 sf living area and 441 sf attached 2-car garage. There will be a 225 sf covered porch and 295 sf roof deck.		Bldg - Plancheck			
92	Tedd Stuckmeyer	3081	Sandalwood Ave	9/20/22	B22-0200	Construction of a new ADU.	Under Review	Ready to issue			gc
93	Nagy	646	Sequoia Ct.	4/20/22	B22-0085	New 2-story SFR, 3513 sf living, 1220 attached basement level garage, and 1156 sf covered patio.	Planning disapproved - project needs resubmittal to include conditions of approval and more detailed lanscape plan. Planning approved July 5, 2022.	Ready to issue			nh
94	Parker	580	Shasta Ave	8/31/20	B20-0159	Add new detached garage	Planning under review. Planning disapproved 9/8/20. Need resubmittal	Bldg. - Disapproved 9/14/20			nh
95	Morro Rock	311-A	Tahiti	10/26/22	B22-0245	Addendum #1 to B22-0125 - Replace existing framed roof with pre-fab trusses.	Ready to issue	Ready to issue			
96	Buswell & Chen	166	Trinidad St.	10/5/22	B22-0223	Remodel bathrooms and kitchen and replace 626 sf of roof, roof deck.	Planning Approved 12/10/22	Bldg. - Disapproved 11/01/22			nh
97	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane., new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal. Permit application expired	Bldg. - Approved 3/27/19			wu

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
98	Regan	429	Tulare Ave.	5/27/22	B22-0106	531 sf second floor addition that includes a study and bathroom, stairwell and a 200 sf second story deck.	Planning Approved 6/7	Ready to issue			gc
99	Tibbs	6	Zanzibar St.	12/15/22	B22-0266	100 sf interior remodel of small bathroom and conversion of a laundry room to a powder/utility room.		Bldg. - Approved 12/19/22			
100	Gill	9	Zanzibar St.	12/15/22	B22-0267	316 sf interior remodel which includes a full kitchen remodel, two bathroom remodels and a conversion of a laundry room to a powder/utility room.		Bldg. - Approved 12/19/22			
101	Leonard	550	Zanzibar St.	1/12/22	B22-0008	New 1855 SFR w/482 sf garage and 144 sf balcony deck.	Planning disapproved 2/1/22. Resubmittal approved 4/21/22.	Ready to issue			nh
<b>Planning Projects &amp; Permits with Final Action:</b>											
1	State Parks	11	State Park Road	11/30/2022	MIN22-008	Minor Modification to CDP14-03R for four 500sf modular carpports to be placed in the State Park campground woodlot in existing gravelled parking area. Carpports to be used for parking of Fire engines and sensitive equipment.	Under review. Project deemed complete 12/15/2022. Noticed on 12/19/22 with pending action on or after 1/3/23.				cj
2	City of Morro Bay		Citywide		-	Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project - Zoning Code/ Coastal Implementation Update - Amendment of Title 17 of Morro Bay Municipal Code	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. Public draft of combined General Plan/ LCP released May 2018 for review. Worked with Coastal staff on CCC input received during 2019. Adoption Draft to be reviewed by Planning Commission at 10/20/20 hearing. Admin Draft of EIR received and to be circulated. Reviewed by PC at the 11/4/2020 & 11/17/20, 12/1/20, & 12/15/20 PC meetings. 3-16-2021 meeting is for review of the EIR and make recommendations to City Council for adoption. Council review of adoption draft held on 4/27/21. Hearing continued to the 5/11 and then 5/25/21 Council meetings. Plan adopted by Council on 5/25/21. LCP Amendment application submitted to Coastal Commission for certification. Coastal Commission LCP certified Coastal Land Use Plan (LUP) on August 12, 2021. Zoning Code Update in progress, reviewed by PC in 12/2021 and Adoption Hearing Draft reviewed on 8/16/22, 9/6/22, and 9/20/22. PC adopted Resolution 08-22 forwarding recommendation for adoption to City Council which held adoption hearing on 10/25/22, with second reading of Ordinance 654 to be at Council meeting on 11/22/22. LCP amendment application submitted to Coastal Commission on 12/12/2022.				
3	Bean	197	Main Street (formerly known as 199 Sandpiper)	12/19/19	CUP19-20, CDP19-04, VAR20-001	CUP/CDP for new home on triangular small parcel on the bluff. Proposed home is 526 sf 2-stories with access easement to Main Street	Project deemed incomplete, comment letter sent January 7, 2020. Resubmittal received 10/26/20 adding a variance request, under review. Incomplete, need resubmittal. Resubmittal received September 14, 2021, under review. Incomplete letter sent on Oct 4, 2021. Resubmittal received 10/29/21. Planning comment letter sent November 10, 2021, requires resubmittal. Project deemed complete and scheduled for planning commission on May 17, 2022. Planning Commission denied the project, and the owner has appealed. Scheduled for City Council, August 23, 2022 at the request of the applicant. City council upheld the appeal and approved the project. Project appealed to California Coastal Commission, pending review.				nh
	Perry	3202	Beachcomber	4/14/21	CDP21-014/ CUP/ VAR21-001 and PAR22-02	Demo existing home, build new 2063 sf home with subterranean garage and storage area of 2267 sf. Application approval is dependent on completion of LTM21-01. VAR request for height variance on roof top deck railing. Project requires lot line adjustment and lot merger to create 2 parcels from the three underlying parcels.	Submittal received, but not complete. Balance of submittal received 4/14/21, under review. Incomplete letter comments sent for LTM on 4/30/21 and CDP on 5/4/21. Resubmittal received 6/24/21 with VAR request, under review. Review comments sent 7/20/21. Resubmittal received 11/24/21, under review. Planning disapproved, comments sent 12/14/21, requires resubmittal. Resubmittal received 12/20/21, under review. Planning comments sent 1/11/22, requires resubmittal. Resubmittal received on March 10, 2022 - did not include resubmittal of LTM21-01 required to determine completeness. Comment letter sent 4/8/22, requires minor changes. Project not complete until resubmittal and approval of LTM. Partial submittal received June 7, 2022, is on hold until complete submittal documents and related submittal fees are received. Resubmittal July 11, 2022 with parcel map, review comments sent on August 6, 2022, requires a resubmittal. Resubmittal received 9-7-22, planning approved, PW disapproved, comment letter sent on 9/29/22. Resubmittal received and approved by PW 11/7/22. Project will be scheduled for Planning Commission hearing on January 3, 2023. PC approved and permit was issued.				nh
	Novak	370	Bonita	10/14/2022	CDP22-033	Admin CDP for the new construction of a 554sq detached ADU.	Incomplete letter sent on 10/26/22, Resubmittal on 11/28, completeness letter sent 12/14, preparing noticing for 12/22. Pending Coastal Commission appeals period 1/18/23.				gc

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
	Hayes Castro	979	Las Tunas St.	8/22/2022	CDP22-028	Admin CDP to convert 642sf garage to an ADU.	Incomplete letter sent on 9/9/22, resubmittal on 10/26, staff requested minor edits on 11/2, project resubmittal on 12/13. completeness letter sent 12/15, preparing noticing for 12/22. Pending Coastal Commission appeals period 1/18/23				
	Perry	3230	Beachcomber	6/24/21	CDP21-024/ CUP/ VAR21-002	New 1537 sf sfh with attached 380 sf garage. VAR request for roof top deck railing height. Application approval is dependent on completion of LTM21-01	Review comments sent 7/20/21, requires resubmittal. Resubmittal received 11/24/21, under review. Planning disapproved, comments sent 12/10/21. Resubmittal received 12/20/21, under review. Planning comment letter sent 1/6/22, requires resubmittal. Resubmittal received Feb 1, 2022 - project deemed complete 2/16/22, but cannot be presented to PC until Parcel Map (shown with 3202 Beachcomber) is deemed complete. Companion project has been deemed complete and is ready to be scheduled for Planning Commission Hearing. This proposed home will be scheduled for the same PC hearing on January 3, 2023. PC approved and permit was issued				gc  nh
Staff Directory: Scot Graham - sg      Chad Ouimet - co      Cindy Jacinth - cj      Pam Newman - pn      Nancy Hubbard - nh      Gabby Cortez - gc      Susana Toner - st											

RESOLUTION NO. PC 03-23

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION  
APPROVING COASTAL DEVELOPMENT PERMIT (CDP22-023) TO APPROVE DEMO  
OF AN EXISTING HOME AND CONSTRUCTION OF A NEW SINGLE-FAMILY HOME  
LOCATED AT 3009 BEACHCOMBER DRIVE LOCATED WITHIN THE COASTAL  
COMMISSION APPEAL JURISDICTION

**WHEREAS**, the Planning Commission of the City of Morro Bay (the “City”) conducted a continuance public hearing January 17, 2023, conducted in a hybrid format with both an in-person meeting at the Morro Bay Veterans Memorial Building, 209 Surf Street, Morro Bay, CA 93442 as well as through virtual public participation provided telephonically through Zoom, for the purpose of considering the approval of the CDP22-023 for a demo of an existing home and new construction of a single-family home; and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, in the regular public hearing on December 20, 2022, the Planning Commission continued the hearing to January 17, 2023 to consider additional information; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the appellant, applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 1j for demo of an existing single-family home and Section 15303 Class 3a for new construction of a single-family home on a residentially zoned parcel. Additionally, none of the Categorical Exemption Exceptions, noted under Section 15300.2, apply to the project.

Coastal Development Findings:

1. The Planning Commission finds that the project is consistent with applicable provisions of the Local Coastal Program and Chapter 3 of the California Coastal Act for demo of an existing single-family home and construction of a new single-family home.

2. The Planning Commission finds the project, as conditioned, is consistent with the character of the neighborhood in which it is located. It is surrounded by compatible uses of moderate density residential development; and is a design, size and scale similar to nearby structures.
3. The Planning Commission finds that the project has complied with the requirements of Policy PS 3.7 and has provided the necessary supporting studies to indicate that the project can be built in a manner consistent to the Local Coastal Program coastal hazards policies.
4. The Planning Commission finds that the project has complied with the requirements of Policy C 1.1 to ensure that the proposed development meets the criteria necessary to protect the coastal dune ESHA.

**Section 2. Action.** The Planning Commission does hereby approve Coastal Development Permit CDP22-023 for the property located at 3009 Beachcomber Drive subject to the following conditions:

### **STANDARD CONDITIONS**

1. This permit is granted for the proposed demo of an existing home and construction of a new home on the parcel providing 3,335-sf of conditioned living space with a 715-sf garage. The home is single story with a side yard courtyard/entryway on an 8,100 square foot parcel adjacent to the sand dunes and ocean beyond. The project zoning is R-1/S2.A and is located within the coastal appeals jurisdiction. The Coastal Land Use and proposed new zoning designation is Moderate Density Residential (RS-B).
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project

shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants' failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

### **PLANNING CONDITIONS**

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on

- weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
  4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
  5. Architecture: Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Director.
  6. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. A licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Director. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
  7. Landscaping/Existing Tree Removal: Efforts should be made to retain the large existing tree in the SE portion of the parcel. Other existing trees removed as part of the development of the property shall be mitigated by adding 2 new trees to the landscape plan for every tree removed that exceeds a trunk diameter of 6 inches. The mitigation trees shall be native and drought resistant and shall be 15-gallon containers or larger. All plants specified on the approved landscape plans shall provide coverage all bare earth areas using drought tolerant, native plants and trees that will reach a 90% coverage within 5 years.
  8. Grass Pavers: The lawn area identified on the landscape plan to the south of the driveway that has an underlying grass paver system cannot be used for parking vehicles.
  9. Improvements in OA zone: The applicant shall remove all existing pavers/non-native materials previously installed in the OA zone and is prohibited from making any improvements or alterations beyond the westerly edge of the residentially zoned portion of the property. The OA Zoned land area must be preserved or re naturalized to its native condition.
  10. Shoreline Armoring Prohibited. Future shoreline armoring (including but not limited to seawalls, revetments, retaining walls, gabion baskets, tie backs, piers, groins, caissons/grade beam systems, etc.) that is intended to protect or would have the effect of protecting the house and related development

shall be prohibited. Shoreline protective devices (including replacement, augmentation, addition, and expansion associated with an existing device) shall not be allowed except where required to serve a coastal-dependent use consistent with Morro Bay General Plan/Coastal Land Use Plan Policy PS-3.3

11. Section 30235 Waiver. Any rights that the Permittees may have to construct and/or maintain shoreline armoring to protect the house and related development, including rights that may exist under Coastal Act Section 30235, the City of Morro Bay Local Coastal Program, or any other applicable laws, are waived.

## **BUILDING DIVISION CONDITIONS**

### **A. CONDITIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:**

- 1.) Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
- 2.) The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
- 3.) The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
- 4.) The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
- 5.) A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage

as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.

- 6.) Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
- 7.) **BUILDING PERMIT APPLICATION:** To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.
- 8.) The Title sheet of the plans shall include, but not limited to:
  - Street address, lot, block, track, and Assessor Parcel Number
  - Occupancy Classification(s)
  - Construction Type
  - Maximum height of the building allowed and proposed
  - Floor area of the building(s)
  - Fire sprinklers proposed or existing
  - Minimum building setback allowed and proposed

All construction will conform to the 2019 California Building Code (CBC), 2019 California Residential Code (CRC), 2019 California Fire Code (IFC), 2019 California Mechanical Code (CMC), 2019 California Plumbing Code (CPC), 2019 California Electrical Code (CEC), 2019 California Energy Code, 2019 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

***(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)***

**B. CONDITIONS TO BE MET DURING CONSTRUCTION:**

- 1.) **SITE MAINTENANCE:** During construction, the site shall be maintained to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained through the duration of the project. The storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.
- 2.) **ARCHAEOLOGICAL MATERIALS:** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the

Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.

- 3.) **FOUNDATION SETBACK VERIFICATION:** Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some lot types.
- 4.) **BUILDING HEIGHT VERIFICATION:** Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some site-specific projects.
- 5.) **EXISTING BUILDINGS:** Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the maximum sill height requirements of section R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2019 California Residential Code.

**C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:**

- 1.) Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.
- 2.) Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
- 3.) If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.

- 4.) If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
- 5.) Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
- 6.) Final T-24 energy reports (Certificates of Installation).

## **PUBLIC WORKS CONDITIONS**

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements. All proposed projects must complete the "Performance Requirement Determination Form" to determine if any requirements should be submitted. The requirements can be found in the Stormwater management guidance manual on the City's website <https://www.morrobayca.gov/DocumentCenter/View/11114/MB-StormwaterManagement-EZ-manual>
2. Frontage Improvements: The installation of frontage improvements is required. Show the installation of a driveway approach (per City detail B-6 without sidewalk), concrete mountable curb & gutter (per City detail B-1) and a street tree. (MBMC 14.44.020)
3. Sewer Lateral: Indicate and label if private sewer lateral pipe will be replaced or to remain in place. If the existing sewer lateral is proposed to remain in place, then perform a video inspection of the lateral (from the clean-out at structure to the connection at the sewer mainline pipe) and submit to Public Works via flash drive, prior to building permit plan approval. Requirements for the sewer video inspection can be located on the City's website at the following location:  
<https://www.morrobay.ca.us/DocumentCenter/View/13500/Private-Sewer-Line-Video-Requirements>  
Lateral shall be upgraded, repaired or replaced as required to prohibit inflow/infiltration. All repairs or replacements identified from sewer video, shall be noted on approved set of plans, prior to plan approval. (MBMC 14.07.030)
4. Sewer Backwater Valve: Indicate and label sewer backwater valve on plan. A backwater valve, extended to and accessible from grade for maintenance, shall be installed on every Building sewer. Exception: Installation of backwater valve shall not be required when, to the satisfaction of Building Official, it is determined that the intent and purpose of this section is otherwise met. (MBMC 14.07.010.C). Page 2 of 2
5. Erosion and Sediment Control Plan: For small projects less than 1/2 acre and less than 15% slope, provide a standard erosion and sediment control

- plan. Show on plans the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
6. Water Meter: Indicate on plans location and sizes of both water meter and water lateral. Coordinate sizes with Fire Sprinkler plans. (MBMC 13.04.010 & 14.04.010.C)
  8. Grading and Drainage: Indicate on plans the existing and updated contours, drainage patterns, spot elevations, finish floor elevation and all existing and proposed drainage pipes and structures.
  7. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC. See attached utility maps.

**Add the following Notes to the Plans:**

1. Any damage, as a result of construction operations for this project, to City facilities, i.e., curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permit application and requirements are available on the City's website at the following location: <https://www.morrobay.ca.us/197/Public-Works>
  - A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location).
  - A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement.
  - If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by a temporary encroachment permit within the City right-of-way.

**FIRE DEPARTMENT CONDITIONS:**

1. Fire Safety during Construction and Demolition shall be in accordance with 2019 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration, and demolition operations to provide reasonable safety to life and property from fire during such operations.

- 2. Automatic fire sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903) and Morro Bay Municipal Code (Section 14.08.090). Submit all plans and specification sheets for the required automatic fire sprinkler system to the Fire Departments for review and approval prior to installation.
- 3. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on 17th day of January 2023 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Chairperson Stewart

ATTEST

\_\_\_\_\_  
Scot Graham, Community Development Director

The foregoing resolution was passed and adopted this 17th day of January 2023.



AGENDA NO: B-1

MEETING DATE: January 17, 2023

# Staff Report

**TO:** Planning Commissioners

**DATE:** January 17, 2023

**FROM:** Nancy Hubbard, Contract Planner

**SUBJECT:** Continuation Hearing for approval of Coastal Development Permit (CDP22-023) for the proposed demo of an existing home and construction of a new home that complies with all the development standards of the zoning district. The project zoning is R-1/S2.A and is located within the coastal appeals jurisdiction. The Coastal Land Use and proposed new zoning designation is Moderate Density Residential (RS-B).

**RECOMMENDATION:**

*APPROVE THE PROJECT* by approving Planning Commission **Resolution 3-23** that includes Findings and conditions of approval for the project, as depicted on site development plans submitted to the City on November 1, 2022



**LEGAL DESCRIPTION/APN:**

ATASCADERO BEACH TRACK/ 065-233-039

**PROJECT DESCRIPTION:**

The Planning Commission voted 3:2 in favor of a continuance to request the applicant provide a site visit to the property so city representatives could review the condition of the existing home. At the time of the writing of the staff report the site visit had not taken place and is therefore not in the staff report.



The existing home was designed by James Maul as his private residence in 1971. James Maul earned his architectural degree at USC and in 1970 moved his family to Morro Bay. He taught at Cal Poly as well as managed his own architectural practice. James Maul passed away in October 2018. The home was sold in 2018, prior to James Maul's death, and the new owner submitted a planning application to repair and modernize the home with the intent on retaining the character and most of the unique characteristic of the Jim Maul design. That project was approved by Planning Commission in 2019, followed by issuance of a building permit, but the work never commenced. Upon a structural review of the existing conditions (by SSG Structural Engineering) it was discovered that the aging home had significant structural damage and could not feasibly be restored.



**STRUCTURAL FINDINGS AND UPDATED HISTORIC BUILDING EVALUATION:**

Cultural Resource Services prepared an update to their previously issued April 19, 2019, historic building assessment (See Exhibit E) to consider the information from the June 2022 structural investigation of the existing condition of the home (Ashley & Vance Engineering). The structural investigation discovered water damage, termite damage and wood rot throughout the structure. The exterior eave framing, window and door

fenestrations and roof have water damage and there is evidence of years of water intrusion into the interior of the home. The foundation has several cracks indicative of foundation settlement and stress on an inadequately reinforced foundation system. The existing structure does not meet current building code because the



Figure 2: Water intrusion visible at ceiling

existing lateral force resisting system is deficient and the home is likely to sustain significant damage in the event of an earthquake.



Figure 10: Visible water and termite damage at exterior foundation post.



Figure 11: Visible cracks in the foundation stem wall

Approved qualified historic properties are afforded benefits offered by the California Historical Building Code, which provides alternatives building regulations for repairs and alterations necessary for preservation, rehabilitation, relocation or change in use of a historic building. This code, however, does not exempt historic structures from meeting modern seismic requirements and other safety and structural requirements. The city of Morro Bay does not have a historic property ordinance or a list of historic sites/structures, and the subject home was not submitted for consideration of listing eligibility by the California Register of Historical Resources. The Secretary of the Interior's Standards for the Treatment of Historic Properties include these four treatment approaches: Preservation, Rehabilitation, Restoration and Reconstruction. Based on the extent of the damages, Cultural Resource Services concludes that from a preservation standpoint, the only option for this property would be Reconstruction. Of the four treatment options available, reconstruction is the least preferred and is only selected when the historic structure did not survive but the site still benefits from its status as a 'place marker' providing significant information to the general public.

However, this site is a private residence, not open to the public and the value of the structure for interpretive purposes is by nature limited. The report concludes by stating that reconstruction does not appear to be a relevant option, and requests archival photos of the home be taken prior to demolition.

**NO HISTORIC PRESERVATION ORDINANCE:**

This property appears to have been under the same family of ownership until 2018 at which time it was sold to the previous applicants who planned to update and improve the home retaining much of the original design and character. The property was put on the market in 2021, likely because the proposed renovation was not possible due to the structural damage to the home. In March 2021 the current owners, aware of the structural issues with the existing home, purchased the property with the intent of demolishing the failing existing home and building a new home that meets current code requirements. The existing home was determined to be of local historic significance and an eligible historic property (i.e. eligible for submittal and consideration of the California Register of Historical Resources listing) prior to the discovery of the structural damage to the home.

The City of Morro Bay does not currently have a historic preservation ordinance. However, in review of other ordinances from local cities, the following guidance is included in these other ordinances, which may provide some context for historic preservation ordinance requirements related to similar situations:

1. (SLO City) Structural Feasibility is defined as: A building or structure that can be repaired or rehabilitated as to be safe and usable without significant loss of historic fabric
2. (SLO City) Demolition of historic resources is allowed if the project meets the following findings: The historic resource is a hazard to public health or safety and repair or stabilization is not structurally feasible or denial of the application for demolition will constitute an economic hardship, defined as:
  - i. Disallowing demolition will diminish the value of the subject property so as to leave substantially no economic value,
  - ii. Sale or rental of the property is impractical when compared to the cost of holding the property for uses permitted in the zoning district and
  - iii. utilization of the property for lawful purposes is prohibited or impractical.
3. (Goleta) Demolition of a historic resource is allowed if the project meets the following findings:
  - i. The potential negative effects are outweighed by the benefits of the associated replacement project,
  - ii. There is sufficient evidence that the project retains no reasonable economic use and retention would cause undue hardship considering the project's condition, location, current market value and the cost of rehabilitation,
  - iii. Relocation of the resource is infeasible,
  - iv. The demolition is necessary to promote health, safety or welfare of the residence of the city including the need to eliminate blight or nuisance or correct an unsafe or dangerous condition.

**PUBLIC NOTICE:**

This project was continued to a date certain and as such does not require renotification.

**ENVIRONMENTAL DETERMINATION:**

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301, Class 1j, for demo of existing structure and Section 15303, Class 3a for new construction of a residential home in a residential zone. Additionally, none of the Categorical Exemption Exceptions, noted under Section 15300.2, apply to the project.

**CONCLUSION:**

The project as proposed is consistent with all required development standards of the Zoning Ordinance and all applicable provisions of the General Plan and Local Coastal Plan with incorporation of the recommended conditions of approval.

**RECOMMENDATION:**

Staff recommends the Planning Commission conditionally approve Coastal Development Permit #CDP22-023 for the proposal for the project at 3009 Beachcomber Drive, as shown on plans submitted to the City on November 1, 2022, by adopting Planning Commission **Resolution 3-23** which includes the findings and conditions of approval of the project.

**EXHIBITS:**

- Exhibit A – Planning Commission Resolution 3-23
- Exhibit B – January 17, 2023, Staff Report - Continuation
- Exhibit C – December 20, 2022, Staff Report
- Exhibit D – Graphics/Plans
- Exhibit E – Structural Review report- Existing Home
- Exhibit F – Architectural Historic Evaluation (original) and update letter



AGENDA NO: B-1

MEETING DATE: December 20, 2022

# Staff Report

**TO:** Planning Commissioners

**DATE:** December 20, 2022

**FROM:** Nancy Hubbard, Contract Planner

**SUBJECT:** Application for a Coastal Development Permit (CDP22-023) for the proposed demo of an existing home and construction of a new home on the parcel providing 3,335-sf of conditioned living space with a 715-sf garage. The home is single story with a side yard courtyard/entryway on an 8,100 square foot parcel adjacent to the sand dunes and ocean beyond. The project zoning is R-1/S2.A and is located within the coastal appeals jurisdiction. The Coastal Land Use and proposed new zoning designation is Moderate Density Residential (RS-B).

**RECOMMENDATION:**

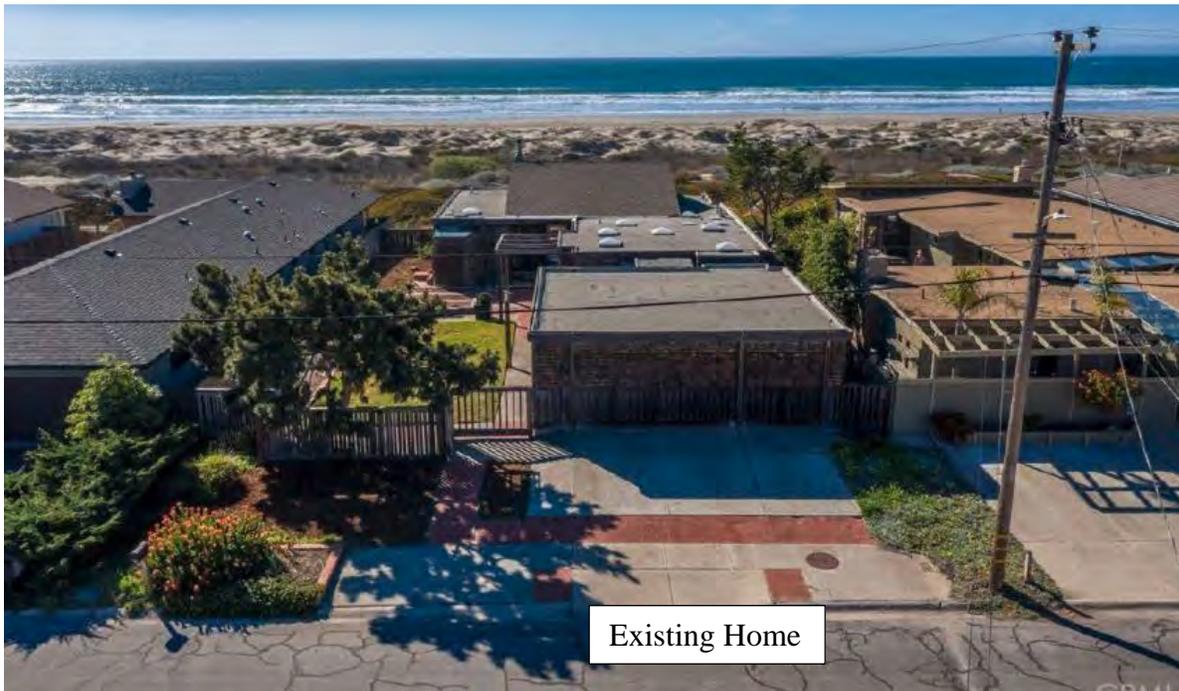
*APPROVE THE PROJECT* by approving Planning Commission **Resolution 10-22** that includes Findings and conditions of approval for the project, as depicted on site development plans submitted to the City on November 1, 2022



**LEGAL DESCRIPTION/APN:**  
ATASCADERO BEACH TRACK  
065-233-039

**PROJECT DESCRIPTION:**

The Applicant is requesting approval of a Coastal Development Permit for the demo of the existing home, which was an architecturally significant, but aging 1971 home designed by James Maul as his personal residence. A recent structural review of the home (See Exhibit D) discovered that there is severe structural damage to the home that renders it unsuitable for repair and restoration. The CEQA historic evaluation update letter concurs with the findings of the structural review and requests photo documentation of the home prior to tear-down. The proposed project is to build a new single-story home that will be 3,335 sf of living space with a 715-sf garage. The proposed new home is a modern design with a flat roof.



**PERMITS/STUDIES REQUIRED:**

The Project requires a Coastal Development Permit for the demo of the existing home and construction of a new home. Because of the age of the home and the local notoriety of the architect, Jim Maul who designed and lived in the existing home, the project required an update letter to the previously provided CEQA historic evaluation of the home to consider the new information from the structural review. The project also required an updated Biologic study of the dunes natural area and related buffer and a Geology report on the Coastal Hazards based on the location of the site. See below for discussions on each report and attached exhibits for the reports.

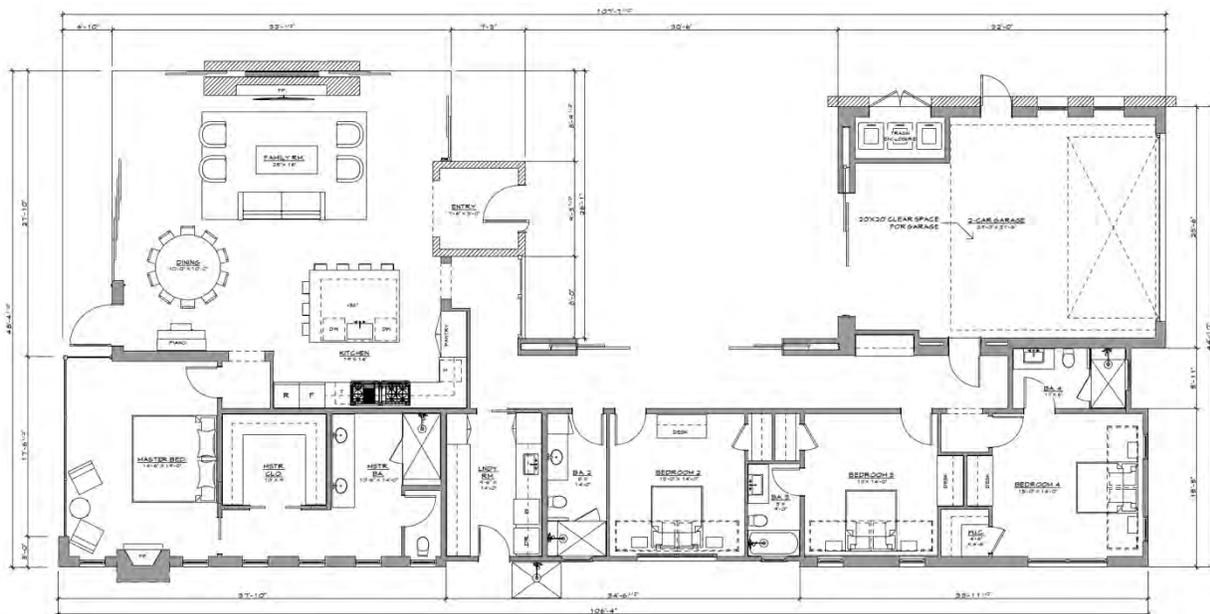
**PROJECT HISTORY:**

The existing home was designed by James Maul as his private residence in 1971. The owners of this home in 2018 wanted to repair and modernize the home with the intent on retaining the character and most of the unique characteristic of the Jim Maul design. That project was approved by Planning Commission in 2019, followed by issuance of a building permit, but the work never commenced. The property was sold in early 2021 and upon a structural review of the existing conditions, it was determined that the aging home had significant structural damage and could not be restored as a habitable space. The new owners have submitted a proposal to demolish the existing home and build a new modern home.



**SUMMARY OF CURRENT PROPOSED PROJECT:**

The proposed home is designed like other homes in the area, with a focus on indoor and outdoor spaces oriented towards the views to the west. The street appeal is primarily landscaping to soften the driveway, garage, and either a front entry door or a fenced courtyard with an entry gate that leads visitors to the front door of the home. This home has the front entry at the center of the home on the north side, also through a courtyard area. The proposed home is a single-family home with 4 bedrooms and 4 bathrooms. The common area spaces and the master bedroom are on the west side of the home with the view of the dunes and ocean beyond.



**PROJECT ANALYSIS:**

**DEVELOPMENT STANDARDS/DESIGN GUIDELINES:**

The proposed project meets the development standards of the zoning district.

	<b>R-1/S.2A Standards</b>	<b>Proposed Project</b>
<b>Front Setback</b>	15 feet	20 feet
<b>Side-Yard Setback</b>	5 feet	5 feet minimum
<b>Rear Setback</b>	5 feet	8 feet
<b>Height (from ANG)</b>	14 feet, or up to 17 feet if 4/12 peaked roof design	14 feet (flat roof design)
<b>Lot Coverage</b>	50%	50%

**PROJECT ZONING/LAND USE DESIGNATION:**

The project site is zoned R-1 with a S.2 A overlay. The R-1 zoning designation has the purpose of stabilizing and maintaining the residential character of these areas. The S.2A overlay allows lesser setbacks and higher lot coverage but imposes a single-story height restriction of 14 feet (up to 17-foot heights allowed for 4/12 or steeper peaked roofs or other architectural features). The proposed new home meets the development standards of the zoning district and complies with the Land Use Designation for moderate density residential.

<b>Adjacent Zoning</b>			
<b>North:</b>	R-1/S.2A Single Family Residential	<b>South:</b>	R-1/S.2A Single Family Residential
<b>East:</b>	R-1/S.2A Single Family Residential	<b>West:</b>	Open Area – protected ESH (Dunes) and beach

<b>Site Characteristics</b>	
<b>Site Area</b>	8100 square feet
<b>Existing Use</b>	Existing single-family home (circa 1971)
<b>Terrain</b>	Primarily Flat
<b>Vegetation/Wildlife</b>	Typical residential vegetation, adjacent to Dunes
<b>Archaeological Resources</b>	N/A
<b>Access</b>	Beachcomber Drive

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Residential Moderate Density
Base Zone District	R-1
Zoning Overlay District	none
Special Treatment Area	S.2A
Combining District	n/a
Specific Plan Area	North Morro Bay
Coastal Zone	Within the Coastal Commission Appeal Jurisdiction

**MATERIALS BOARD:**

Below is a photo simulation of the proposed home showing perspective with neighboring homes. Also included are the proposed exterior colors and materials to be used.



**RESIDENTIAL DESIGN GUIDELINES AND NEIGHBORHOOD COMPATIBILITY:**

The project meets the residential design standards and neighborhood compatibility. Most of the homes are oriented to the west, with courtyard spaces behind a front fence that aligns with the garage frontage. This style has been predominating in the neighborhood for decades (the Jim Maul House has the same layout).

- Relationship to homes in the neighborhood**  
 The subject home has the same frontage layout as most homes in the neighborhood, but with a bold interest and articulation due to the modern design.
- Scale and Mass**

The home is designed in a similar scale and mass of most of the homes in the neighborhood.

3. **Surface Articulation**

With the large roof overhangs and updated modern frontage, the home has more than adequate articulation in the design.

4. **Building Orientation**

The home is appropriately placed on the site.

5. **Garage and Driveway**

The garage and driveway are updated and modern and with the landscaping provide a very appealing street scape.

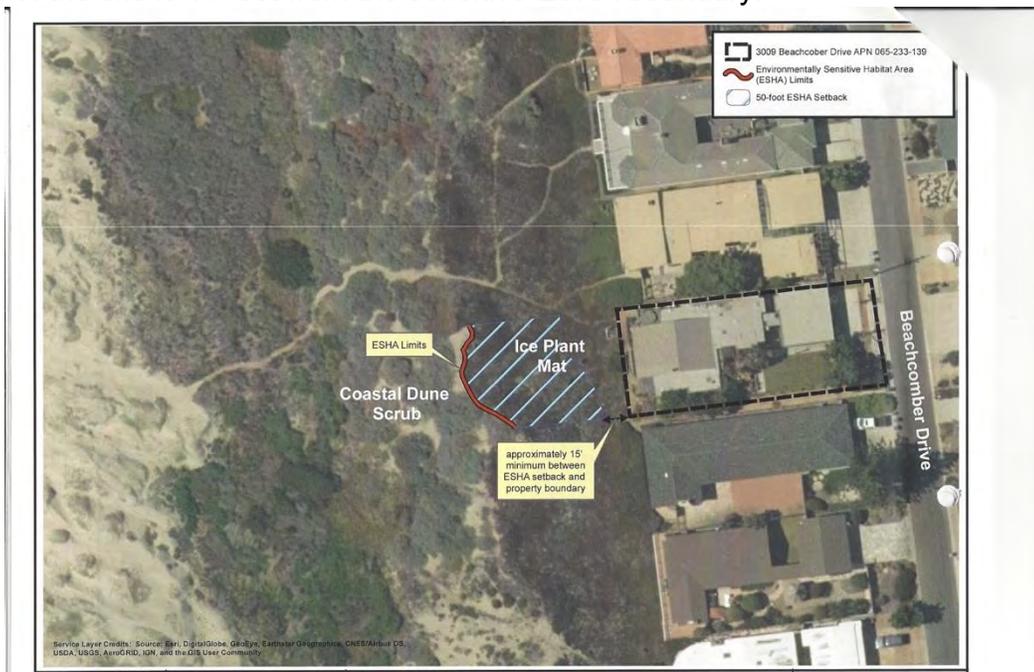
6. **Building materials**

Nice blend of material and colors in a neutral pallet.

7. **Architectural Elements**

Like most newer homes in the neighborhood, they have unique features to highlight the design aesthetic for the limited amount of house that is visible from the street.

**SENSITIVE DUNES DELINEATIONS:** This neighborhood has larger lots than residential lots east of Highway 1. The subject lot is 8100 square feet and is immediately adjacent to Open Space on the west, specifically the coastal dunes which are an environmentally protected area (Environmentally Sensitive Habitat Area “ESHA”). The applicants obtained an updated ESHA Delineation report prepared by Sage Institute in July 2022 (See Exhibit F) that indicates that the boundary of the residentially zoned portion of the site is 15 feet from the sensitive ESHA boundary.



**CEQA HISTORIC BUILDING EVALUATION:**

The previous owner engaged a firm to provide a CEQA historic building assessment of the home, which concluded that the existing structure, although not listed on the National Register of Historic Places or either California registries, does meet three of the criteria that appear to make it eligible as a local historic resource. The update letter to the previously provided Historic Evaluation prepared by Cultural Resource Services is provided in Exhibit E with the original report. The update letter was prepared following the structural evaluation that determined that the home was too damaged and deteriorated to remodel and modernize. The update letter concurs with the findings in the structural report, but requests that prior to demolition of the home, it should be professionally photographed, in black and white archival quality images of each elevation of the exterior. These photos should be retained by the City of Morro Bay, the Morro Bay Historic Society and the History Center of San Luis Obispo County.

**COASTAL HAZARD AREA:**

The 2021 General Plan and Local Coastal Land Use Plan identify only a small portion of this parcel (only in the 2100-year modeling) as being in an area of higher potential Coastal Hazard related to Sea Level Rise. See Exhibit C GeoSolutions Geology Report. The project has planning conditions in the attached resolution that are specifically required by the California Coastal Commission to protect the coast and make the property owners aware of the risks.



**PUBLIC NOTICE:**

Notice of this item was published in the San Luis Obispo Tribune newspaper on December 9, 2022, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

**ENVIRONMENTAL DETERMINATION:**

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301, Class 1j, for demo of existing structure and Section 15303, Class 3a for new construction of a residential home in a residential zone. Additionally, none of the Categorical Exemption Exceptions, noted under Section 15300.2, apply to the project. See also ESHA determination discussion above in “Project Zoning and Land Use Designation”.

**CONCLUSION:**

The project as proposed is consistent with all required development standards of the Zoning Ordinance and all applicable provisions of the General Plan and Local Coastal Plan with incorporation of the recommended conditions of approval.

**RECOMMENDATION:**

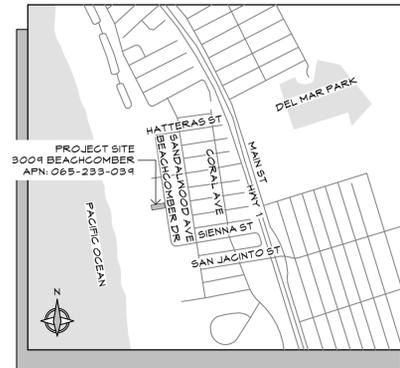
Staff recommends the Planning Commission conditionally approve Coastal Development Permit #CDP22-023 for the proposal for the project at 3009 Beachcomber Drive, as shown on plans submitted to the City on November 1, 2022, by adopting Planning Commission **Resolution 10-22** which includes the findings and conditions of approval of the project.

**EXHIBITS:**

- Exhibit A – Planning Commission Resolution 10-22
- Exhibit B – Graphics/Plans
- Exhibit C – Geo Solutions Engineering Geology Investigation (October 2022)
- Exhibit D – Structural Review report- Existing Home
- Exhibit E – Architectural Historic Evaluation (original) and update letter
- Exhibit F – Sage Institute – Dune ESHA Setback Verification



VICINITY MAP



PROJECT DIRECTORY

**OWNER:**  
STUART & NATALIE ORGILL  
CASTLE WALLS 2  
1321 UPLAND DR, #6462  
HOUSTON, TX 77043  
  
PHONE: (801) 472-4444  
EMAIL: stuartorgill@gmail.com  
natalieorgill@gmail.com

**ARCHITECT:**  
ISAMAN DESIGN, INC.  
2420 BROAD STREET  
SAN LUIS OBISPO, CA 93401  
CONTACT: BILL ISAMAN  
  
PHONE: (805) 544-5672  
EMAIL: bill@isamandesign.com

**SURVEYOR:**  
MBS LAND SURVEYS  
3559 SOUTH HIGUERA STREET  
SAN LUIS OBISPO, CA 93401  
CONTACT: MIKE STANTON  
  
PHONE: (805) 544-1960  
CELL: (805) 440-4215  
EMAIL: mike@mbslandsurveys.com

**SOILS ENGINEER:**  
GEO SOLUTIONS  
440 HIGH STREET  
SAN LUIS OBISPO, CA 93401  
CONTACT: KRAIG GROZIER  
  
PHONE: (805) 543-8539  
FAX:  
EMAIL: info@geosolutions.net

**LANDSCAPE:**  
JGS DESIGNS  
1320 VAN BEURDEN DRIVE,  
SUITE 202  
LOS OSOS, CA 93402  
CONTACT: JEFFREY G. SMITH  
  
PHONE: (805) 805-440-0955  
EMAIL: Jeffrey@jgsdesigns.com



PROJECT DATA

**A.P.N.:** 065-233-039  
**PROJECT DESCRIPTION:**  
DEMO OF THE SEVERELY DAMAGED EXISTING RESIDENCE BUILT IN 1971 (SEE STRUCTURAL INVESTIGATION REPORT DATED JULY 6 2022). CONSTRUCTION OF NEW 3,300 SF 4 BED, 4 BATH SINGLE FAMILY RESIDENCE WITH 690 SF 2-CAR GARAGE LOCATED AT 3009 BEACHCOMBER, MORRO BAY, CA.

**SITE STATISTICS:**  
**PROJECT ADDRESS:** 3009 BEACHCOMBER DR MORRO BAY, CA 93442

**ZONING:** R-1/92.A  
**17.40.050-D.S.2.A OVERLAY ZONE STANDARDS:**

**LOT AREA:** 8,100 SF  
**LOT WIDTH:** 60.0'

**FRONT SETBACK:** 15'-0"  
**SIDE YARD SETBACK:** 5'-0"  
**REAR SETBACK:** 5'-0"

**AVERAGE EXISTING GRADING (AEG.):** 25.0'+23.0'+48.0'  
48.0'+2+24.0'  
(AEG)

**HEIGHT LIMIT:**  
14' FROM AVERAGE EXISTING GRADE FOR FLAT ROOFS. PEAKED (1:4:12) ROOFS OR OTHER ARCHITECTURAL FEATURES UP TO 17'

**ALLOWABLE MAX HT:** 24.0' (AEG) + 14' = 38.0' FLAT ROOF  
24.0' (AEG) + 17' = 41.0' ARCHITECTURAL FEATURES

**PROPOSED BUILDING HEIGHT FROM AEG:** 14'-0" (38.0')

**LANDSCAPED AREAS:** 2,219 SF (27.4%)  
**PERVIOUS HARDSCAPE AREA:** 285 SF (3.3%)  
**IMPERVIOUS HARDSCAPE AREA:** 450 SF (11.7%)

**BUILDING STATISTICS:**

**RESIDENCE (CONDITIONED):** 3,300 SF  
**TOTAL CONDITIONED:** 3,300 SF

**2-CAR GARAGE (UNCONDITIONED):** 690 SF  
**TRASH ENCLOSURE (UNCONDITIONED):** 60 SF

**PROPOSED ROOMS:** 4 BED + 4 BATH

**CONSTRUCTION TYPE:** TYPE V-B  
**NUMBER OF STORIES:** 1  
**FIRE SPRINKLERS REQ'D:** YES

**PROPOSED SITE ZONING STATISTICS:**

**MAX LOT COVERAGE PERMITTED:** 4,050 SF (50%)  
(8,100).50

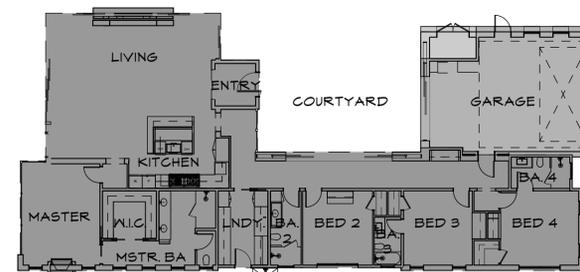
**PROPOSED LOT COVERAGE PERMITTED:** 4,050 SF (50%)

**LOT COVERAGE DEFINED AS THE OUTER-MOST WALLS OF THE STRUCTURE**

**PROPOSED LOT COVERAGE DIAGRAM:**  
SCALE: 1/16" = 1'-0"

SHEET INDEX

T1.0 TITLE SHEET  
C1.0 EXISTING SITE PLAN/SURVEY (BY OTHERS)  
A1.0 COLOR & MATERIALS BOARD  
A2.0 SITE PLAN  
A3.0 FLOOR PLAN  
A4.0 ELEVATIONS  
A4.1 ELEVATIONS  
L1.0 CONCEPTUAL LANDSCAPE PLAN (BY OTHERS)  
L2.0 LANDSCAPE MWEO (BY OTHERS)



CONDITIONED= 3,300 SF+  
GARAGE= 690 SF+  
TRASH ENCLOSURE= 60 = 4,050

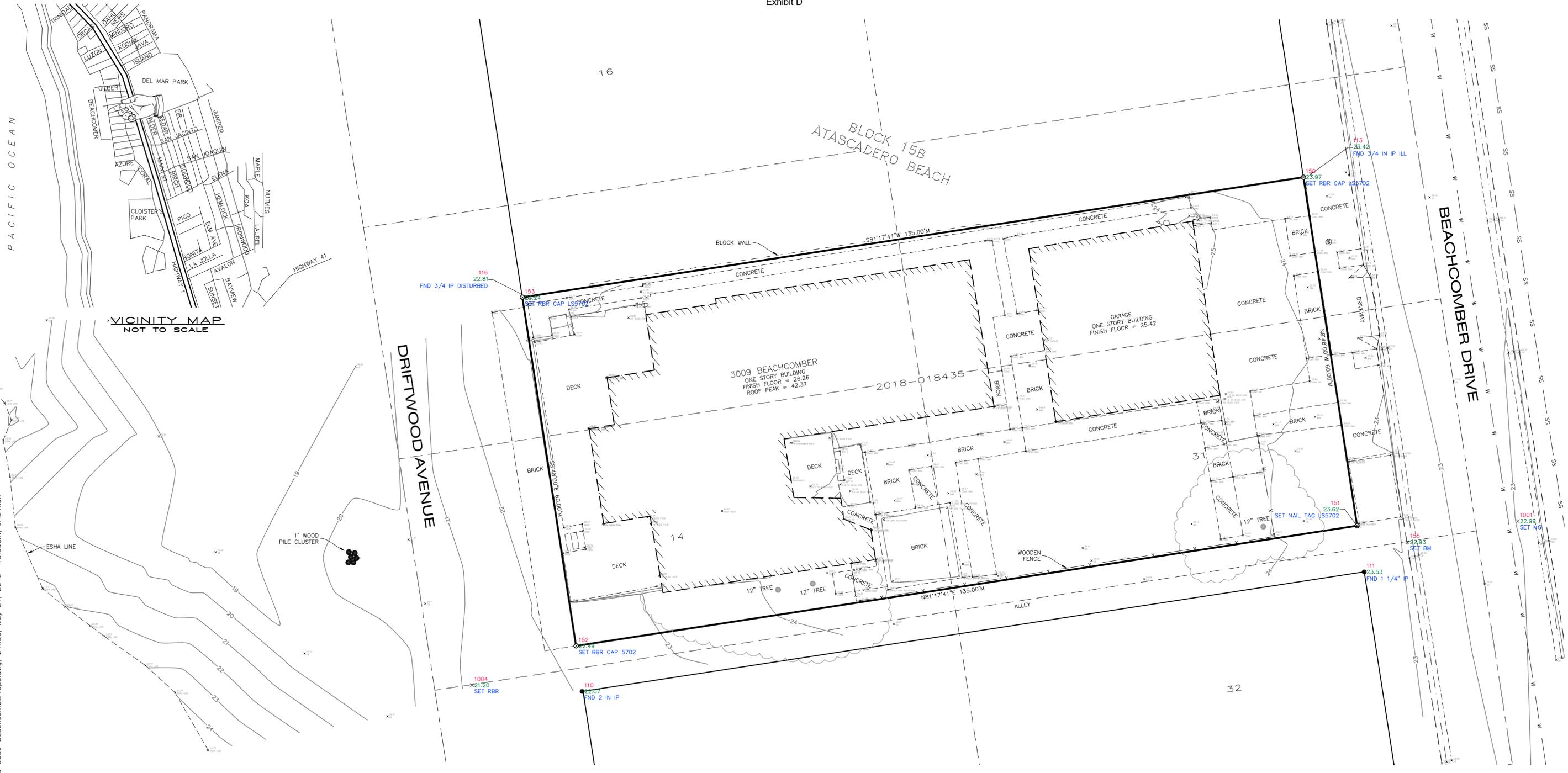
T 1.0 TITLE SHEET

Isaman design, Inc.

ARCHITECTURE  
2420 Broad Street  
San Luis Obispo, CA 93401  
Phone: 805.544.5672  
Fax: 805.544.5642  
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ORGILL RESIDENCE



VICINITY MAP NOT TO SCALE

DRIFTWOOD AVENUE

BEACHCOMBER DRIVE

3009 BEACHCOMBER ONE STORY BUILDING FINISH FLOOR = 25.42 ROOF PEAK = 42.37

GARAGE ONE STORY BUILDING FINISH FLOOR = 25.42

**SYMBOL LEGEND:**

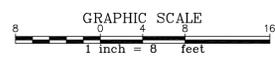
—x—	FENCE LINE	—PCE—	RETAINING WALL
—SS—	SEWER MAIN	—P&E—	PG&E BOX
—W—	WATER MAIN	—GM—	GAS METER
—G—	GAS MAIN	—TEL—	TELEPHONE BOX
—ETC—	ELEC/TELEPHONE/CABLE	—SIGNAL—	SIGNAL BOX
—OHE—	OVERHEAD ELECTRIC	—CABLE T.V.—	CABLE T.V. BOX
—	DROP INLET AT CURB	—ELEC BOX—	ELECTRIC BOX
—	DROP INLET	—TEL MANHOLE—	TELEPHONE MANHOLE
—	STORM DRAIN MANHOLE	—	—
—	FIRE HYDRANT	—	—
—	WATER WELL	—	—
—	WATER VALVE	—	—
—	WATER METER	—	—
—	SEWER MANHOLE	—	—
—	SEWER CLEANOUT	—	—
—	MONITORING WELL	—	—

**ABBREVIATIONS**

AC	ASPHALT CONCRETE	IP	IRON PIPE
AP	ANGLE POINT	GB	GRADE BREAK
BM	BENCH MARK	GM	GAS METER
BLDG	BUILDING	HP	HIGH POINT
BOW	BACK OF WALK	LT	LIGHT
CB	CATCH BASIN	MH	MANHOLE
CF	CURB FACE	PP	POWER POLE
CO	CLEAN OUT	PVC	POLYVINYL PIPE
COL	COLUMN	RB	REBAR
COR	CORNER	RCP	REINFORCED CONCRETE PIPE
COND	CONCRETE	R10	CANOPY RADIUS
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CMU	CONCRETE MASONRY UNITS	SL	POINT ON SLOPE
CRN	CROWN OF STREET	SS	SEWER
DI	DROP INLET	STP	STEP
EG	EXISTING GRADE	STR	STAIRS
EP	EDGE OF PAVEMENT	TOP	TOP OF SLOPE
FD	FOUND	TOE	TOE OF SLOPE
FL	FLOW LINE	TW	TOP OF WALL
FF	FINISH FLOOR	W	WATER
FW	FACE OF WALL	WL	WALL
HSE	HOUSE COR	WM	WATER METER
GR	GRASS	WV	WATER VALVE
GM	GAS METER		
IP	IRON PIPE		

**SURVEYOR'S NOTES:**

- NO TITLE SEARCH (TITLE REPORT) WAS PROVIDED TO THE SURVEYOR. EASEMENTS WHICH MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN PLOTTED.
- ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR ALSO HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
- THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT. MBS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
- THE PROPERTY LINES SHOWN HEREON REPRESENT THE ACTUAL BOUNDARY LINES BASED ON A BOUNDARY SURVEY WHICH IS CURRENTLY IN PROGRESS. PERMANENT MONUMENTS WILL BE SET AT ALL PROPERTY CORNERS AND A CORNER RECORD MAP OR RECORD OF SURVEY MAP WILL BE SUBMITTED TO THE COUNTY OF SAN LUIS OBISPO AS REQUIRED BY STATE LAW.



**SURVEYOR'S STATEMENT:**

THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON AUGUST 24, 2018.



MICHAEL B. STANTON, PLS 5702 DATE \_\_\_\_\_

**BENCH MARK:**

THE BENCH MARK FOR THIS PROJECT IS CALTRANS CONTROL POINT "SLO1 PM-31.61" BEING A 1" IP WITH CALTRANS CONTROL CAP. ELEVATION = 40.641 (NAVD 88)

**BASIS OF BEARINGS:**

THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG THE WEST RIGHT OF WAY OF BEACHCOMBER DRIVE BEARING S 8° 48' 00" E.

**SITE DATA:**

ADDRESS: 3009 BEACHCOMBER DRIVE  
ASSESSOR'S PARCEL NO. APN 065-233-039

**TOPOGRAPHIC MAP**

OF PORTIONS OF LOTS 14, 15, 30 & 31 OF BLOCK 15B OF ATASCADERO BEACH, AS SHOWN ON THE MAP FILED IN BOOK 2 OF MAPS AT PAGE 15 IN THE CITY OF MORRO BAY COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA.

AT THE REQUEST OF JOANNE COGHAN

**MBS LAND SURVEYS**  
MICHAEL B. STANTON, PLS 5702  
3559 SOUTH HIGUERA ST.  
SAN LUIS OBISPO, CA 93401  
805-594-1960

May 24, 2019 JOB #18-226

**Isaman design, Inc.**

**ARCHITECTURE**  
2420 Broad Street  
San Luis Obispo, CA 93401  
Phone: 805.544.5672  
Fax: 805.544.5642  
www.isamandesign.com



**C 1.0 EXISTING SITE PLAN/SURVEY (BY OTHERS)**



BLACKENED STEEL  
BEAMS, COLUMNS &  
DETAILING



ITALIAN SLATE  
NEOLITH PANELING



SMOOTH TROWEL FINISH  
STUCCO "FOSSIL" BY KELLY  
MOORE



CLEAR CEDAR EAVES & SIDING



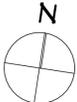
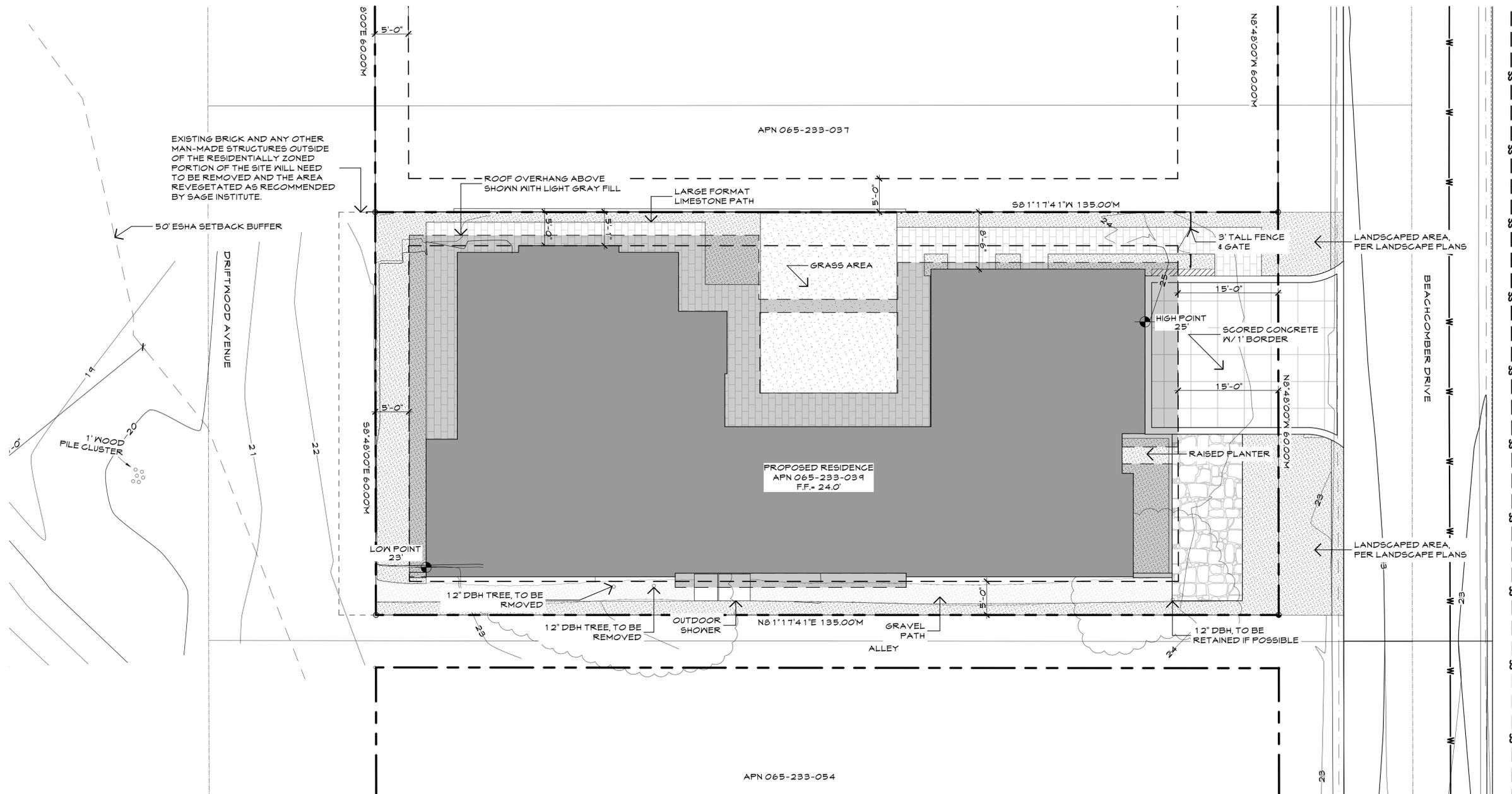
RAMMED EARTH WALLS

A 1.0 COLOR & MATERIALS BOARD

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San Luis Obispo, CA 93401  
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**SITE PLAN**  
SCALE: 1/8" = 1'-0"

**FILL LEGEND**

-  BUILDING FOOT PRINT
-  AREA COVERED BY ROOF OVERHANG ABOVE
-  LARGE FORMAT LIMESTONE PATH
-  LANDSCAPED AREA- SEE LANDSCAPE PLANS FOR MORE INFORMATION

**SITE ZONING STATISTICS**

MAX LOT COVERAGE PERMITTED: 4,050 SF (50%)  
(8,100 X .50)

2-CAR GARAGE + UNDER HOUSE STORAGE: 4,050 SF (50%)  
(SHOWN AS DARK GRAY FILL ON PLANS)

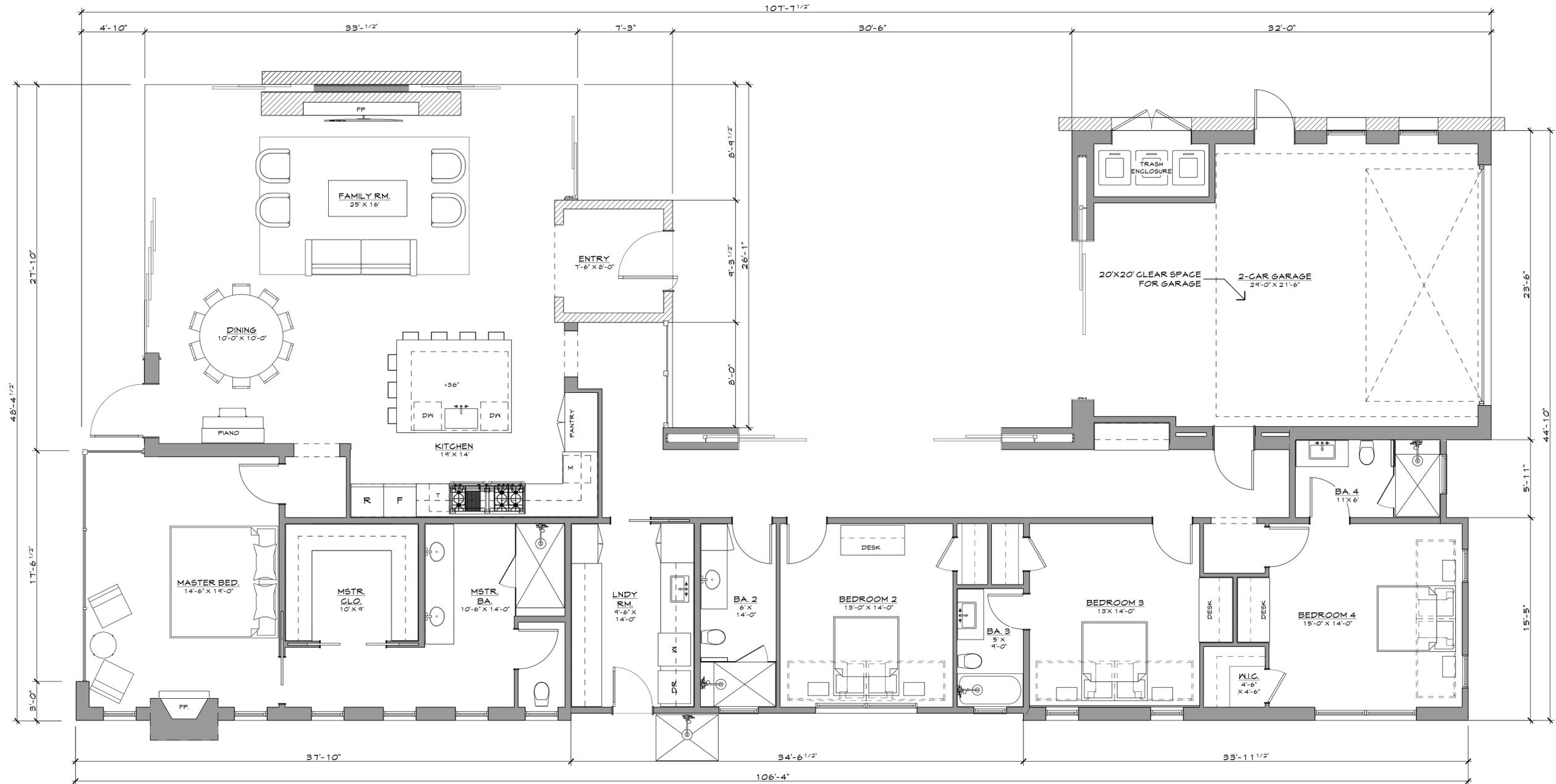
LOT COVERAGE SHOWN IS THE OUTER-MOST WALLS OF THE STRUCTURE

**A2.0 SITE PLAN**



WALL LEGEND

- WOOD FRAMED WALLS
- CONCRETE RAMMED EARTH WALLS



N  
 FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

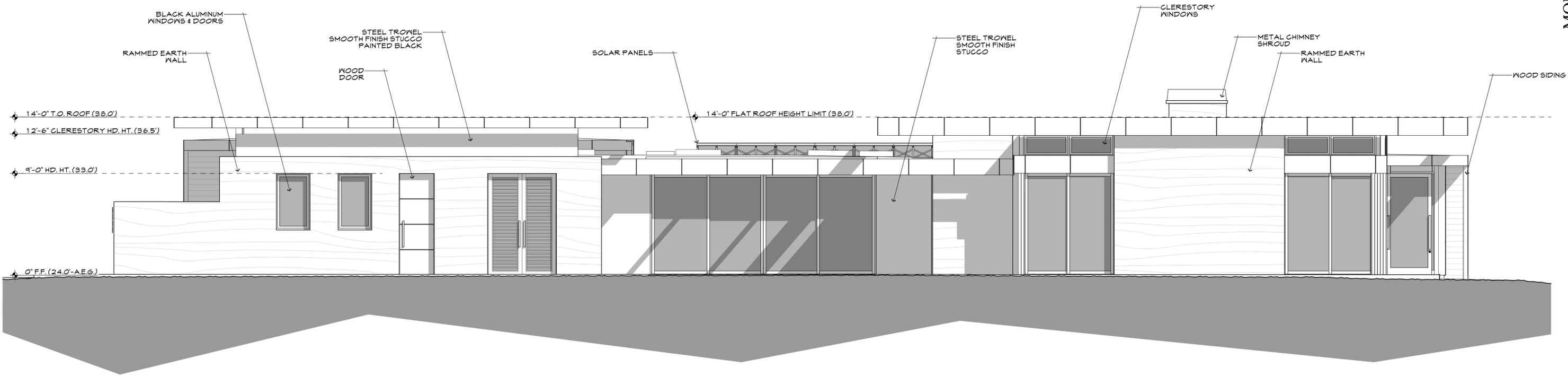
A3.0 FLOOR PLAN

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 Fax: 805.544.5642  
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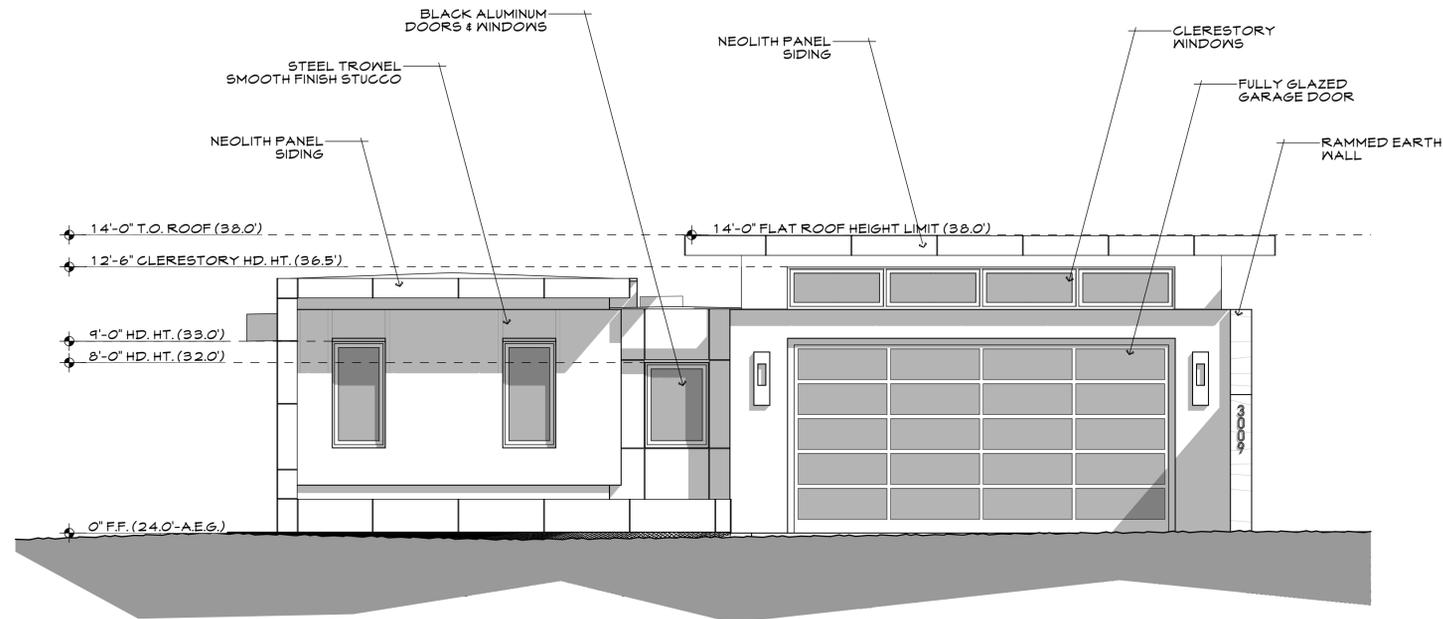
ORGILL RESIDENCE

MORRO BAY, CA



COURTYARD ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

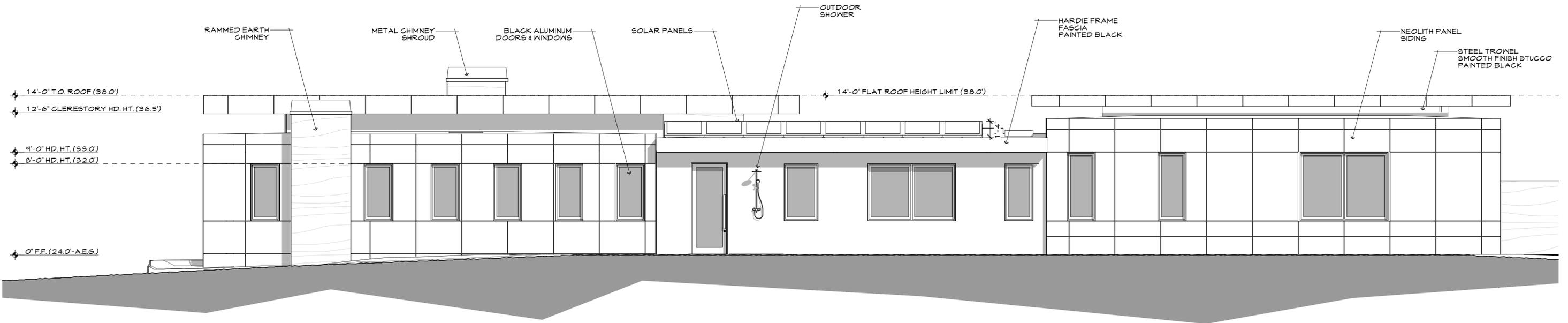
SCALE: 1/4" = 1'-0"

A4.0 ELEVATIONS

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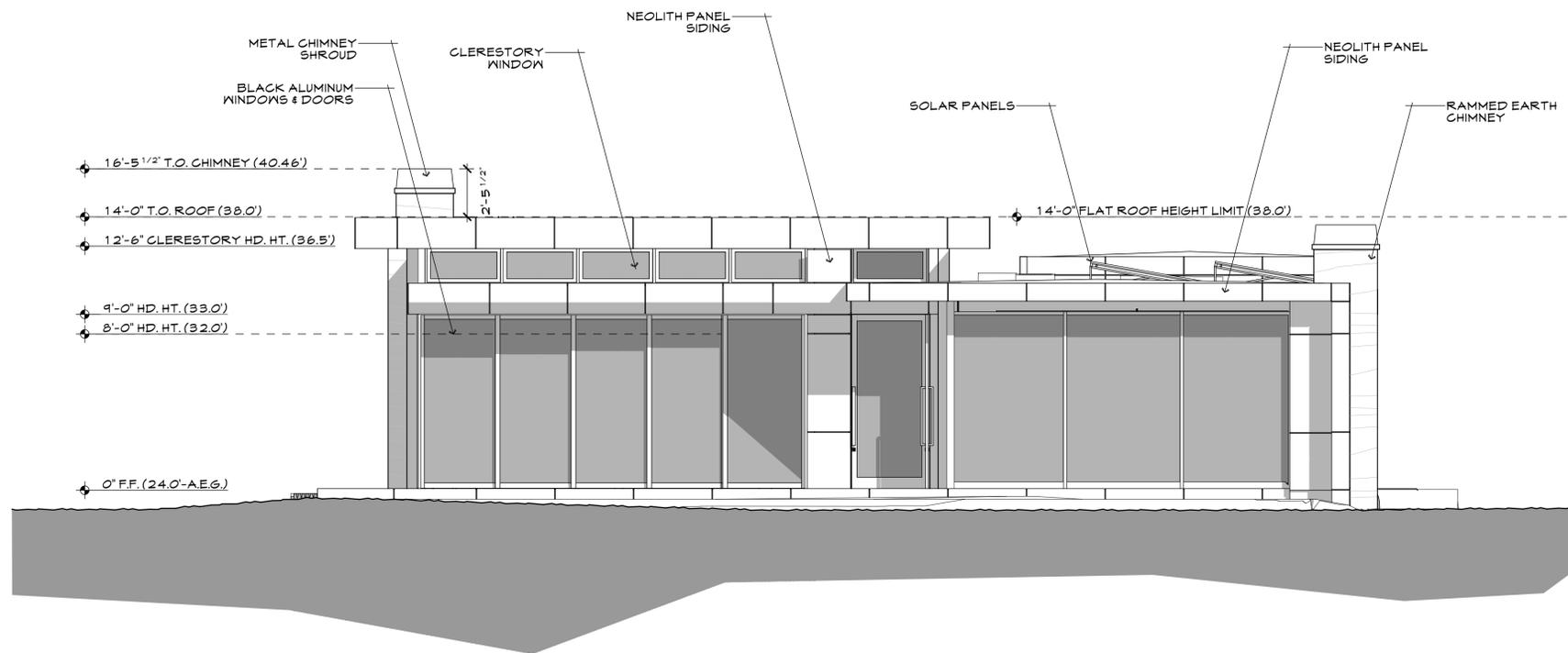
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 Phone: 805.544.5672  
 Fax: 805.544.5642  
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SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

A4.1 ELEVATIONS

Isaman design, Inc.

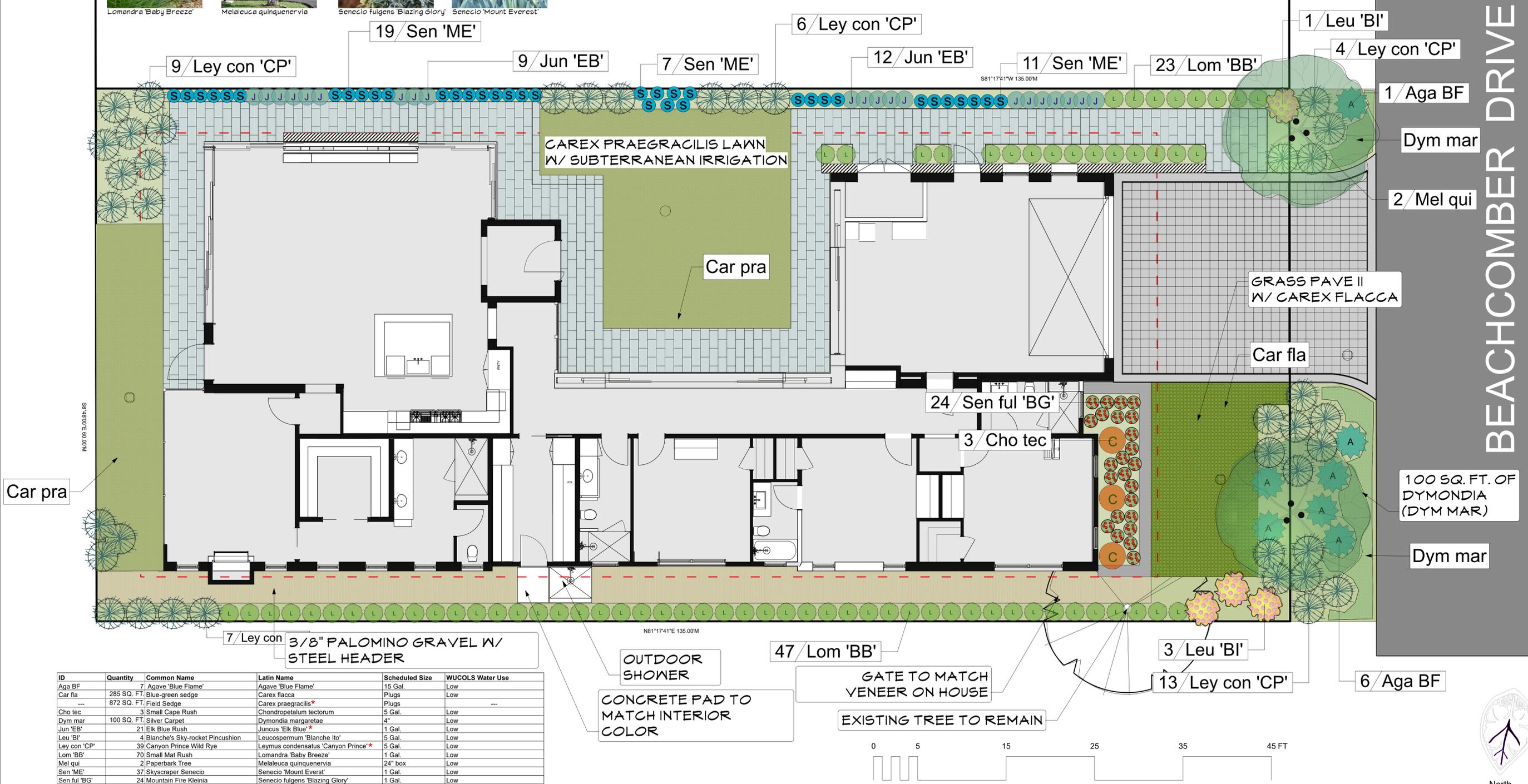
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 San Luis Obispo, CA 93401  
 Phone: 805.544.5672  
 Fax: 805.544.5642  
 www.isamandesign.com





LOT SIZE: 8,100 SQ. FT.  
 LANDSCAPE/PERMEABLE AREA: 2,219 SQ. FT.  
 PERCENT OF LOT: 27.4%

- NOTES:
1. WEATHER-BASED IRRIGATION SYSTEM CONTROLLERS SHALL INCLUDE FUNCTIONING SOIL MOISTURE SENSORS AND A RAIN SENSOR AS COMPONENTS OF THE SYSTEM.
  2. DRIP IRRIGATION SHALL BE UTILIZED FOR WATERING ALL NON-TURF IRRIGATED PLANTINGS.
  3. ROTATING SPRINKLER NOZZLES SHALL BE UTILIZED FOR TURF IRRIGATION.
  4. OVERHEAD SPRAY IRRIGATION SHALL NOT BE USED TO WATER NON-TURF LANDSCAPING, INCLUDING TREES AND SHRUBS.
  5. IRRIGATION SYSTEMS SHALL OPERATE WITH AT LEAST 70 PERCENT EFFICIENCY.
  6. ALL PLANTED AREAS, EXCLUDING TURF, SHALL USE 2"-3" OF ORCHARD MULCH.
  7. IRRIGATION AND MULCH TO BE PROVIDED BY CONTRACTOR.
  8. ALL PLANTS TO BE NATIVE, DROUGHT-TOLERANT PLANT SPECIES THAT BLEND WITH THE NATURAL ENVIRONMENT.



ID	Quantity	Common Name	Latin Name	Scheduled Size	WUCOLS Water Use
Aga BF	7	Agave 'Blue Flame'	Agave 'Blue Flame'	15 Gal.	Low
Car fla	285 SQ. FT.	Blue-green sedge	Carex flacca	Plugs	Low
---	872 SQ. FT.	Field Sedge	Carex praegracilis*	Plugs	---
Cho tec	3	Small Cape Rush	Chondropetalum tectorum	5 Gal.	Low
Dym mar	100 SQ. FT.	Silver Carpet	Dymondia margaretae	4"	Low
Jun 'EB'	21	Elk Blue Rush	Juncus 'Elk Blue'*	1 Gal.	Low
Leu 'BI'	4	Blanche's Sky-rocket Pincushion	Leucospermum 'Blanche Ito'	5 Gal.	Low
Ley con 'CP'	39	Canyon Prince Wild Rye	Leymus condensatus 'Canyon Prince'*	5 Gal.	Low
Lom 'BB'	70	Small Mat Rush	Lomandra 'Baby Breeze'	1 Gal.	Low
Mel qui	2	Paperbark Tree	Melaleuca quinquenervia	24" box	Low
Sen 'ME'	37	Skyscraper Senecio	Senecio 'Mount Everest'	1 Gal.	Low
Sen ful 'BG'	24	Mountain Fire Kleinia	Senecio fulgens 'Blazing Glory'	1 Gal.	Low

\*California Native Plant Species



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JEFFREY GORDON SMITH LANDSCAPE ARCHITECTURE. ALL DESIGNS AND OTHER DRAWINGS ARE FOR THE LANDSCAPE ARCHITECT'S USE ONLY. © 2008

PLANTING PLAN

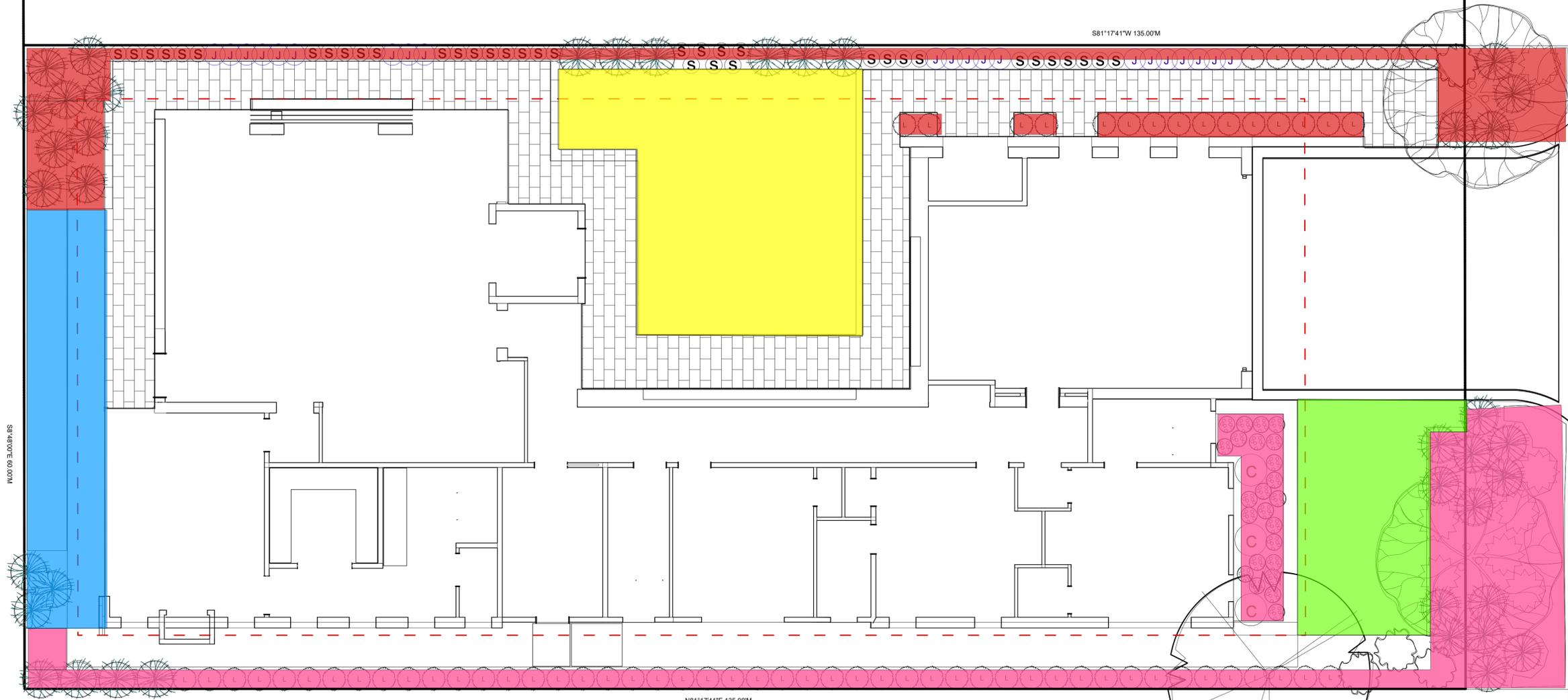
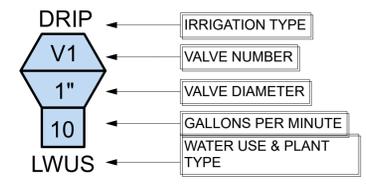
ORGILL RESIDENCE  
 3009 BEACHCOMBER DR.  
 MORRO BAY, CA 93442

Scale: 3/16"=1'-0"  
 Date: 10/17/22  
 Sheet: L-1

### California MWELO Water Budget

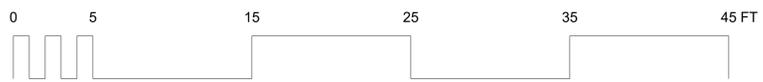
Reference Evapotranspiration (ET <sub>0</sub> ):	39.9								
* = For the ET <sub>0</sub> in your area, consult the California Department of Water Resources' Reference Evapotranspiration Table.									
Zone Name / Number	Plant / Feature Type	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Usage (ETWU)	
<b>Regular Landscape Areas</b>									
ZONE 1	Shrubs	0.2	Drip	0.81	0.247	8	2	47	
ZONE 1	Shrubs	0.2	Drip	0.81	0.247	73	18	447	
ZONE 1	Shrubs	0.2	Drip	0.81	0.247	8	2	47	
ZONE 1	Shrubs	0.2	Drip	0.81	0.247	273	67	1,669	
ZONE 1	Shrubs	0.2	Drip	0.81	0.247	58	14	353	
ZONE 2	Groundcover	0.5	Drip	0.81	0.617	579	358	8,845	
ZONE 3	Shrubs	0.2	Drip	0.81	0.247	14	3	84	
ZONE 3	Shrubs	0.2	Drip	0.81	0.247	95	21	521	
ZONE 3	Shrubs	0.2	Drip	0.81	0.247	549	135	3,333	
ZONE 4	Groundcover	0.5	Drip	0.81	0.617	292	181	4,467	
ZONE 5	Groundcover	0.2	Drip	0.81	0.247	283	70	1,731	
						<b>Totals:</b>	<b>2,219</b>	<b>871</b>	<b>21,542</b>
<b>Special Landscape Areas*</b>									
* = Includes public recreational areas, water features using recycled water, areas dedicated to edible plants, and areas irrigated with recycled water.									
						<b>Totals:</b>	<b>0</b>	<b>0</b>	<b>0</b>
								<b>ETWU Total:</b>	<b>21,542 gal/yr</b>
								<b>Maximum Applied Water Allowance (MAWA):</b>	<b>38,429 gal/yr</b>
<b>ETAF Calculations</b>									
<b>Regular Landscape Areas</b>									
Total ETAF x Area:	871								
Total Area:	2,219								
Average ETAF*:	0.39								
<b>All Landscape Areas</b>									
Total ETAF x Area:	871								
Total Area:	2,219								
Site-wide ETAF:	0.39								
* = Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.									
This budget is a tool to assist in the completion of the Water Efficient Landscape Worksheet required by the State of California.									

### LEGEND:



ID	Quantity	Common Name	Latin Name	Scheduled Size	WUCOLS Water Use
Aga BF	7	Agave 'Blue Flame'	Agave 'Blue Flame'	15 Gal.	Low
Car fla	285 SQ. FT.	Blue-green sedge	Carex flacca	Plugs	Low
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Dym mar	100 SQ. FT.	Silver Carpet	Dymondia margaritae	4"	Low
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Leu 'B1'	4	Blanche's Sky-rocket Pincushion	Leucospermum 'Blanche lto'	5 Gal.	Low
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Lom 'BB'	70	Small Mat Rush	Lomandra 'Baby Breeze'	1 Gal.	Low
Mel qui	2	Paperbark Tree	Melaleuca quinquenervia	24" box	Low
Sen 'ME'	37	Skyscraper Senecio	Senecio 'Mount Everest'	1 Gal.	Low
Sen ful 'BG'	24	Mountain Fire Kleinia	Senecio fulgens 'Blazing Glory'	1 Gal.	Low

\*California Native Plant Species



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MWELO

ORGILL RESIDENCE  
3009 BEACHCOMBER DR.  
MORRO BAY, CA 93442

Scale: 3/16"=1'-0"  
Date: 10/17/22  
Sheet: L-2

---

## Structural Investigation Report

---

Date: July 14, 2022

To: Sergio Ochoa  
Isaman Design, Inc.

Project: 3009 Beachcomber Dr.  
Morro Bay, CA 93442

Job#: 22843

---

**Subject: Property Investigation – June 10, 2022**

---

On June 10, 2022, the undersigned investigated the building at the above-referenced address. The purpose of this visit was to assess the general condition of the building and its exposed framing members. An original set of the construction drawings was provided and reviewed following the on-site observation.

### **General Conditions:**

1. The building is located on the ocean side of Beachcomber Drive, with direct exposure to the ocean.
2. The building is constructed with a conventional light timber structure consisting of solid sawn exposed roof rafters, wood stud walls sheathed with plywood, and solid sawn raised floor framing.
3. The exterior of the building is clad with exposed wood siding.
4. The building's foundation is comprised of conventional shallow foundations with a concrete stem wall and footing around the perimeter, with post and pier footings spaced regularly throughout.

### **Observations:**

1. Water intrusion, damage, and wood rot are visible on the ceiling throughout the building. Refer to figures 1, 2, & 3.
2. Several of the original exterior wood framing members are compromised by water damage and wood rot. Refer to figure 4.
3. The exterior wood framing and siding includes substantial termite damage, water damage, and wood rot throughout the building. Refer to figures 5, 6, 7, & 10.
4. The exterior eave framing has water intrusion, damage, and wood rot. In addition to this, the exterior flashing and gutters are severely corroded, with several pieces having large holes created by corrosion. Refer to figure 8.
5. Along the ocean front side of the house, there are large windows framed out with 4x4 posts. Several of these 4x4 posts are compromised from water intrusion, damage, and wood rot. Refer to figure 9.
6. Several cracks were observed along the foundation perimeter stem walls. These cracks are indicative of settlement induced stresses on an under-reinforced foundation. Refer to figures 11, 12, & 13.

### **Conclusions:**

1. The existing structure was designed and constructed in 1971 and does not meet current building code requirements. As such, the existing lateral force resisting system is deficient and

**Structural Investigation Report**

the existing residence is more likely to sustain significant damage in the event of an earthquake.

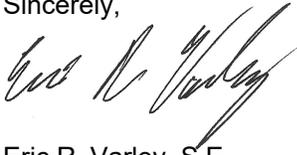
2. The pervasive water damage and intermittent wood rot are indicative of significant waterproofing and weatherproofing concerns. Given the level of observed damage from the interior of the house, pulling up the roofing and roof sheathing will likely reveal significant amounts of water damage to the structural framing members, thus compromising the structural integrity of the building.
3. The visible termite damage further raises concerns over the state to the building's existing wood framing. Termite damage would allow for greater water intrusion into the structural members, thus exacerbating existing wood rot.

Please note, these findings and opinions are based upon a visual evaluation of the structure. No analyses, for vertical or lateral forces, were performed. The above opinions are based on our professional experience in the field of structural engineering. These opinions, conclusions and recommendations may be revised, as necessary, if and when additional information becomes available.

This report, and the opinions and findings herein, may not be construed as a warranty or guarantee of the structure's existing capacity or its performance under future events or circumstances.

If you have any questions, comments, or need any further clarification please do not hesitate to give us a call.

Sincerely,



Eric R. Varley, S.E.  
(805) 545-0010 x 161



Appendix



**Figure 1:** Water intrusion visible at ceiling



**Figure 2:** Water intrusion visible at ceiling



**Figure 3:** Water intrusion and wood rot visible at ceiling



**Figure 4:** Original exposed deck beam with visible water damage and wood rot



**Figure 5:** Typical exterior wood shingle cladding



**Figure 6:** Visible termite damage at siding



**Figure 7:** Visible termite damage at siding

# Structural Investigation Report



**Figure 8:** Visible water damage and wood rot at exterior eave. Also, visible corrosion of existing flashing and gutters



**Figure 9:** Interior post with visible wood rot and splitting



**Figure 10:** Visible water and termite damage at exterior foundation post.



**Figure 11:** Visible cracks in the foundation stem wall

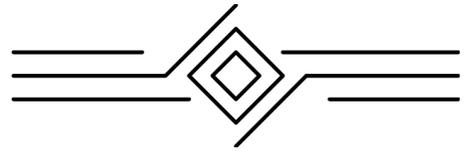


**Figure 12:** Visible cracks in the foundation stem wall



**Figure 13:** Visible cracks in the foundation stem wall

*REBECCA LOVELAND ANASTASIO*



*CULTURAL RESOURCE SERVICES*

7800 Santa Cruz Road 805-674-1379 805-461-5284  
Atascadero, CA 93422 anastasioCRS@gmail.com

October 4, 2022

Stuart and Natalie Orgill  
1321 Upland Drive #6962  
Houston, TX 77043

RE: 3009 Beachcomber Drive, Morro Bay Addendum to 2019 Historic Building Assessment

Dear Mr. and Ms. Orgill:

In April 2019, I completed an historic building assessment of 3009 Beachcomber Drive, with particular attention to the qualities that have made it a local architectural landmark within the City of Morro Bay, in order for the previous owner and architect to make the changes needed to make the house livable, sustainable, and structurally sound. This letter is an addendum to that report, to address the consequences of serious structural deficits that came to light with a recent Structural Investigation Report authored by Ashley & Vance Engineering. The 2019 reports stands alone as an assessment of the historic and architectural significance of the house, but a full assessment of the structural integrity of the house was outside the scope of work, and outside of my expertise.

In 2019, I concluded that, based on the criteria of listing eligibility for the California Register of Historical Resources, 3009 Beachcomber appeared to be eligible as a local historic resource because:

- a) It was associated with the lives of persons important to local, California, or national history. James Maul was an important and significant local architect whose contributions to the built environment are both noteworthy and recognizable. In addition, as a teacher and mentor, Maul both gave a start to and inspired many architects in practice today, and
- b) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values. 3009 Beachcomber is an excellent example of the Sea Ranch style, and may be considered the work of a local master, and
- c) Despite a noted level of deterioration, the house remained architecturally intact and stylistically recognizable as the structure that was first built in 1971. Therefore, it exhibited the essential physical characteristics of the period of association with James Maul. It also exhibited the physical features that define the type, period, or method of construction that the property represents, including retention of design, workmanship, and materials. The location and setting also have retained complete integrity.

In June 2022, Ashley & Vance Engineering conducted a Structural Investigation Report on the house. They observed that:

- a) Water intrusion, damage, and wood rot are visible on the ceiling throughout the building.
- b) Several of the original exterior wood framing members are compromised by water damage and wood rot.
- c) The exterior wood framing and siding includes substantial termite damage, water damage, and wood rot throughout the building.
- d) The exterior eave framing has water intrusion, damage, and wood rot. In addition to this, the exterior flashing and gutters are severely corroded, with several pieces having large holes created by corrosion.
- e) Along the ocean front side of the house, there are large windows framed out with 4x4 posts. Several of these 4x4 posts are compromised from water intrusion, damage, and wood rot.
- f) Several cracks were observed along the foundation perimeter stem walls. These cracks are indicative of settlement induced stresses on an under-reinforced foundation.

They concluded that the existing structure does not meet current building code requirements because the existing lateral force resisting system was deficient and the existing residence was more likely to sustain significant damage in the event of an earthquake. In addition, they observed pervasive water damage and wood rot associated with extensive waterproofing and weatherproofing failure. Given the level of observed damage from the interior and exterior of the house, it is highly likely that there is also significant water damage to hidden structural framing members, thus further compromising the structural integrity of the building. Further, the visible termite damage raises additional concerns over the building's wood framing – termite damage would both damage and allow for greater water intrusion into the structural members, thus exacerbating existing wood rot.

This house, as an eligible historic property, would qualify for the application of the California Historical Building Code which provides alternative building regulations for permitting repairs, alterations and additions necessary for the preservation, rehabilitation, relocation, change of use or continued use of a historical building. This code, however, does not exempt historic structures from meeting modern seismic requirements and other safety and structural requirements. Given the extent of structural deterioration of the building and the failure of weatherproofing and weatherproofing of the windows, doors, roofing, and wall cladding, it is apparent that the only way to restore this building to safety codes would mean tearing it down (including the cracked foundation) and re-building it from the ground up with all new materials.

Although the City of Morro Bay does not have a historic property ordinance, most such regulations are intended to recognize the importance of historic sites, structures, and areas important to local, state, or national history by requiring new uses and alterations to existing uses to be designed with consideration for preserving and protecting such resources, in particular preserving those elements which are character-defining and serve

to tie the resource to its history. Most such historic preservation ordinances rely on the Secretary of the Interior's Standards for the Treatment of Historic Properties. The four treatment approaches are Preservation, Rehabilitation, Restoration, and Reconstruction. Due to the extent of damage and structural safety concerns, the only feasible treatment would be Reconstruction. Reconstruction re-creates vanished or non-surviving portions of a property for interpretive purposes. Of the four potential treatments, reconstruction is the least preferred and is only selected when the historic structure has not survived, but the site still benefits from what is essentially a place-marker that provides significant information to the general public.

Because 3009 Beachcomber will be a private residence, not open to the public, the value of the structure for interpretative purposes is by nature limited. As a result, Reconstruction does not appear to be the most relevant option, given that the primary significance of the house is its architectural design and use of materials and reconstruction with modern code-compliant materials would necessarily alter some if not all of the character-defining features of the house such as the custom site-built windows and doors. Other treatments (Preservation, Rehabilitation, Restoration) are not feasible due to the extent of damage to the house and the resultant threat to health and safety.

As a result, it is my considered opinion that the house may be demolished after professional black-and-white archival quality photos are taken of each elevation of the house exterior. These photos, along with the 2019 Historic Building Assessment and a completed California Form DPR 523B, will constitute appropriate and sufficient mitigation for a resource primarily significant for its visual appearance. Upon completion of the photographs, one copy of the documents should be retained by the City of Morro Bay, one copy donated to the Morro Bay Historic Society, and one copy donated to the History Center of San Luis Obispo County.

I am available to answer any questions you might have about this assessment and management recommendations.

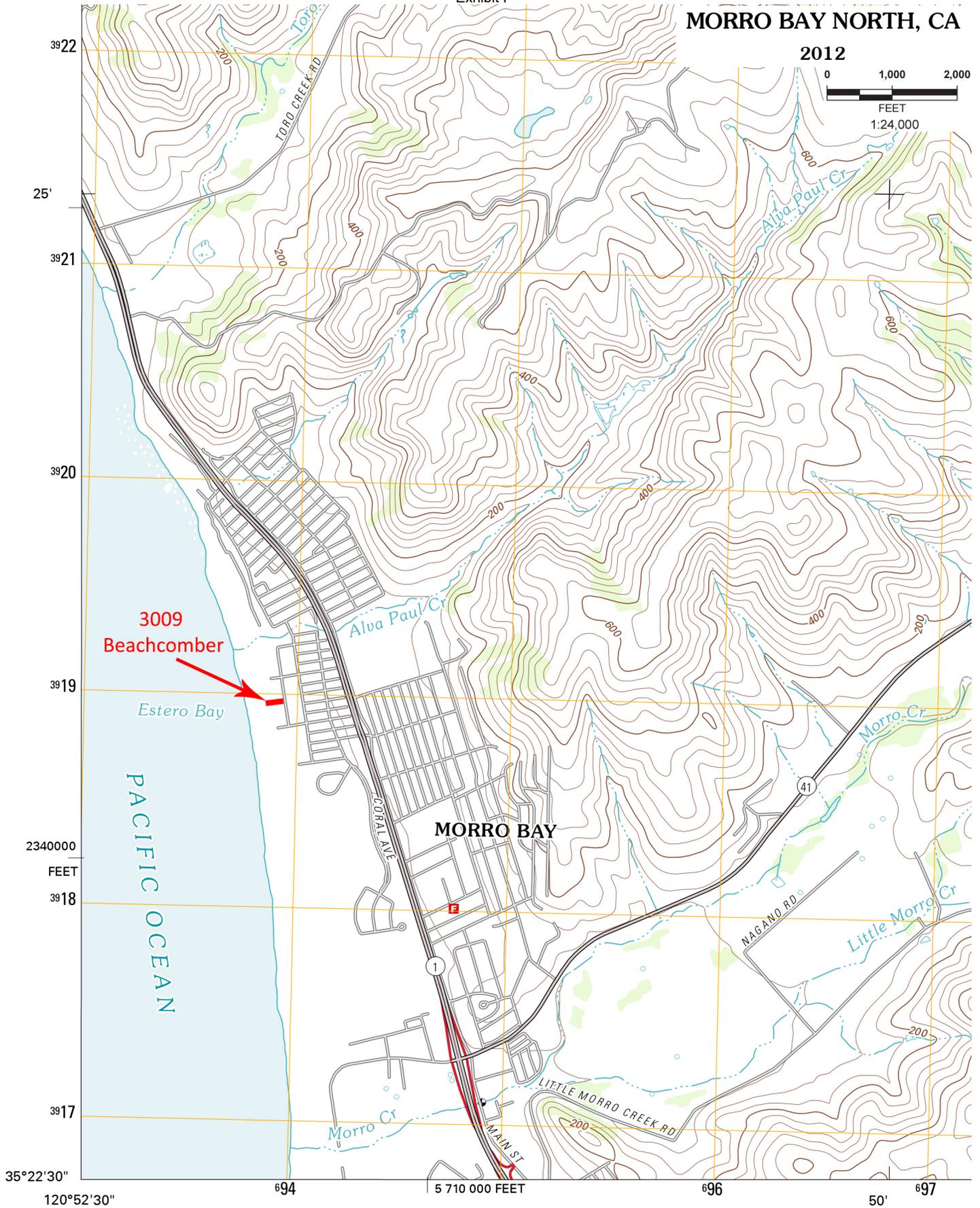
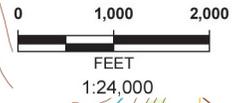
Sincerely,

A handwritten signature in black ink, appearing to read 'R. Anastasio', with a long horizontal flourish extending to the right.

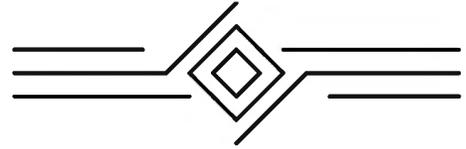
Rebecca Loveland Anastasio  
B.A. Anthropology  
B. Architecture

# MORRO BAY NORTH, CA

2012



**FIGURE 1: PROJECT LOCATION**

*REBECCA LOVELAND ANASTASIO**CULTURAL RESOURCE SERVICES*7800 Santa Cruz Road 805-674-1379 805-461-5284  
Atascadero, CA 93422 anastasioCRS@gmail.com

April 19, 2019

Joanne and Vince Coghlan  
3009 Beachcomber Drive Drive  
Morro Bay, CA 93442

RE: 3009 Beachcomber Drive, Morro Bay, CA (APN 065-233-039)

Dear Mr. and Ms. Coghlan:

I have completed an historic building assessment of 3009 Beachcomber Drive, with particular attention to the qualities that have made it a local architectural landmark within the City of Morro Bay, in order for you and your architect to make the changes needed to make the house livable, sustainable, and structurally sound.

3009 Beachcomber Drive is located in Morro Bay, north of Highway 41. The property is situated on the west side of Beachcomber Drive, roughly midway between Easter Street and Sienna Street. The property is bordered to the north and south by existing residences, to the east by Beachcomber Drive, and to the west by the low dunes along the Pacific Ocean north of Morro Creek [Fig. 1]. The other existing residences in the area appear to represent a mix of architectural eras from the 1950s to the present day.

### **REGULATORY FRAMEWORK**

Unfortunately, the City of Morro Bay has no specific ordinance concerning the preservation of historically or architecturally significant structures, and has not compiled a list of any such structures within the city limits. Instead, the City asks projects subject to environmental review to comply with the California Environmental Quality Act, also known as CEQA (Public Resources Code 21000 et seq.). The California Environmental Quality Act places historic and architectural resources (along with archaeological sites) under the broad umbrella of environmental protection laws. As such, CEQA includes procedures for identifying, analyzing, and disclosing potential adverse impacts to such resources. Under CEQA:

- A property may be listed in the California Register of Historical Resources (CRHR). Like the National Register of Historic Places, owner consent is required for listing, but a property may be determined eligible if they are determined eligible for the National Register of Historic Places or if they meet the following criteria”
  - 1) It is associated with events or patterns of events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States; or

- 2) It is associated with the lives of persons important to local, California, or national history; or
  - 3) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values; or
  - 4) It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.
  - 5) It must also retain its historic integrity. Cultural resources integrity is determined using the CRHR's seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association.
- In addition, a resource will be listed in the **California Register of Historical Resources** if it is:
    - 1) Included in a local register of historical resources, unless the preponderance of evidence demonstrates that it is not historically or culturally significant, or
    - 2) Identified as significant in a historical resource survey meeting the requirements of Public Resources Code Section 5024.1(g), unless the preponderance of evidence demonstrates that it is not historically or culturally significant, or
    - 3) Determined by a lead agency to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided the determination is supported by substantial evidence..
  - A property may also be listed as a State Historic Landmark. To be listed as a Landmark, a resource must be
    - 1) The first, last, only, or most significant of its type in the state or within a large geographic region (Northern, Central, or Southern California), or
    - 2) Associated with an individual or group having a profound influence on the history of California, or
    - 3) A prototype of, or an outstanding example of, a period, style, architectural movement or construction or is one of the more notable works or the best surviving work in a region of a pioneer architect, designer or master builder.
  - A property may also be listed as a California Point of Historical Interest, which is similar to a Landmark but not as restrictive and with an emphasis on local (city or County) significance. To be listed as a Point of Historical Interest, a resource must be
    1. The first, last, only, or most significant of its type within the local geographic region (City or County), or
    2. Associated with an individual or group having a profound influence on the history of the local area, or
    3. A prototype of, or an outstanding example of, a period, style, architectural movement or construction or is one of the more notable works or the best surviving work in the local region of a pioneer architect, designer or master builder.

## **PREVIOUS ASSESSMENT**

The existing structure has not been previously listed on the National Register of Historic Places, the California Register of Historic Resources, or as a State Historical Landmark or Point of Historic Interest. This City of Morro Bay does not have a historic property list.

## **BACKGROUND**

According to the San Luis Obispo County Assessor's Office, the house was originally built in 1971 by noted architect James Maul for himself and his family. James Howard Maul was born on July 24, 1927 in Covina, CA [MyLife.com]. He graduated from USC with a degree in architecture, and established his practice in Southern California with partner Burdette M. Pulver, Jr. in 1953 [Arts and Architecture 1957; Manta.com; San Luis Obispo County Tribune 10-16-2018]. Noted works by Maul and Pulver in Southern California included a Covina house for his mother (Mildred Maul) in 1957 [Stovall 1957]; a small office building in 1957, also in Covina [Arts and Architecture 1957], the Covina Public Library in 1963 [LottaLiving.com Jun 30, 2010], and the San Dimas Civic Center in 1969 [Martin Maul, personal communication].

James Maul and his family moved to San Luis Obispo County in 1970, where he established an architecture practice and taught in the Cal Poly Architecture Department San Luis Obispo County Tribune 10-16-2018]. Many local architects of note got their start with James Maul as a design instructor, and then later as employees in his practice.

James Maul was a well-respected architect in San Luis Obispo County, known for both a modernist and Sea Ranch aesthetic as well as for his dedication to the environment and environmentally sensitive design. He is known for many public projects, such as the (now unused) air terminal at the San Luis Obispo Airport, Meadow Park Community Center in San Luis Obispo, the Agricultural Sciences Building (No. 11) at Cal Poly, the (now old) Public Library in Cambria, Tidelands Park in Morro Bay, and the Morro Bay Maritime Museum. Important commercial projects comprise a series of buildings along the Embarcadero, including the Salt Building (571 Embarcadero), Garden Gallery (680 Embarcadero), Marina Square (601/629/699 Embarcadero), as well as the 1865 Building (1865 Monterey Street) and the Carmel Lutheran Church (1701 Fredricks Street) in San Luis Obispo, and the Ragged Point Inn on Highway 1. James Maul is also known for his residential architecture including the subject property, 3009 Beachcomber Drive, which he built for himself and his family.

The house and the garage are prime local examples of the "Sea Ranch style," also known as the "Third Bay Tradition" for its roots in the greater San Francisco Bay Area in the 1950s to 1980. Although in many ways reflecting the modernist movement that was shaping residential design in much of California and elsewhere around the nation at the time, Bay Area architects tended to view a home as less of an object or piece of art, and more of a place devoted to human habitation. They placed significance on regionalism and the incorporation of natural elements into the design of structures. They felt that building materials should be locally sourced whenever possible, and that people should do their best to 'live lightly off the land'. Sea Ranch style was inspired by the simple forms and natural, rustic materials associated with old barns on the California coast, also

characterized by integration with natural landscape, and emphasis on environmental and sustainable strategies. Sea Ranch style was a hybrid of modern and vernacular architecture, turning the horizontal form of the Mid-Century Modern ranch house into a more vertical form – the angular boxy forms allow interior spaces to project outwards as saddled appendages, letting the structures sit lightly in their natural environments.

Commonly found on the coast, “Sea Ranch Style” buildings are often oriented to make the most of water views with double or even triple-height windows. Windows are often small or non-existent on some sides of the house and hugely expansive on other sides, creating homes that featured contrasts of light and dark, openness and closure. Windows are typically simplistic in their design, and lack ornamentation. Designers also made extensive use of skylights. Exteriors were clad in exterior plywood panels, diagonal boards, or wood shingles – either unpainted or stained in muted colors to subdue the appearance of the buildings in the landscape. Outdoor courtyards are also commonplace to allow residents to enjoy the outdoors while being shielding from harsh coastal winds.

Common interior features of Sea Ranch style homes include open layouts, sunken rooms or conversation pits (meant to be a small, intimate space within a larger open area), multiple levels, vaulted ceilings, floor-to-ceiling fireplaces, nooks, ladders, lofts, and other small intimate spaces. These spaces are formed by basic geometric and angular forms, and are mindful of how light enters a space. Interiors are also characterized by wood paneling – either angled wood siding feature walls, or walls of Philippine mahogany (also known as luan) plywood, exposed beams and rafters of untreated, rough lumber. Other interior features include simple built-in furniture, earth tone ceramic tiles, and playful supergraphics (large-scale painted or applied graphic images, often in bold colors and typically in geometric or typographic designs).

## **FIELD ASSESSMENT**

### **MASSING**

According to records on file with the San Luis Obispo County Assessor, the existing house is 2,354 square feet, while the 1971 construction documents show it as 2,500 square feet with a free-standing 870 square foot 3-car garage. The house has a master bedroom (room N) with a master bath and walk-through closet (L and M), two guest bedrooms (F and G), a jack-and-jill guest bath/powder room (E), an office (H), as well as a living room (A), dining room (B), kitchen with breakfast nook “C”, family room (J), laundry (I), foyer (K), and mechanical room (D) – see Figure 2. The massing of the house appears to mostly match that shown on the construction documents of 1971. The house consists of a series of attached and interlocking cubes and rectangles that together to form an overall L-shape which serves to shelter and enclose the front yard from prevailing northwest winds. The garage and most of the house have flat roofs, with the exception of a simple gable roof that has a 4.5:12 slope and a north-south oriented ridge which creates a high vaulted ceiling over the foyer, sunken living room, dining room, and family room [Fig. 3]. The garage is a separate structure from the rest of the residence, connected by a covered breezeway. A trellis fills part of the space at the inside corner of the “L” in front of the home office. A deep deck, with stairs down to the dunes, runs the length of the western side of the house and was included in the construction documents, along with a small deck and steps at the front entry.

One alteration was made to the massing as shown in the original construction documents, which is a small addition to the master bath constructed in 1998 per plans attached to the original construction documents. This addition extends 4 feet east towards the street in the same plane as the southern bathroom wall, is 6 feet long across the eastern face of the building, and then angles back at 60 degrees to meet the original bathroom exterior wall. This addition features a shed roof [Fig. 4].

## **STRUCTURE AND BUILDING SYSTEMS**

Structurally, the building is conventional. The house is built on a raised foundation, while the garage is slab on grade with a raised concrete curb. All walls are conventional 2x4 stud; the flat roof framing is 4x6 (4' on center), while the exposed roof framing for the sloped roof/vaulted ceiling consists of a 4x14 ridge beam, 6x12 beams, and sistered 2x10 rafters with 4x4 blocking between. The flat garage roof is 2x10 (16" on center). The roof sheathing on the sloped roof consists of 1x4 sleepers with 3/4" Douglas fir plywood. The sheathing on the flat sections of roof consists of built-up roofing with gravel over 3/4" plywood. Over the garage, the existing roof sheathing is also built-up roofing with gravel, but over 3/8" plywood. Floor sheathing is 1 1/4" plywood. Interestingly, although the construction documents call for 3 inches of fiberglass batt insulation at the flat roofs, and 1 1/2" of batt insulation at the sloped roof, no insulation is called out for the wall sections, suggesting that these are not insulated.

## **FENESTRATION**

The house and garage feature a mix of site-built and manufactured windows [Fig. 5]. The site-built windows are all fixed single-pane, and dominate the western elevation of the house, extending from floor to ceiling in the living room and dining room, and wrapping around the corners of the north and south walls of those rooms. Site-built fixed windows can also be found in the western wall of the kitchen, the southern wall of the master bedroom, the southern wall of the office, in the northern wall of guest bedroom G, flanking the door in the eastern wall of the foyer, and as clerestory windows in the gable ends of the sloped roof above the adjacent flat roofs, and as transom above the front door. Tall, narrow site-built fixed windows can be found flanking the door and fixed window at the front entrance, and at in the west-facing wall of the pop-out that contains the breakfast nook. Low site-built fixed windows can be found placed below manufactured (Anderson brand, per construction documents) casement windows in the south wall of the family room, where the manufactured windows are paired, and in the southern wall of the office with a single manufactured window. Manufactured casement windows can also be found in the west wall of the garage, in the east wall of the office, on either side of the pop-out of the eastern guest bedroom (G), in the northern wall of guest bedroom F. Four of them are grouped in the northern wall of the breakfast nook. In addition, there are four pyramidal curb-mounted skylights in the roof over the hallway connecting the kitchen to the garage breezeway door, and another in the laundry room.

The front door appears to be original to the house. A large and unusual size (3'8" x 7'10.5"), the carved multi-panel door was probably custom made for the house. A luan slab door on the north side of the house, providing access to the mechanical room, was also probably custom-made or site-built at 3'8" x 7'10.5", as was a similar door (2'6" x 7'10.5") leading from the guest bathroom (E) to the outside of the house on the north

side of the house and the door accessing the west side of the garage (3'0" x 7'10.5"). A site-built sliding glass door leading from the master bedroom to the deck, and another leading from the dining room onto the deck(per construction documents) have been replaced by manufactured wood full-lite French doors – a double door for the master bedroom, and a single door (with a paired fixed window) for the dining room.

The garage doors were custom-made for the house as well. There is a single door on the north side of the east wall of the garage, and a double door on the south side. Both doors were designed to blend into the garage, and are hardly noticeable as doors, adding to the sense of the garage as a monolithic cube. The top half of each door is sheathed in wood shingles, while the bottom half or board and batten in a pattern that matches and appears to be a continuation of the fence [Fig. 6].

## **FINISHES AND TRIM**

The house features a variety of exterior wall sheathing that is very characteristic of the Sea Ranch style [Fig. 6]. Except for the garage doors, the garage is almost completely sheathed in wood shingles, as is much of the house. Interestingly, the original construction documents call for vertical panels of exterior luan plywood with 1x4 battens where wood shingles exist now. This was either a change during construction, or the luan panels were replaced by the shingles at a later date, possibly because even exterior grade luan is not known to react well to water exposure. One small luan panel remains, located underneath the grouped casement windows in the north wall of the garage. On the construction documents, this area was supposed to have 1x8 resawn redwood boards installed on a diagonal. The garage walls also feature 2x4 redwood corner boards and baseboards at the bottom of the shingles.

The house itself features a mix of wood shingles (also in places where luan panels were called out on the construction documents) and 1x8 redwood boards installed on a diagonal. The diagonal boards are located on all the west-facing walls of the house, under the roof at the north-south facing gable walls, and at the pop-outs in the southern wall of the office and the eastern wall of guest bedroom G. The rest of the house is sheathed in wood shingles. All walls are terminated with 2x4 baseboards at the bottom of the sheathed walls. The exterior walls with diagonal boards feature 2x6 redwood corner boards and fascias at flat roofs. Some walls with wood shingle have corner boards, while others do not [Fig. 7].

The flat roofs of the garage and the house (with the exception of the western walls of the kitchen) all have 2x10 fascia mounted on 2x4 stand-off blocks. The spacing allows the site-built downspouts to go behind the fascia to the edge of the roof to catch the roof drainage. The gable roof has no fascia and features exposed roof sheathing (luan plywood panels) and structure of paired rafters with shaped ends [Fig. 7].

## **DETAILS AND LANDSCAPING**

The exterior has many details and features built specifically for this house, many of which have been added and altered over the years [Figs. 8, 9, 10]. Exterior details include:

- A trellis in front of the office pop-out. It is framed with two 6x6 redwood posts, with a simple 5-element trellis of 4x6 redwood. It appears to be built according to the 1971 construction documents but is currently lacking the tree-well called out for the area beneath it. A tree did exist in the trellis area as late as 2017 [Fig. 9].
- The remains of a trellis, not shown on the original construction documents, appears at the rear deck area above the kitchen picture window where the roof does not overhang the deck. All that remains of this trellis is a cut-off beam extending from the northwest corner of the kitchen and a ledger along the northern wall of the dining room. Based on a review of aerial photos, the trellis was built to cover the redwood hot tub shown on the 1971 construction documents. The date of construction of this trellis is unknown, but aerial photos suggest that it was in place by 2007 (views lacked sufficient resolution prior to that year). The trellis had been removed some time after 2013 – probably at the same time as the redwood hot tub was removed and deck boards replaced between 2015 and 2017 [Fig. 9].
- An awning at the entry. This cloth awning over a redwood frame appears to be a later addition to the entrance area, possibly to provide additional weather shelter for the redwood entry decks and steps. Two other small cloth awnings are located over the mechanical room door, and the exterior door leading to the second bathroom. None of these are shown on the 1971 plans, and based on aerial photos appear to be post-2007 additions [Fig. 9].
- The site-built wood downspouts are a unique feature of this house. The downspouts conduct the drainage from the flat roofs into a sheet metal spillway, and then down a vertical trough constructed of three 1x4s. The bottom five feet of the downspout trough is crossed by 1x1 horizontal slats at 3 inches on center, although many of the downspouts have missing slats. The downspout locations are called out on the construction documents, noted as “spillways,” but they are not shown on building elevations and they are not detailed.
- Exterior lighting fixtures. There are four types of site-built exterior lighting fixture:
  - Two post lights, consisting of a rectangular redwood box, featuring half-circle cut-out on the sides and a full rectangle on the front which exposes the white diffuser. These fixtures are mounted on 6x6 redwood posts on either side of the front lawn.
  - A wall-mounted light, also rectangular redwood box of similar dimensions to the post light. This fixture has two narrow D-shaped cut-outs on the sides, and 5 redwood louvers on the front, again exposing the white diffuser. This light is located next to the doorway leading from the house to the garage.
  - Two wall-mounted light, also rectangular redwood box of similar dimensions to the other fixtures. These fixtures have a single rectangular cut-out on each side with 8 redwood louvers on the front. Unlike the other lights, these have no diffuser.
  - Three ground-mounted lights located in the middle of each fence panel of the fence south of the entry gate and driveway. Similar to the other site-built fixtures, these fixtures have a single rectangular cut-out on each side with 8 redwood louvers on the front. These have no diffuser.

- There are two types of custom fencing separating the front yard from the street and the project property from the adjacent parcel to the south.
  - The primary type consists of 8x8 chamfered redwood posts, a 2x8 horizontal board base, and a top comprised of a horizontal 2x4 board capped with a 2x6 board laid flat. The fencing between consists of 1x4 board rails. This type runs along the street south of the front yard gate, and along the southern property line.
  - The secondary type consists of 2x2 verticals, with a 2x12 horizontal board at the bottom and a top comprise of a horizontal 2x4 board capped with a 2x4 board laid flat. This fence type is backed by Cattle fence wire panels. This type mimics the bottom half of the garage doors. This type runs between the front yard gate and the garage, and between the garage and the neighbor's fence to the north.
- The most notable exterior landscape features, and the most public, are the sculptural wooden "arch" across the driveway entrance, and the artistic gate and trellis that creates an entrance to the front courtyard. Neither item is shown on the original 1971 plan set, and the arch appears to be a relatively recent addition. A photo of Jim and Beverly Maul from the 1990s shows a large tree in the area of the northern arch column, and it does not appear on aerial photos prior to 2001 [Figs 9 and 10].

## **EXISTING CONDITIONS AND MAINTENANCE REQUIREMENTS**

The Maul residence has experienced significant deterioration over the years. Maul attempted to build his house in a way that was environmentally sensitive and strongly expressed his aesthetic, but the construction methods and building science of the time were not up to the demands of the design and the environment in which it was placed. In particular, the site-built windows leak, the flat roofs and skylights leak, and much of the exterior wood work (exterior trim, finishes, fencing, site-built lighting, decorative elements) are extremely weathered, some to the point of failure.

Because Maul felt so strongly about environmentally sensitive design, it is particularly noteworthy that the house as is currently does not even come close to meeting State energy and environmental codes with the large expanses of unsealed single-pane windows and inadequate or non-existent insulation. In order to make the house livable for occupants and to prevent further deterioration, the house will need to have the flat roofs repaired, insulation added to the walls and ceilings, site-built single-pane windows replaced, and exterior finishes and trim repaired and replaced.

Structurally, the house appears to be sound, but this conclusion should be confirmed by a structural engineer.

## **CONCLUSIONS**

James Maul was an architect of local importance. Although he began his career in Southern California, the majority of his work can be found in San Luis Obispo County. His body of work includes both distinctive residential projects and noteworthy public and commercial structures, the majority of which are still standing and still in use. The residence at 3009 Beachcomber is very representative of Maul's body of work both

architecturally and because it has a direct connection to his life and times. Although some people believe that a house built in 1971 cannot be “historic,” there are several structures of that era listed in the National Register of Historic Places for their architectural significance and connection to architects and designers who changed the course of building history. One of these is the Sea Ranch itself in Sonoma County, whose concepts and style inspired James Maul.

Based on the criteria of listing eligibility for the California Register of Historical Resources, 3009 Beachcomber appears to be eligible based on criteria 2 and 3:

2) It is associated with the lives of persons important to local, California, or national history. James Maul was an important and significant local architect whose contributions to the built environment are both noteworthy and recognizable. In addition, as a teacher and mentor, Maul both gave a start to and inspired many architects in practice today.

3) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values. 3009 Beachcomber is an excellent example of the Sea Ranch style, and may be considered the work of a local master.

3009 Beachcomber, despite a level of deterioration, remains architecturally intact and stylistically recognizable as the structure that was first built in 1971. Even the 1998 bathroom remodel was executed in a style that matched the house. Therefore, it exhibits the essential physical characteristics of the period of association with James Maul. It also exhibits most of the physical features that define the type, period, or method of construction that the property represents, including retention of design, workmanship, and materials. The location and setting also have retained complete integrity [Fig. 9].

Although the City of Morro Bay does not have a historic property ordinance, most such regulations are intended to recognize the importance of historic sites, structures, and areas important to local, state, or national history by requiring new uses and alterations to existing uses to be designed with consideration for preserving and protecting such resources, in particular preserving those elements which are character-defining and serve to tie the resource to its history. Most such historic preservation ordinances rely on the Secretary of the Interior’s Standards for the Treatment of Historic Properties. The four treatment approaches are **Preservation, Rehabilitation, Restoration, and Reconstruction**, outlined below in hierarchical order and explained:

- The first treatment, **Preservation**, places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made. In Preservation, the options for replacement are less extensive than in the treatment, Rehabilitation. This is because it is assumed at the outset that building materials and character-defining features are essentially intact, i.e, that more historic fabric has survived, unchanged over time. The expressed goal of the Standards for Preservation and Guidelines for Preserving Historic Buildings is retention of the building's existing form, features and detailing. This may be as simple as basic maintenance of existing materials and features or

may involve preparing a historic structure report, undertaking laboratory testing such as paint and mortar analysis, and hiring conservators to perform sensitive work such as reconstituting interior finishes. Protection, maintenance, and repair are emphasized while replacement is minimized.

- **Rehabilitation** is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. Rehabilitation emphasizes the retention and repair of historic materials, but more latitude is provided for replacement because it is assumed the property is more deteriorated prior to work. (Both Preservation and Rehabilitation standards focus attention on the preservation of those materials, features, finishes, spaces, and spatial relationships that, together, give a property its historic character.)
- **Restoration** is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project. It focuses on the retention of materials from the most significant time in a property's history, while permitting the removal of materials from other periods.
- **Reconstruction** is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location. This establishes limited opportunities to re-create a non-surviving site, landscape, building, structure, or object in all new materials.

Choosing the most appropriate treatment for a building requires careful decision-making about a building's historical significance, as well as taking other considerations into account:

- **Relative importance in history:** Is the building a nationally or locally significant resource? National Historic Landmarks, designated for their "exceptional significance in American history," or many buildings individually listed in the National Register often warrant Preservation or Restoration. Buildings that are not listed in the National Register more frequently undergo Rehabilitation for a compatible new use.
- **Physical condition:** What is the existing condition--or degree of material integrity--of the building prior to work? Has the original form survived largely intact or has it been altered over time? Are the alterations an important part of the building's history? Preservation may be appropriate if distinctive materials, features, and spaces are essentially intact and convey the building's historical significance. If the building requires more extensive repair and replacement, or if alterations or additions are necessary for a new use, then Rehabilitation is probably the most appropriate treatment.

- Proposed use: An essential, practical question to ask is whether the building be used as it was historically or will it be given a new use? Many historic buildings can be adapted for new uses without seriously damaging their historic character; special-use properties such as grain silos, forts, ice houses, or windmills may be extremely difficult to adapt to new uses without major intervention and a resulting loss of historic character and even integrity.

## **MANAGEMENT RECOMMENDATIONS**

Based on its local importance, its current state of preservation, and the Secretary of the Interior's Standards for the Treatment of Historic Properties, 3009 Beachcomber appears to warrant rehabilitation and preservation where possible. Because this historic property is a private residence and not a public or commercial building, the interior falls outside of the purview of historic preservation as it will not be accessible to the general public. This residence actually has two public faces: the eastern elevation visible from the street, and the western elevation visible from the public beach. As a result, preservation and rehabilitation of these two elevations should be the primary goal. The character-defining elements of these two elevations include their distinctive massing, the fenestration, and the exterior finishes and trim. Therefore, I recommend the following approaches:

- 1) To the maximum extent possible, given the deterioration/failure of the finishes, roof, and fenestration, the historic character of a property will be retained and preserved. The removal of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize this property should be avoided where feasible. In this case, this would mean maintaining the massing and roof styles of the house (i.e. not adding a visible slope roof to areas that currently have a flat roof) and repairing existing trim, exterior finishes, fenestration and other exterior features where possible.
- 2) Deteriorated historic features should be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new material should match the old in composition, design, color, and texture.
- 3) New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old but be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Some of the exterior and landscape features need to be addressed specifically:

- Much of the front fencing appears to be repairable and restorable and adds to the architectural character of the house, particularly the front gate. This fencing should be preserved and restored. Fencing in the side yards is less important and may be replaced with a compatible fence – i.e. wood fencing as opposed to vinyl or metal.

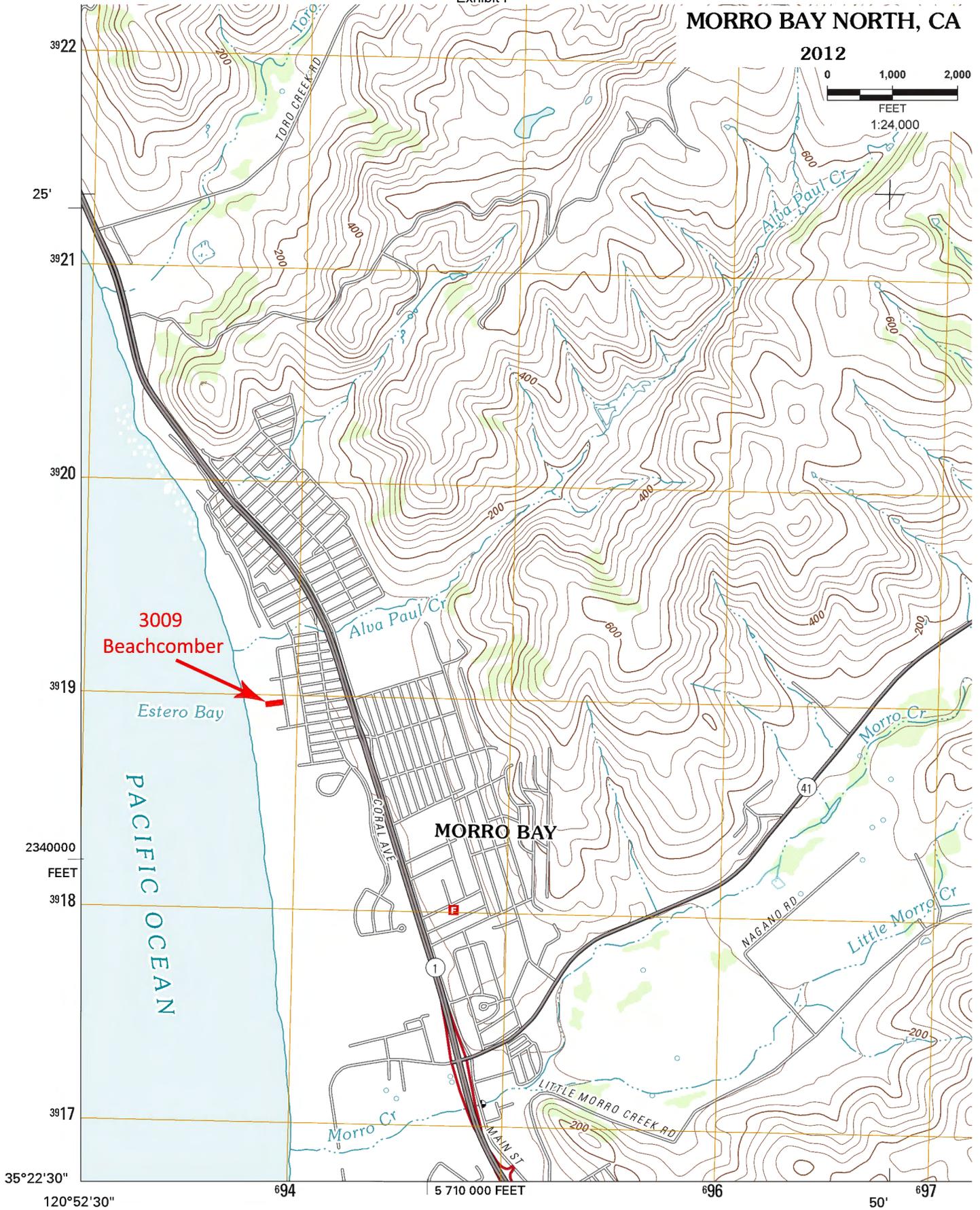
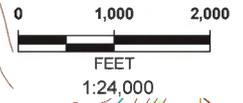
- If possible, the existing site-built exterior lighting should be repaired and restored, but may actually be beyond repair. If that is the case, replacement lighting should have a similar site-crafted appearance and reflect a 1970s architectural style, or be unobtrusive and blend into the architecture.
- The unique and distinctive downspouts should be preserved, repaired, or rebuilt. To prevent further water damage, the wood downspouts can be lined with zinc or copper sheathing.
- The existing trellis in front of the office should be retained and repaired, or rebuilt, as should the breezeway cover between the house and garage. The awnings are not original to the 1971 house and may be removed or replaced with something more compatible with the design of the house.
- The sculptural wooden "arch" across the driveway entrance is somewhat problematic. Although it is very distinctive and probably a current landmark for the house, it was not part of the original plan for the house, was built after the 1990s, and detracts from the Sea Ranch architectural style which is characterized by simplicity of form and structure. It also makes access to the driveway apron difficult, and is actually built within the street right-of-way rather than on the project property. As such, it may be removed as part of the rehabilitation of the property.
- The rear deck is a major component of the house allowing a merging of interior and exterior spaces. It is however, not architecturally distinctive and may be replaced by a compatible deck.

I am available to answer any questions you might have about this assessment and management recommendations.

Sincerely,



Rebecca Loveland Anastasio  
B.A. Anthropology  
B. Architecture



**FIGURE 1: PROJECT LOCATION**

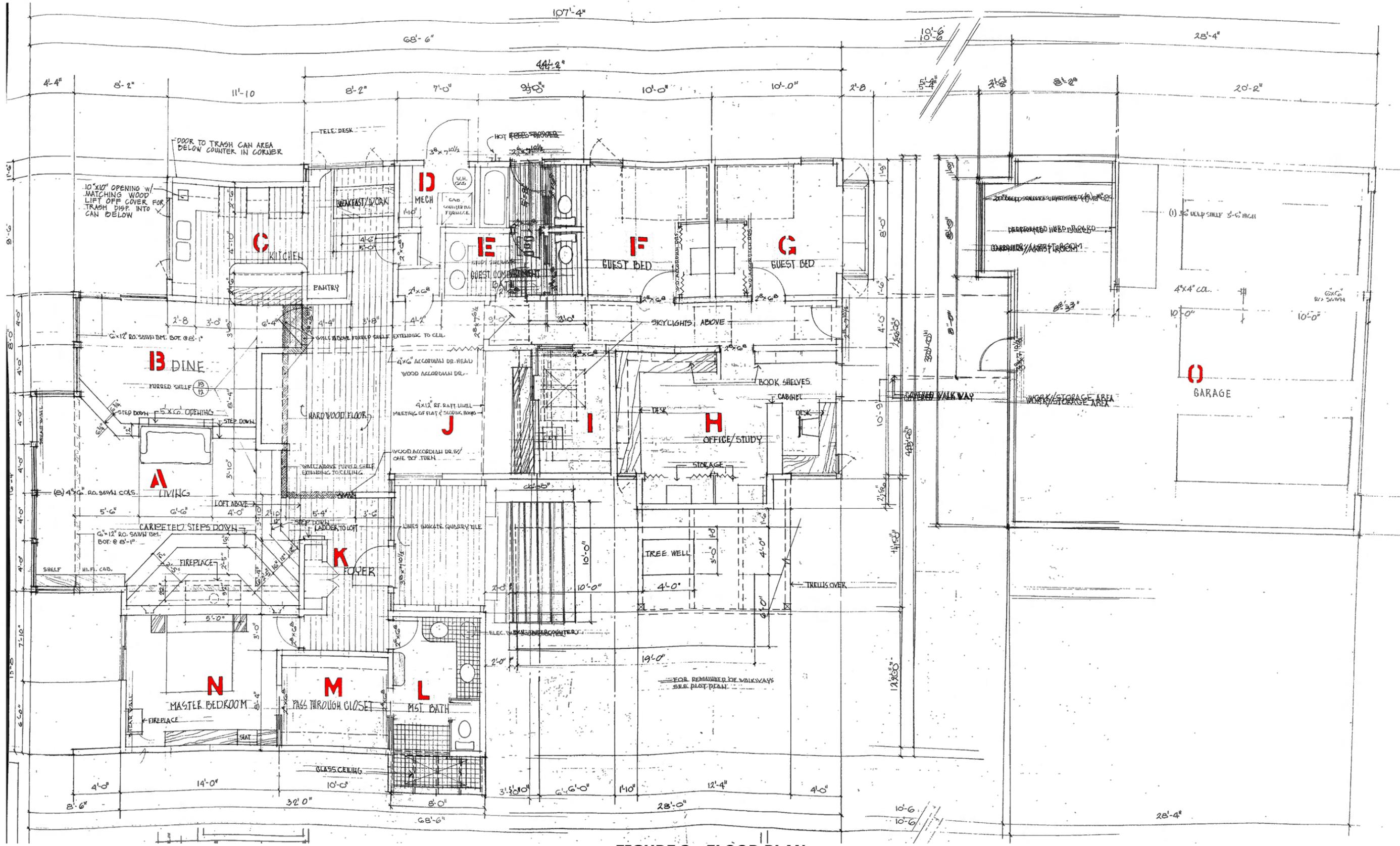
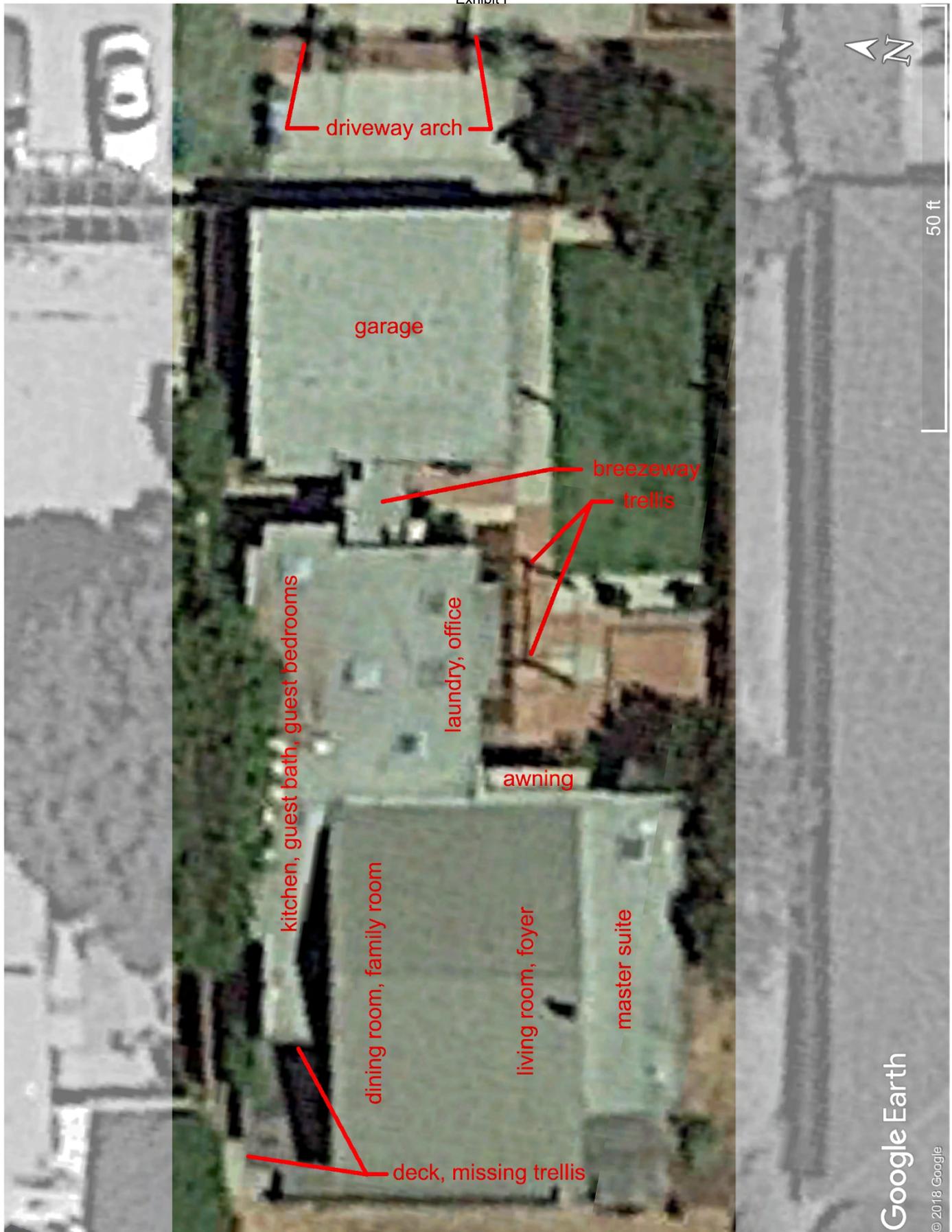


FIGURE 2: FLOOR PLAN



**FIGURE 3: ROOF AND MASSING**



**FIGURE 4: 1998 ADDITION**



Front Entry Door and Windows



Office Window



Rear Doors and Windows (Master Bedroom, Living Room)



Office Windows



Rear Doors and Windows (Dining Room and Kitchen)



Breakfast Nook Windows

**FIGURE 5: FENESTRATION**



Wood shingles and diagonal redwood boards, front of house



Diagonal redwood boards, rear of house



Custom garage door with shingles and board & batten

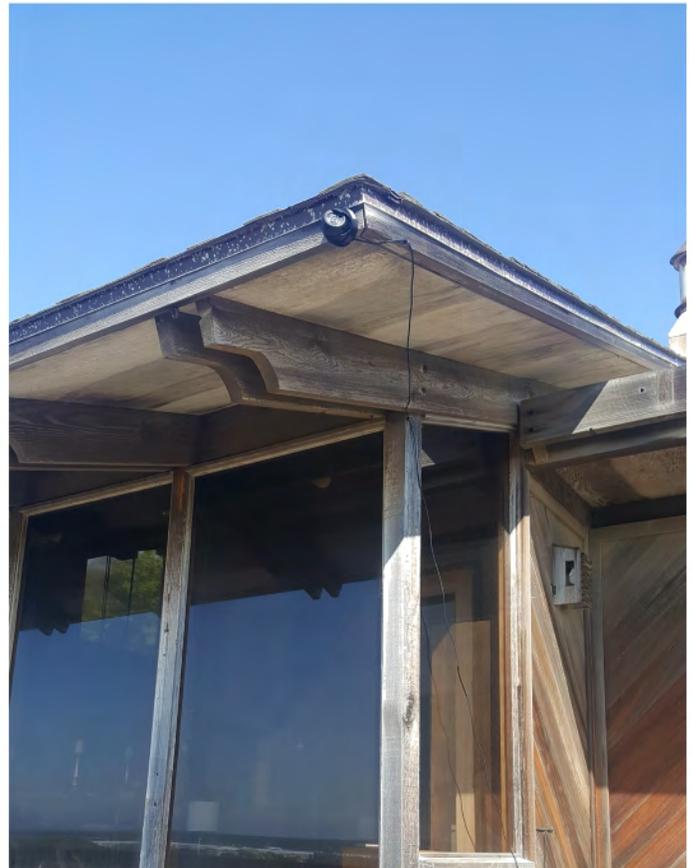
**FIGURE 6: FINISHES**



Fascia, corner boards, base boards



Fascia spacing for downspout



Exposed paired roof rafters

**FIGURE 7: TRIM**



Trellis and Awning



Downspout



Site-built Exterior Lighting

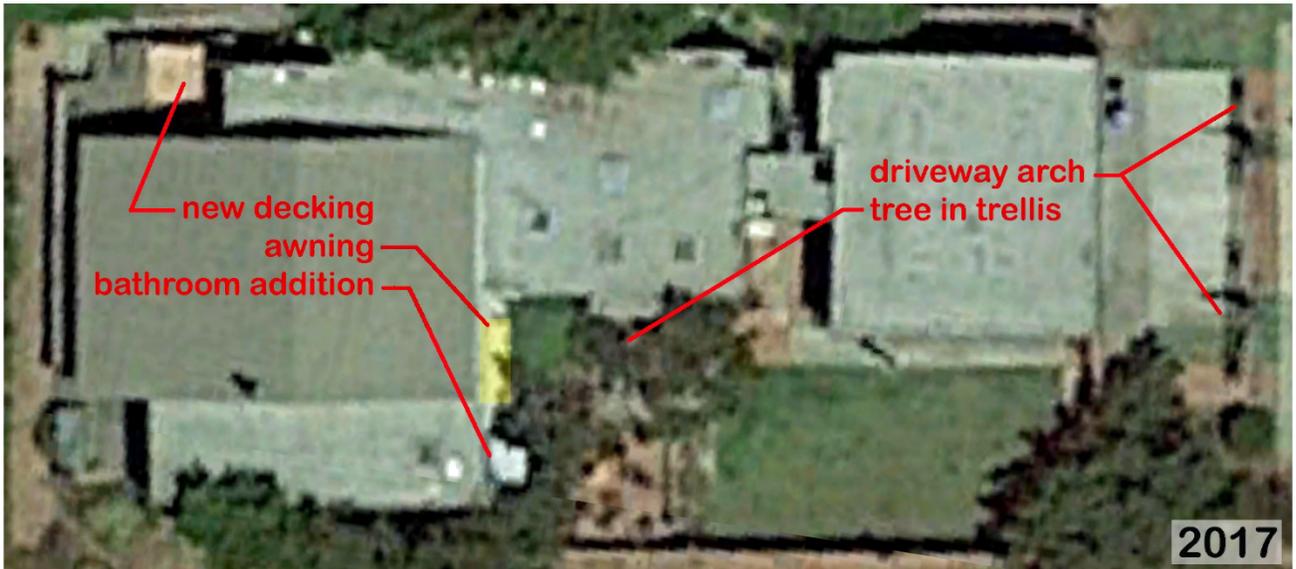


Entry Gate



Driveway "Arch" and Custom Fence

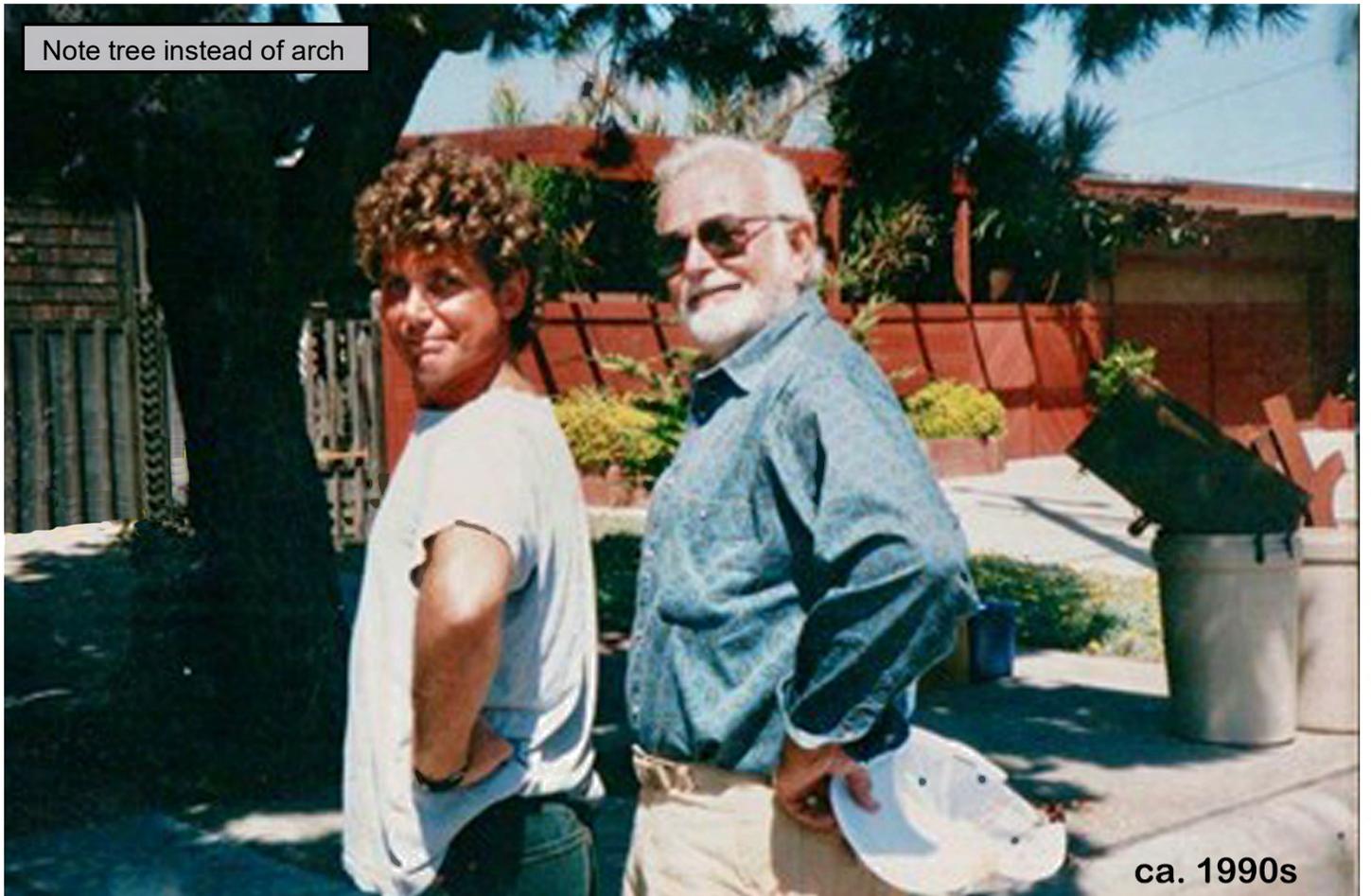
**FIGURE 8: EXTERIOR DETAILS**



**FIGURE 9: AERIAL/ SATELLITE PHOTOS**



1994 Aerial



**FIGURE 10: EXTERIOR 1990s**

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## Personal Communications

Sid Bennett

Frank Gutierrez

Heidi Maul

Lynn Maul

Marty Maul

Steve Maul

Robert Richmond, AIA

Barry Williams, AIA