



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.

**Regular Meeting -Tuesday, March 7, 2023
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson – William Roschen

Vice-Chairperson Mike Rodriguez
Commissioner Asia King

Commissioner Joseph Ingraffia
Commissioner Eric Meyer

Public Participation:

Remote public participation is allowed in the following ways:

- *Community members may attend the meeting in person at the Morro Bay Veterans Hall*
- *Members of the public may watch the meeting and speak during the general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the "raise hand" feature to indicate your desire to provide public comment.*

Please click the link below to join the webinar:

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNWRWFUQT09>

Password: 135692

- *Or Telephone Attendee: 1 (408) 638-0968 or 1 (669) 900 6833 or 1 (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press *9 to "Raise Hand" for Public Comment*
- *Alternatively, members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Planning Commission at planningcommission@morrobayca.gov prior to the meeting. Agenda correspondence received at planningcommission@morrobayca.gov by 10 a.m. on the meeting day will be posted on the City website.*

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE/PLEDGE OF ALLEGEANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT

Members of the audience wishing to address the Planning Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Planning Commission at this time.

PRESENTATIONS – **Chamber and Economic Development Update**; Erica Crowder, President/CEO
Morro Bay Chamber of Commerce

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.
- A-2** Approval of minutes from the Planning Commission meeting of January 17, 2023.
Staff Recommendation: Approve minutes as submitted.
- A-3** Approval of minutes from the Planning Commission meeting of February 3, 2023.
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS

- B-1 Case No.:** MAJ22-002
Site Location: 701-715 Embarcadero, Morro Bay, CA (Lease sites 78-79/78W-79W & 80-81/80W-81W)
Proposal: Conditional Use Permit Major Modification (MAJ22-002) permit of #MAJ20-004 previously approved 11/9/2021 for modification of existing commercial development and proposed public access improvements at 701 and 715 Embarcadero. Specifically, the project proposes amendments for public access enhancements and modifications to the approved new Harborwalk public access which includes additional 20sf of Harborwalk area, reconfigure existing commercial fishing wharf with 3-foot-wide wharf cantilever, replace fish-offloading crane, new piling to support new Harborwalk section, and maintain existing commercial fishing use located at 715 Embarcadero. The project is located in the waterfront (WF/PD/S4) zoning district and is located within the original jurisdiction of the Coastal Commission.
CEQA Determination: Categorically Exempt under Section 15301
Staff Recommendation: Conditionally approve
Staff Contact: Cindy Jacinth, Senior Planner, (805) 772-6577

C. NEW BUSINESS

- C-1 Information Session on Historic Preservation**
This item involves multiple speakers and a question-and-answer session conducted by the Planning Commission. This Item does not include a staff report
Staff Contact: Scot Graham, Community Development Director, (805) 772-6291, sgraham@morrobayca.gov

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on March 21, 2023, at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: www.morrobayca.gov/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morrobayca.gov/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet
 This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow.
 Approved projects are deleted on next version of log.

Agenda No: A-1
 Meeting Date 3-7-2023

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:											
1	Messer	550	Kern	8/11/2022	CDP22-027	CDP for new construction of a two story 2,411sf SFR with a 565sf garage and 1,000sf attached ADU.	Under Review, Incomplete letter sent 8/31, Resubmittal on 11/16, Under review, second Incomplete letter sent 12/13/22, resubmittal on 1/09/23, minor edits request on 1/27/23, resubmittal 1/31/23, under review, minor edits request on 1/20 resubmittal on 1/31/23. Deemed complete letter sent on 2/13. Public noticing will begin on 2/21/23 with an administrative decision on the permit on or about 3/4/23.				gc
2	Crizer	420	Sicity St	9/8/22	CDP22-031	Admin CDP to add a 411sf second -story ADU with 329sf deck.	Incomplete letter sent on 9/27/22. Resubmittal on 2/14. Deemed Complete Letter sent 2/21. Noticing period 2/24-3/6. Admin decision on or about 3/7.				gc/st
2	Lutschaunig	242	Surf St	10/31/2022	CDP22-035	New 380 sf ADU to be constructed over existing 340 sf garage - a portion of the garage will be used for ADU bathroom and stairway	Planning disapproved and comments sent on November 25, 2022. Required redesign and resubmittal. Meeting week of 12/12/22 with planning consultant to review comments. Applicant to revise plans and resubmit. Project deemed complete. Need a site study prior to public notice and admin decision on the permit. Additional study needed was received, public notice will begin on March 2, 2023 with an administrative decision on the permit on or about 3/13/23.				nh
3	Van Beurden	701-715	Embarcadero	12/22/2022	MAJ22-002	Major modification to CUP to reflect Coastal Commission approved changes at the Dutchman Harborwalk	Under review. Deemed incomplete and comment letter sent 1-18-23. Resubmittal received 2/14/23. Anticipated PC hearing date to be 3/7/23.				cj
30 -Day Review, Incomplete or Additional Submittal Review Projects:											
3	McDonald	300	Sicity St	1/31/2023	CDP23-002	New 2155 s.f. SFR w/ attached 284 s.f. garage and 409 s.f. decking on a vacant lot .	Under Review				gc
4	Nance	595	Morro Bay	2/7/2023	CDP23-003	Installation of one solar carport located in the existing Chase Bank parking lot.	Under Review, incomplete letter sent 2/28/23				gc
5	Salbi	450	Marina	12/19/2022	CDP22-043	Admin CDP for two story single family home with garage and Accessory Dwelling Unit	Incomplete letter sent January 13th, resub on 2/7/23, under review.				gc
6	Bradley	2285	Emerald Circle	12/5/2022	CDP22-041 / CUP22-12	CDP and CUP for new construction of a 2,368sf one story single family home and 2 car garage on a vacant lot in the Cloisters subdivision.	Incomplete letter sent 1-5-2023				gc
7	Smartlink/ AT&T	590	Morro Ave	12/5/2022	M AJ22-001	Permit amendment for proposed modifications to existing AT&T rooftop cell site	Under review. Incomplete letter sent 12/15/22. Resubmitted 1/31				cj
8	Patel	1050	Morro Ave	11/17/2022	CUP22-10/ CDP22-039	Remodel existing hotel and add second floor with kitchen and hotel dining area, plus other guest amenities. Increase from 16 rooms to 27 rooms.	Under Review. Comments provided Dec 12, 2022, requires a resubmittal. Applicant is addressing parking issued included in the PW comment letter. Project resubmitted on February 8, 2023, Planning ready to deem complete, needs PW approval.				nh
9	Agular	351	Panay	11/2/2022	CDP22-036	Demo existing one story 849sf SFR to build a two story 1,926sf SFR with a 226sf garage and a 280sf roof deck.	Under Review, Incomplete letter sent on 12/15/22, resubmittal 2/16/23, under review				gc
10	Gonzalez	590	Radcliff	10/25/2022	CDP22-034	Admin CDP for a new 1,956 two story SFR with a 522sf attached garage and 640sf second story deck.	Under review. Planning disapproved and incomplete letter sent on 11/22.				gc/st
11	Hsiao	205	Harbor St.	9/20/2022	LTM22-02	Lot merger application for underlying lot lines per approved planning permit for 6 unit hotel	Under review. Correction letter sent 11/21/22.				cj
12	MSA Architects	2417	Greenwood Ave.	8/24/2022	CDP22-030	Admin CDP to develop a new 562 detached ADU	Incomplete letter sent on 9/12/22, resubmittal on 10/26, under review, minor edits request on 11/17				gc
13	Shepler	2181	Sumset Ave	8/24/2022	CDP22-029	CDP Application for a new third dwelling and one ADU on a property with two existing homes	Comment letter sent on 9-5-22. Resubmittal received 10/24/22, planning requires minor changes and sent letter November 10, 2022. Requires resubmittal.				nh
14	Kersten	1358	Prescott	7/27/2022	CDP22-024	Admin CDP for partial conversion of an existing (522sf) attached garage into a single story 276sf ADU.	Incomplete letter sent on 08/09/22				gc
15	California Coastal Investments, LLC	801	Embarcadero	6/28/2022	CUP22-09	Concept/Precise Plan CUP for mixed-use redevelopment of the Libertine Brewing Co. building to convert existing second floor to 7 hotel units and first floor as mix of restaurant, coffee shop, outdoor dining, provision of new public access improvements including extension of Harborwalk	Under review. Incomplete letter sent 7/27/22. Resubmitted 1/27.				cj
16	McDonald	471	Panay	6/1/2022	CDP22-019	Admin CDP for the new construction of a two story residence	Incomplete Letter Sent 6/14				gc

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
17	Birchell	2030	Main	5/4/2022	MIN22-005	The Applicant requested a withdrawal.	Applicant changed scope of work and withdrew permit application.				gc
18	Vanderbyl	531	Yerba Buena	4/20/22	CDP22-015	Admin CDP for shed conversion into 468 sf ADU	Correction Letter sent 5/12/22. Resubmittal received 7/21/22 - review comments sent on August 6, 2022, requires resubmittal. Resubmittal received and planning and building disapproved based on fire/life/safety issues. Resubmittal required.				nh
19	Hartman	320	Orcas St	4/14/22	CUP22-07/ CDP22-010	New SFR with attached garage to replace home destroyed in fire	Correction letter sent 5/11/22.				nh
20	Jasso	2515	Greenwood	2/22/22	CDP22-006	Admin CDP for new SFR with 2 car garage and detached ADU	Comment Letter Sent 3/17/22				nh
21	Luhr	1140	Allesandro Ave	1/20/22	CUP22-06 / CDP22-004/ TTM22-04	Live/work mixed use, new construction of 5 residential units and 2 commercial units	Comment letter provided 2/13/22. Project deemed complete - processing will continue once Vesting Tentative Map submittal is complete. Vesting map submittal received May 12, 2022. Planning sent comment letter on 5/28/22, requires resubmittal. Resubmittal received with tentative tract map submittal on August 9, 2022, under review. PW disapproved the VTM, comment sent to applicant on 9-17-22, requires a resubmittal of the VTM. Applicant working with Public Works on some design issues in the public right of way. Once resolved, resubmittal required with any changes.				nh
22	Morro 94 LLC	3300	Panorama	1/18/22	CUP 22-05/CDP22-003/TTM22-02	Submittal of combined concept and precise plan review for 61 unit subdivision. Project revised to 48 total housing units.	Received and under review. Notify Me account set up to provide information and publically available documents on the project. Subdivision Review committee meeting scheduled. Project comment letter sent 2/18/22, requires resubmittal and environmental review. Planning consultant team is preparing to hold a neighborhood meeting April 20, 2022 at Del Mar Elementary School at 6pm. City working with selected environmental consultant on contract and owner reimbursement agreements. TTM resubmittal received October 10, 2022, under review. Tentative Tract Map disapproved on November 2, 2022. Requires resubmittal with the CUP/CDP plans in order to be processed together. Environmental review is under contract and work has commenced. Anticipate process to take 6-9 months to complete. Under review for new zoning code requirements - applicant plans to resubmit for review.				nh
23	Romero	563	Zanzibar	12/6/21	CDP21-048	Admin CDP for new 1978sf 2 story SFR with 533 sf garage and 2nd level 128sf deck	Incomplete letter sent 12/22/2021, Resubmittal 7/28, under review, resub on 12/21/22, request edits on 1/19/23.				gc
24	Morro Bay LLC (Keller)	1108	Front Steet	11/8/21	MAJ21-007	Major Modification permit for Expansion and extensive remodel of second floor short term rental unit.	Planning comments sent 11/23/21, requires resubmittal. Applicant may put this application on hold until the adoption of the new zoning code (i.e. includes street setbacks closer to the actual placement of the building) (needs the IP sections to be final via CCC approval)				nh
25	T-Mobile/ Siegel	545	Shasta	10/12/21	CUP21-13/ CDP21-039	T-Mobile modification to existing facility approved under UP0-162/CP0-229. T-Mobile proposes to remove/replace and relocate existing wireless facility screened within existing church steeple and request height exception to construct new 29'0" faux bell tower for relocated wireless facility.	Under review. Project deemed incomplete 11-8-21. Resubmitted 8/25/22. Under review. Deemed incomplete and response letter sent 9/22/22. Resubmittal received 1/11/23. Incomplete letter sent 1/26.				cj
26	Guesno	220	Atascadero Rd	10/4/21	MIN21-012	Minor Amendment - Change temporary outdoor dining area to permanent outdoor dining	Application will apply for a TUP for outdoor dining. This application is on hold until certification of new zoning code				nh
27	Eisemann	541	Atascadero Road (at Hill St.)	7/9/21	CUP21-09/ CDP21-029	Four unit apartment complex with attached garages	Review comments provided on July 31, 2021. Project requires resubmittal and environmental analysis. Provided applicant estimate for environmental report on September 24, 2021. January 2022 - project is for sale. Applicant inactivity letter sent 7/22/25, no response from applicant yet. Applicant wants to keep project file open. Application to be deemed inactive and closed out due to lack of response (and applicability of new zoning code)				nh
28	Green	1175	Scott Street	6/28/21	CDP21-025 CUP21-07	New construction of 3 hotel units including one ADA unit and a residential security unit	Review comments provided on July 21, 2021. Requires a resubmittal for review. Discussed project with applicant, expected to have resubmittal ready in November 2021. Applicant is reviewing alternative designs for the project, staff provided input on 2/14/22. Resubmittal received October 25, 2022 - reviewing under both zoning codes. The project was redesigned to include only one hotel unit and one residential unit. Planning disapproved and letter was sent to applicant on November 18, 2022, requires a resubmittal. Meeting with applicant to review planning comments on Dec. 13, 2022. Applicant to revise plans and resubmit. Resubmittal received 12/19/22. Project deemed complete on 12/27/22. Applicant is required to submit an additional study prior to scheduling planning commission hearing. Additional study received, project needs to resubmit to address PW comments prior to moving forward to hearings.				nh
29	SR Development	545	Atascadero	Initial partial submittal on 3/31/2021. Submittal complete on 4/26/21	CDP21-013 / CUP21-04	New construction of 15 unit townhomes project	Comment letter sent 5/14/21, requires resubmittal with responses. Applicant inactivity letter sent 7/22/22, applicant responded that they would like to keep the application active. Application to be deemed inactive and closed out due to lack of response (and applicability of new zoning code)				nh
30	Tullis	404	Estero	3/17/21	CDP21-011	CDP to demo existing improvements & construct new SFR and site improvements.	Under review. Deemed incomplete, comment letter sent to applicant April 2, 2021				nh
31	Vistra	1290	Embarcadero	12/28/20	CDP20-026 & CUP20-14	Battery Energy Storage System (BESS) - New proposed project to construct 600MW BESS on old tank farm north of existing Morro Bay Power Plant. BESS to be constructed as 3 separate buildings, 30 feet in height plus 10 feet of screening for rooftop equipment.	Under initial review. Project deemed incomplete and incomplete letter sent 1-21-2021. Applicant resubmittal received 2-17-2021 and under review currently. Project deemed complete for processing on 2/23/2021. Project plans and documents being evaluated. Environmental review process in progress. NOP released and two scoping meetings held on 6/21/22 and 6/29/22. Master Plan community workshop scheduled for 9/14/22. Environmental review still in process.				cj
Projects Appealed to Planning Commission or PC Continued projects - none											

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Projects Appealed or Forwarded to City Council											
36	Steiner	301-390	Seashell Cove	4/19/21	MAJ21-02	General Plan / LCP Land Use & Zoning Map Amendment application to change land use and zoning from R-A to R-4 designation / low density to high density	Under review. Response letter/ incomplete letter sent 5-6-21. Resubmittal received. Environmental review in process. MND document complete and routed to State Clearinghouse - public comment period closes May 4th. PC reviewed on June 7th, and voted to not forward a favorable recommendation to Council but instead that land use change request should be associated with a project. Applicant is determining next steps.				cj
37	Murphy	2440	Laurel Ave	8/1/22	CDP22-025	Demo existing home and new construction of a new 3037 sf home with a 1198 sf garage/shop on a 4000 sf parcel. Admin CDP with CEQA Historic Evaluation report required.	Incomplete letter sent on 8/23/22. Project resubmittal received on 10/24/22 and comment letter sent on 11/2/22 with minor corrections required. Project deemed complete, public notice period from November 22, 2022 to December 5, 2022. Administrative decision on permit on December 6, 2022. Permit issued Dec 10, 2022. Project was appealed to Planning Commission - hearing on February 7, 2023. PC denied the appeal, and approved the project with added conditions. Project appealed by Metzger and the applicant, scheduled for City Council April 11, 2023.				nh
Environmental Review - none											
Final Map Under Review Projects:											
38	Huber	2783	Coral Ave	8/30/22	TTM22-03	5 unit residential subdivision	Planning approved, forwarded to PW.				nh
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing: - none											
Grants											
39	California Coastal Commission, California Ocean Protection Council		City-wide	4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation. Round 6 funding of \$65,000 received Mar 2020.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17. Additional LCP grant funding received in 2020 under Round 6 for \$65,000 to complete LCP update. Zoning Code/Implementation Plan adopted by Council on 11/22/22 as part of LCP update. LCP amendment submitted to Coastal Commission on 12/12/2022.	No review performed.	N/A		sg/cj
40	City of Morro Bay		City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. City Council approved Cooperation Agreement for 2021-2023 CDBG Program Years at 5/26/20 Council meeting. Notice of Funding Availability for 2022 Program Year released 9/27/21. Application funding deadline is 11/1/2021. Council public hearing to consider final funding recommendations to be on 3-8-2022. cj	No review performed.	N/R		cj
41	City of Morro Bay		City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
Projects in Building Plan Check:											
41	Castillo	1055	Allesandro St.	6/3/2021	B21-0097	250 sf addition to rear of existing SFR, addition creates two bedrooms and one full bath.	Planning disapproved 7/2/21. Resubmittal received 7/25/22. Resubmittal disapproved 8/01/22.	Bldg. - Disapproved 8/4/22			sg
42	Castillo	1055	Allesandro St.	7/25/2022	B22-0158	Jr. Accessory Dwelling Unit (JADU) - Existing bedroom in primary dwelling will be converted to JADU.	Planning disapproved 8/1/22	Bldg. - Disapproved 8/5/22			gc
43	Conway	305	Arbutus	1/4/2023	B22-0269	DIGEPLAN - 390 sf addition, expanding lower level family room and 2nd level primary bedroom & bath, the remodel includes kitchen and relocating two bathrooms to accommodate the installation of new elevator. The addition creates a 2nd level 378 sf rear deck.		Bldg. - Disapproved 1/25/23			
		990	Balboa	2/17/2023	B23-0028	DIGEPLAN - Kitchen and Bathroom remodel and new FAU installation in an existing 1329 sf SFR		Bldg. Plancheck			
44	Nabors	240	Bali	12/5/2022	B22-0259	Attaching ADU approx 477 SF living space onto west elevation side yard.		BLDG - Disapproved 2/7/23			

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45	Goldstein	186	Bayshore Dr.	11/4/20	B20-0190	Remodel kitchen, dining & living area.	Planning disapproved 11-6-20	Bldg. - Approved 11/09/20			sg
46	Carter	2035	Bayview Ave.	8/5/21	B21-0135	New SFR, 1980 sf living, with 483 sf attached garage, 96 sf covered deck, 267 sf covered rear patio and 32 sf covered front porch.	Disapproved 8-26-21. am	Bldg. Disapproved 9/21/21			cj
47	Perry	3202	Beachcomber Dr	2/9/23	B22-0264	Demo existing, new construction of 2567 sf home iwth a 2424 sf subterranean garage on lower level and 963 sf roof deck. Home to be located on newly configured parcel (requires final TM)	Under review	Bldg. Plancheck			nh
48	Perry	3230	Beachcomber Dr	2/9/23	B22-0265	New SFR on new parcel. Home is 1816 sf with a 471 sf garage and a roof deck.	Under review	Bldg. Plancheck			nh
#REF!	Segovia	2824	Birch Ave.	3/21/22	B22-0057	Cover patio, conversion to sunroom.	Disapproved 4/1/22	Bldg. - Approved 3/24/22			am
#REF!	Dillard	1256	Bolton	3/30/22	B22-0072	Convert Unfinished Underfloor Space in 986 sf of conditioned livable space	Disapproved 4/7/22. Resubmittal approved 7/29/22.	Ready to issue			am
50	Berner	2750	Dogwood Ave.	12/6/22	B22-0260	Add 235 sq of conditioned space, including a new bathroom, additions to bedroom and utility room, 297 sf, roof deck, spiral stair, ground floor deck (136 sf), less than 30" above existing adjacent grade.	Under Review	Bldg. - Disapproved 1/4/23			st
51	Robinson	2940	Dogwood Ave.	7/12/22	B22-0148	Install (2) bay windows, replacing (2) windows of smaller dimension on W facing front of house. Living Room: replace 5'x5' window w/ 50"x81" bay window. Bedroom: replace 32"x44" window w/ 50"x81" window.	Planning disapproved 7/19/22	Bldg. Conditionally Approved 7/18/22			cj
		209	Dunes	2/21/23	B23-0040	DIGEPLAN - Interior Remodel, kitchen, fireplace, flooring.		Bldg. Plancheck			
52	Ciano	115	Easter St	1/11/23	B22-0283	DIGEPLAN: Interior remodel of existing ADU, relocate bedroom and kitchen/dinning and living area (reverse locations). Replace windows, doors, add skylights, wall mounted radiator, tankless water heater and other MEP.		Bldg. Disapproved 2/10/23			
53	Gambrill	571	Embarcadero	2/22/22	B22-0035		Disapproved 3-8-21. Disapproved resubmittal 6-2-22. new resubmittal received 9/1/22 under review. Disapproved 10/3/22	Ready to issue			cj
54	Redican	725	Embarcadero	3/14/22	B22-0049	The project consists of a 608 SF interior remodel of the existing arcade retail space into an extension of the commercial kitchen prep area. All work is exclusive to the interior of the lower level with no impacts to the site, exterior elevation or occupant circulation of the existing building.	Disapproved 3-17-22. Resubmittal received 6-23-22 and conditionally approved 8/25/22	Ready to issue			cj
55	TLC Family Enterprises	833	Embarcadero	3/16/22	B22-0052	Addendum #1 to B20-0220 - Removal of parapet wall which requires removing steel post below and show railing on upper level. Revert back to cantilevered floor joists for hotel access walkway upstairs.	Disapproved 3-21-22	Bldg. - Disapproved 4/18/22			cj
		1231	Embarcadero	2/7/23	B23-0029	Repair and maintenance of existing wharf, bulkhead and pilings.		Bldg. - Disapproved 2/9/23			
#REF!	Guldenbrein	481	Estero Ave	1/5/23	B23-0003	New fencing & retaining walls, exterior electrical grading & catch basin installation w/pump in front yard. (see plans)		Bldg. - Disapproved 1/18/23			
#REF!	Hsiao	205	Harbor St.	4/20/22	B22-0084	Demolition of three existing structures and their accessory structures. Construct new 6-room, 5042 sf hotel with 7 onsite parking spaces on a .40 acre lot, the hotel is designed as two story on the east elevation and steps down the bluff with single story on the west elevation.	Planning disapproved 4-28-22. Resubmittal disapproved 11-3-22. Comment letter sent to Building. Approved 12/1/22.	Ready to issue			cj
#REF!	Godfrey	396	Hill St.	12/7/22	B22-0261	Addendum #2 to B21-0045 Relocate hold down along grid 1 at basement		Ready to issue			

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
62	Wilkie	476-A	Hill St.	3/26/20	B20-0057	ATTACHED ADU - Convert existing attached garage to 344 sf Accessory Dwelling Unit.	Correction letter sent 4/30/20.	Bldg. - Approved 4/8/22			nh
63	DeWitt	1955	Ironwood Ave Unit E, F, G and H	1/23/23	B22-0284	DIGEPLAN - Remedial foundation leveling, push pier installation is voluntary to prevent further subsidence of the structure. Installations are subgrade and do not affect the exterior appearance of the structure.		Bldg - Approved 2/2/23			
64	Lent	194	Island St	1/10/23	B23-0006	Remodel existing bonus room and portion of garage to ADU, construct new rooftop deck over portion of remodel/converted ADU.		Bldg. - Disapproved 2/9/23			
65	Johnston	2781	Juniper Ave.	6/2/21	B21-0094	New 463 sf 2nd story deck at rear of existing SFR, also replace five existing windows with three new sliding glass doors.	planning disapproved 6/3/21. Planning approved resubmittal 7-20-21.	Ready to issue			sg
66	Cook	2941	Juniper	10/26/22	B22-0243	Demo unpermitted studio at lowest level of existing SFR and convert that space with additional underfloor space to create new workout area, bathroom, theatre, storage, and stairs to access upper levels adding approx. 906 sf to SFR.		Ready to issue			
67	Tarver	671	Kern Ave	12/22/22	B22-0271	DIGEPLAN: New 255 SF attached Accessory Dwelling Unit (ADU)		Bldg - Disapproved 1/5/23			
68	Melen	2540	Koa Ave.	8/18/22	B22-0179	Repair of existing outdoor stairway	Planning- Disapproved on 8/31/22	Ready to issue			gc
69	Cia	2551	Koa Ave.	2/23/22	B22-0038	New 3 bed 2.5 bath SFR w/attached 2-car garage.	Planning Approved resubmittal 6/28	Ready to issue			gc
70	Daniels	964	Las Tunas St.	8/3/21	B21-0133	Remodel the laundry room & add a bedroom, bathroom & hallway to the back of existing home in phase I. Phase 2, build a detached garage	Planning approved 5-12-22	Bldg. - Approved 5/16/21			sg
71	Castro	979	Las Tunas St.	1/19/23	B23-0013	Conversion of existing detached garage & work shop to ADU - 642 sf, no addition.		Bldg. - Disapprove 2/10/23			
72	Drenick	2530	Laurel Ave.	9/22/21	B21-0174	Reconstruction of 560 sf two-car garage, garage foundation and 560 sf rooftop deck over garage. See permit B21-0141 for separate demolition permit for these structures.	Disapproved and Correction Letter sent 10/5/21. Planning approved 7/27/22	Bldg. - Approved 8/4/22			am
73	Kevorkian	2615	Laurel Ave.	1/10/23	B23-0005	Addendum #1 to B22-0183, Change the deck configuration to reduce square foot to below existing square foot.	Planning disapproved and sent incomplete comment letter on 1/27/23.	Bldg. - Approved 1/17/23			gc
74	Elliott	2620	Laurel Ave.	4/14/22	B22-0082	New SFR 2.5 story with attached garage.	Planning disapproved 4/16/22. Resubmittal disapproved 6/25/22. Planning approved 7/21/22	Ready to issue			nh
		515	Main	2/21/23	B23-0036	DIGEPLAN - Demolish residential structure that was started without building permit, slab to remain.		Bldg. - Approved 2/21/23			
75	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg. - Approved 2/27/19	Disapproved on 4/15/19		sg

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
76	Sonic	1840	Main St.	10/17/17	B-	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension. Planning permit extension requested and granted to allow new permit expiration of April 2021. Emailed applicant 3-19-2021 advising them of permit expiration date and extension opportunities. No recent activity. Planning permit expires 4/18/2023.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB Permit extended to 4/18/23	Disapproved by job on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj
77	CenCal Enterprise, INC	2030	Main St.	9/21/22	B22-0232	The scope of work has changed. Applicant is now proposing to convert an existing space into an office space, and staff is awaiting the withdrawal of MIN22-005 to proceed with the Building Permit review process.		Bldg. - Disapproved 11/15/22			
78	Timothy and Allyson Cleath Family Trust	2790	Main St	11/8/22	B22-0248	Addendum to B22-0106, Modification to drain collection for parking lot. Sheets C-3 and C-4 revised. No change in flow to the bioswale per attached statement from civil engineer.	Approved 11-10-22. nh	Bldg - Approved 11/8/22			
79	Biaggini	1156 - A	Market Ave	2/3/23	B23-0027	Addendum to B21-0122 - Replace DWH with heat pump water heater and replace gravity wall furnace with mini-split heat pump. Sewer line and water tie-in have been rerouted, as built per new plans.		Ready to issue			
80	Hauser	311	Mindoro St	1/3/23	B23-0001	Remove existing second floor cantilevered deck (615 sf), replace with (187 sf) deck.		Bldg. - Ready to issue			
81	JP Morgan Chase Bank	595	Morro Bay Blvd.	3/31/22	B22-0060	Installation of one solar carport, 99' 3 1/16" X 16' 7 3/8", with 15 modules, wall mounted PV equipment and four carport mounted lights, located in the existing Chase Bank parking lot.	disapproved 4/7/22	Bldg. - Disapproved 5/17/22			am
83	Mollaghaffari & Hawes	427	Oahu St.	5/5/22	B22-0087	New 2nd floor single family residence, 1048 sf living, with a 258 sf 2nd story deck, and 255 sf single car garage. (The garage and an ADU make up the 1st floor level, see permit B22-0088 for attached ADU).	Planning disapproved 5-12-22	Ready to issue			nh
84	Mollaghaffari & Hawes	427-A	Oahu St.	5/5/22	B22-0088	Attached ADU - 702 sf Accessory Dwelling Unit.	Planning disapproved 5-12-22/ Planning approved 1/20/23	Ready to issue			nh
85	Currey	154	Orcas St.	3/23/22	B22-0062	Remodel & additions to kitchen, entry, & masterbedroom.	Disapproved 4/11/22	Bldg. - Approved 12/1/22			gc

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86	Currey	154-A	Orcas St	3/23/22	B22-0063	171 sf addition as an ADU	Disapproved 4-11-22	Bldg. - Approved 12/1/22			sg
87	Appel	400-A	Pico St	8/18/21	B21-0149	Convert existing garage to an ADU without changing the footprint of the garage.	Approved 8/25/21	Bldg. Disapproved 9/10/21			am
		315	Piney Way	2/7/23	B23-0030	Addendum #1 to Permit B21-0112, HIP - to Gable Roof		Ready to issue			
88	Lee	684	Piney Way	9/10/20	B20-0168	Demo existing detached 416 sf work shed with bathroom & reconstruct new 416 sf garage/shop with electrical, keeping existing bathroom on existing slab/foundation.	Planning disapproved 9/15/20. Requires a Admin CDP and Parking Exception prior to review and approval of the building permit. Planning disapproved resubmittal 2/24/21.	Bldg. - Disapproved 3/1/21			nh
89	Reyneveld	1060	Quintana Rd.	9/21/22	B22-0203	Install new drive approach to existing parking area, restripe parking areas, handicap stall, access isle new handicap ramp.		Ready to issue			
90	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and associated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2') with associated electrical wiring.	Approved 9/26/19.	Ready to issue			cj
91	Macias/Mudge	153	Rennell	11/9/22	B22-0249	Construct new 1-story SF residence with 1,478 sf living area and 441 sf attached 2-car garage. There will be a 225 sf covered porch and 295 sf roof deck.		Bldg - Approved 2/23/23			
92	Nagy	646	Sequoia Ct.	4/20/22	B22-0085	New 2-story SFR, 3513 sf living, 1220 attached basement level garage, and 1156 sf covered patio.	Planning disapproved - project needs resubmittal to include conditions of approval and more detailed lanscape plan. Planning approved July 5, 2022.	Ready to issue			nh
93	Hanton	425	Shasta Ave	1/17/23	B23-0004	DIGEPLAN - Enclose the current breezeway to create a new 90 sf entry, a 350 sf addition creating a primary suite and bathroom, also create a valuted space in the existing garage by removing roof and replace with new composition roof.		Bldg. Disapproved 2/14/23			
94	Parker	580	Shasta Ave	8/31/20	B20-0159	Add new detached garage	Planning under review. Planning disapproved 9/8/20. Need resubmittal	Bldg. - Disapproved 9/14/20			nh
95	Morro Rock	311-A	Tahiti	10/26/22	B22-0245	Addendum #1 to B22-0125 - Replace existing framed roof with pre-fab trusses.	Ready to issue	Ready to issue			
96	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane., new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal. Permit aplication expired	Bldg. - Approved 3/27/19			wu
97	Regan	429	Tulare Ave.	5/27/22	B22-0106	531 sf second floor addition that includes a study and bathroom, stairwell and a 200 sf second story deck.	Planning Approved 6/7	Ready to issue			gc
98	Morro Bay Ventures	201	Verdon Ct.	1/4/23	B22-0273	DIGEPLAN - New single story, single-family residence, 2,361 sf living, with 483 sf covered porch and a 450 sf attached garage.		Bldg. - Disapproved 2/3/23			
99	Morro Bay Ventures	202	Verdon Ct.	1/4/23	B22-0277	DIGEPLAN - New single story, single-family residence, 2,361 sf living, with 483 sf covered porch and a 450 sf attached garage.		Bldg. - Disapproved 2/3/23			

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
100	Morro Bay Ventures	205	Verdon Ct.	1/4/23	B22-0274	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. See permit B22-0279 for attached ADU.		Bldg. - Disapproved 2/3/23			
101	Morro Bay Ventures	205-A	Verdon Ct.	1/4/23	B22-0279	DIGEPLAN - New 517 sf attached Accessory Dwelling Unit (ADU). See permit B22-0274 for new SFR.		Bldg.- Disapproved 2/3/23			
102	Morro Bay Ventures	206	Verdon Ct.	1/4/23	B22-0276	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage.		Bldg. - Disapproved 2/3/23			
103	Morro Bay Ventures	210	Verdon Ct.	1/4/23	B22-0275	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. See permit B22-0280 for attached ADU.		Bldg. - Disapproved 2/3/23			
104	Morro Bay Ventures	210-A	Verdon Ct.	1/4/23	B22-0280	DIGEPLAN - New 517 sf attached Accessory Dwelling Unit (ADU) - See permit B22-0275 for new SFR.		Bldg.- Disapproved 2/3/23			
105	Tibbs	6	Zanzibar St.	12/15/22	B22-0266	100 sf interior remodel of small bathroom and conversion of a laundry room to a powder/utility room.		Ready to issue			
Planning Projects & Permits with Final Action:											
107	Morgan	101	Fig St	8/9/21	CDP21-035/CUP21-12/ VAR21-003	Coastal development permit, conditional use permit, and variance request for new construction of 1676sf single family home, 465sf garage, roof deck and patio area and request for variance to front setback for property to minimize alteration of bluff feature.	Under review and incomplete letter sent 9/7/21. Resubmittal received 1/19/22. Spoke with agent 2/18/22. Requested revised geological report and plans to delineate bluff face prior to hearing. Revised plans emailed with updated geological information. Under review. Discussed bluff policies with Coastal Commission staff. Updated geo report received 7/2022. Updated plans received 10-2022. Project deemed completed and noticed on 11-4-22 for PC action on 11-15-22. PC approved, and project appealed to City Council on 11-25-22. Appeal hearing set for 1-24-23. Council denied appeal and upheld PC approval.				cj
108	City of Morro Bay		Citywide		-	Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project - Zoning Code/ Coastal Implementation Update - Amendment of Title 17 of Morro Bay Municipal Code	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. Public draft of combined General Plan/ LCP released May 2018 for review. Worked with Coastal staff on CCC input received during 2019. Adoption Draft to be reviewed by Planning Commission at 10/20/20 hearing. Admin Draft of EIR received and to be circulated. Reviewed by PC at the 11/4/2020 & 11/17/20, 12/1/20, & 12/15/20 PC meetings. 3-16-2021 meeting is for review of the EIR and make recommendations to City Council for adoption. Council review of adoption draft held on 4/27/21. Hearing continued to the 5/11 and then 5/25/21 Council meetings. Plan adopted by Council on 5/25/21. LCP Amendment application submitted to Coastal Commission for certification. Coastal Commission LCP certified Coastal Land Use Plan (LUP) on August 12, 2021. Zoning Code Update in progress, reviewed by PC in 12/2021 and Adoption Hearing Draft reviewed on 8/16/22, 9/6/22, and 9/20/22. PC adopted Resolution 08-22 forwarding recommendation for adoption to City Council which held adoption hearing on 10/25/22, with second reading of Ordinance 654 to be at Council meeting on 11/22/22.. LCP amendment application submitted to Coastal Commission on 12/12/2022.				
109	Bean	197	Main Street (formerly known as 199 Sandpiper)	12/19/19	CUP19-20, CDP19-04, VAR20-001	CUP/CDP for new home on triangular small parcel on the bluff. Proposed home is 526 sf 2-stories with access easement to Main Street	Project deemed incomplete, comment letter sent January 7, 2020. Resubmittal received 10/26/20 adding a variance request, under review. Incomplete, need resubmittal. Resubmittal received September 14, 2021, under review. Incomplete letter sent on Oct 4, 2021. Resubmittal received 10/29/21. Planning comment letter sent November 10, 2021, requires resubmittal. Project deemed complete and scheduled for planning commission on May 17, 2022. Planning Commission denied the project, and the owner has appealed. Scheduled for City Council, August 23, 2022 at the request of the applicant. City council upheld the appeal and approved the project. Project appealed to California Coastal Commission, pending review.				nh
110	Orgill	3009	Beachcomber	7/19/22	CDP22-023	Demo of existing home that is structurally unsound, and rebuild new 3335 sf home with a 715 sf garage/trash area. Existing home was the Jim Maul residence.	Comments sent August 6, 2022, requires resubmittal and will require updated Architectural Historic Resource review based on the new plan and the structural report. Resubmittal received October 20, 2022, project was deemed complete November 2, 2022. Scheduled for Planning Commission hearing on December 20, 2022. Public notice to begin on December 9th, 2022. PC continued hearing to January 17, 2023. Project approved by PC on January 17, 2023, permit issued. Project appealed on January 25, 2023, but appears to be a concern around an issue unrelated to the subject property. Appeal determined to be unrelated to the project and was rejected. Project is approved with valid permit. Project appealed to Coastal Commission, pending CCC review and determination.				nh
112	Kleckner	515	Main	12/7/2022	CDP22-042	After the fact Admin CDP for the demo of a partial construction of residential unit	Deemed complete on 1/24/23, Public Noticing from 1/27/23 to 2/07/23, CDP approved with 10-day appeals period until 2/21/23.				gc
113	Naghsh	466	Bonita St	11/29/2022	CDP22-040	Admin CDP for 240sf garage conversion to ADU.	Incomplete letter sent 12/15/22. Resubmitted 1/11/23. Project deemed complete 1/24/23. Public Notice period from 1/26 to 2/6. Approved 2/7/23				st
114	Torres	381	Nevis	12/12/2022	PKG22-06	Parking exception request to allow 1 uncovered space in driveway as part of a proposed 18sf addition to an existing 646sf single family home	Incomplete letter sent 12-15-22. Resubmitted 1/12/23. Deemed Complete 1/19. Public Noticing Period from 1/27 to 2/7. Approved 2/7/23				st

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
115	Public Works Dept	734	Harbor St.	1/23/2023	CDP23-001	Admin CDP to remove and replace 2 trees in City Park as part of the Transit Hub Improvement Project. Tree removal needed to facilitate compliance with federal ADA requirements and replacement trees (on a 2-to-1 basis) to be four 24-inch box size trees.	Project reviewed, and noticed on administrative approval. Permit issued 2/7/2023.				cj
Staff Directory: Scot Graham - sg Chad Ouimet - co Cindy Jacinth - cj Pam Newman - pn Nancy Hubbard - nh Gabby Cortez - gc Susana Toner - st											

AGENDA ITEM: A-2

DATE: 03/07/2023

ACTION:

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – JANUARY 17, 2023
VETERENS MEMORIAL BUILDING – 6:00 PM

Planning Commission conducted this meeting in accordance with Assembly Bill 361

PRESENT:	Susan Stewart	Chairperson
	Bill Roschen	Vice-Chairperson
	Joe Ingraffia	Commissioner
	Mike Rodriguez	Commissioner
	Asia King	Commissioner

STAFF:	Scot Graham	Community Development Director
	Nancy Hubbard	Contract Planner

ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE

PLANNING COMMISSIONER ANNOUNCEMENTS - NONE

PUBLIC COMMENT PERIOD

<https://youtu.be/3aa4w1mh0AU?t=96>

Harold W., Hanford/Morro Bay, commented that he lives east of the Perry's who want to knock their house down and rebuild and stated that Cathy Novak will be representing him from now on. Requested an extension of the PC decision of the dismantling of the home on Beachcomber. Spoke about the wood that holds his dirt on his property is starting to bulge and there is no way he can service it because of the fence that was built there years ago.

Betty Winholtz, Morro Bay, reported two areas that need immediate attention in terms of street repair. Stated that there is a huge tire trap on South Bay Blvd. as you head north just outside the State Park. Another area is the section of San Jacinto and Main Street, huge chunks of asphalt that are missing.

Chairperson Stewart closed the Public Comment period.

<https://youtu.be/3aa4w1mh0AU>

Public Participation:

Remote public participation is allowed in the following ways:

- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at planningcommission@morrobayca.gov prior to the meeting.*
- *Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “**raise hand**” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input. Please click the link below to join the webinar:*
 - <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNWRFUQT09>
Password: 135692

*Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to “**Raise Hand**” for Public Comment*

PRESENTATIONS

A. CONSENT CALENDAR

<https://youtu.be/3aa4w1mh0AU?t=80>

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARING

B-1 **Case No.:** CDP 22-023

(Continued from the January 3, 2023, hearing)

Site Location: 3009 Beachcomber Drive, Morro Bay, CA

Proposal: Application for a Coastal Development Permit (CDP22-023) for the proposed demo of the existing home and new construction repositioned on the parcel for a 3,335-sf home with a 715-sf garage. The home is single story with a central courtyard/entryway on an 8,100 square foot parcel adjacent to the sand dunes and ocean beyond. The existing home on the site is the Jim Maul designed home that was previously determined to have local historical significance. A structural review of the property has resulted in findings of severe structural damage in the existing home, which renders the home unsuitable for repair and restoration. The CEQA Historic Evaluation report has been updated to take into account the poor condition of the home. The report concurs with the conclusion to demo the existing home and requests photo documentation of the existing home prior to tear-down. The project zoning is R-1/S2.A and is located within the coastal appeals jurisdiction. The Coastal Land Use and proposed new zoning designation is Moderate Density Residential (RS-B).

CEQA Determination: Exempt under Section 15301, Class 1j(1) for demo of a single family home and Section 15303, Class 3a for a new single family home on a residentially zoned parcel.

Staff Recommendation: Conditionally Approve

Staff Contact: Nancy Hubbard, Contract Planner, (805) 772-6211

Hubbard presented staff report.

Vice-Chair Roschen thanked Bill and Nancy who were ready to come out in torrential rains and risk being isolated in Morro Bay. Meeting was cancelled. The idea was for himself and Joe to look at the house and look at the structural information. They were not able to do that with the rains. He was able to speak with Bill.

Chairperson Stewart opened the Public Comment period.

<https://youtu.be/3aa4w1mh0AU?t=770>

Terry Simons, Morro Bay, commented that he has two fundamental issues. He does not understand how there is a requirement for a CEQA historic evaluation report on a CEQA determination that is exempt. His biggest concern looking at this project, since the building seems placed on the site backward – i.e. open courtyard to the north, which is very inappropriate to our local conditions, he is concerned that an out of towners, might have a misunderstanding about local weather conditions. Specifically, to the living room and outdoor area both which face right into the prevailing winds.

Barry Brannon, Morro Bay, would like to back up what Mr. Simons said. Would like to reemphasize Mr. Simons comment about the home orientation on the site.

Betty Winholtz, Morro Bay, would like to thank the Planning Commission for the due diligence and consideration that the PC gave this item since the last hearing.

Chairperson Stewart closed the Public Comment period.

<https://youtu.be/3aa4w1mh0AU?t=1074>

Commissioners presented their comments and questions to staff.

Bill Isaman, Project Architect, answered questions from Commissioners.

MOTION: Vice-Chairperson Roschen moved to approve staff recommendation with the following conditions: the opportunity to meet with the applicant to discuss its relocation of the house, the house will not be demolished prior to the building permit being issued, that salvage would be part of the discussion, and a review to staff's satisfaction that the documentation recommended by the CEQA Evaluation is complete. Commissioner Rodriguez seconded, and the motion passes 5-0, with Ingraffia, Rodriguez, Roschen, King, and Stewart voting yes.

C. NEW BUSINESS

C-1 Historic Preservation Ordinance Discussion. Planning Commission requested a discussion item be placed on the agenda in relation to future development of an historic preservation Ordinance and possible recommendation

to Council for inclusion in the PC workplan for 2023. Item does not include a staff report.

Staff Contact: Scot Graham, Community Development Director, (805) 772-6291
Chairperson Stewart opened the Public Comment period.

<https://youtu.be/3aa4w1mh0AU?t=3254>

Glenn Silloway, Morro Bay, commented how happy he is that this is being discussed. He feels it is time to do it. Spoke about how the Historical Society drafted an ordinance in March of 2019. Gave thanks for those who were in the group that drafted the ordinance and urged the Planning Commission to use them.

Terry Simons, Morro Bay, commented that he had sent a letter to the Planning Commission expressing his feeling, while the Historic Preservation Ordinance has been ongoing for about five years, he doesn't quite understand why it hasn't happened. He feels there should be efforts made to develop an architectural review commission. He would be happy to help in this area.

Eric Meyer, Morro Bay, spoke about how Historic Preservation Ordinances are not very well understood by the general public and he would appreciate the Commission and/or Community Development Director discussing some of the benefits of a preservation ordinance.

Betty Winholtz, Morro Bay, stated she appreciates all the previous comments. She read the ordinance that's being proposed by the society, briefly and mentioned that it stated to create its own historical committee that City Council would appoint and that those members would not have to necessarily live in Morro Bay. She believes that if people are on Commissions in our city, they should have to live here. She stated in her opinion, she doesn't know that we need a separate committee, she thinks that the Planning Commission can be that committee.

Chairperson Stewart closed the Public Comment period.

<https://youtu.be/3aa4w1mh0AU?t=3890>

Commissioners presented their comments and questions.

MOTION: Vice-Chairperson Roschen moved to make recommendations to City Council as follows; City Council to allow staff to prioritize Historic Preservation as a work priority, to move forward with the Historic Society of Morro Bay's Ordinance, and the City Council to consider an interim Ordinance.

Morro Bay's Planning Commission would raise and support the Historic Ordinance that the Historical Society of Morro Bay has put forward to make a recommendation for all applicants to strongly consider it as part as the ongoing awareness of where the city is going. To also consider an inventory to be done with an AD HOC group.

Chairperson Stewart seconded, and the motion passes 5-0, with Ingraffia, Rodriguez, Roschen, King, and Stewart voting yes.

D. UNFINISHED BUSINESS

<https://youtu.be/3aa4w1mh0AU?t=6692>

Commissioner Rodriguez mentioned Public Benefits.

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

Future Agenda Item - Interim Historic Ordinance

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

<https://youtu.be/3aa4w1mh0AU?t=7045>

Graham expressed his appreciation to Chairperson Stewart, as this was her last meeting.

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on February 7, 2023, at 6:00 p.m.

Susan Stewart, Chairperson

ATTEST:

Scot Graham, Secretary

AGENDA ITEM: A-3

DATE: 03/07/2023

ACTION:

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – FEBRUARY 7, 2023
VETERENS MEMORIAL BUILDING – 6:00 PM

PRESENT:	Bill Roschen	Chairperson
	Mike Rodriguez	Vice-Chairperson
	Joe Ingraffia	Commissioner
	Asia King	Commissioner
	Eric Meyer	Commissioner

STAFF:	Scot Graham	Community Development Director
	Nancy Hubbard	Contract Planner

ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE

PLANNING COMMISSIONER ANNOUNCEMENTS - NONE

ELECTION OF CHAIR AND VICE CHAIR

<https://youtu.be/rnV6u9vbnos?t=152>

Commissioner Rodriguez nominated Vice-Chair Roschen as Chairperson. Commissioner King seconded.

Commissioner Ingraffia nominated Chairperson Rodriguez as Vice-Chairperson. Commissioner King seconded.

Roll was taken for both nominations and the elections passed 5-0.

PUBLIC COMMENT PERIOD

<https://youtu.be/rnV6u9vbnos?t=296>

Betty Winholtz, Morro Bay, welcomed Commissioner Meyer. Asking when the minutes can be updated on the website. The most current minutes are from September, and it is helpful when doing research to have those updated.

Bill Martony, Morro Bay, congratulated the new Planning Commissioners. Commented about the battery plant proposal- the square footage. He has heard different sizes and would like to know the true square footage. Spoke about the Market Place Plaza, historical buildings, and the closing of an RV Park.

Bill Todd, Morro Bay, commented about Quintana Road being under construction for two years, they have been dealing with it and stated that they finished paving it. There is a problem on the street near his business, the storm drainage north of him, when it gets plugged up they get an 8 ft wide river coming in front of his shop. He would like for someone to look at that.

Public Participation:

Remote public participation is allowed in the following ways:

- Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at planningcommission@morrobayca.gov prior to the meeting.
- Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).
- Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input. Please click the link below to join the webinar:
 - <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcuTHlRTk9xaTlmWVNWRFUQT09>
Password: 135692

Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to “Raise Hand” for Public Comment

PRESENTATIONS

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

Received and filed by the Commission.

B. PUBLIC HEARING

B-1 Case No.: CDP22-025

Site Location: 2440 Laurel Ave, Morro Bay, CA

Project Description: Appeal of a Coastal Development Permit for the proposed demo of the circa 1953 existing home and new construction of home that has 3,037 sf conditioned living space on two levels above subterranean 1328 sf garage/shop. The appellant grounds for appeal are (1) the demo of the existing home needs an asbestos report, (2) the proposed new home does not meet the 25foot height requirement and (3) the proposed home does not meet the residential design guidelines. The project zoning is R-1/S2 and the site is not located within the coastal appeal jurisdiction. The Coastal Land Use Designation is Moderate Density Residential (RS-A)

CEQA Determination: Exempt under Section 15301, Class 1j(1) for demo of a single-family home and Section 15303, Class 3a for a new single-family home on a residentially zoned parcel.

Staff Recommendation: Deny the appeal, uphold the administrative approval of the CDP.

Staff Contact: Nancy Hubbard, Contract Planner, (805) 772-6211

Hubbard presented the staff report.

The Commissioner's presented their questions to staff.

Chairperson Roschen asked the Appellant to come up and speak as well as the Applicant.

<https://youtu.be/rnV6u9vbnos?t=2336>

Tina Metzger, Morro Bay, Appellant, commented that she lives behind and diagonally from proposed project. The applicant has always been very helpful and welcoming with any questions she or the neighbors had. Explained how this home will affect her views for the rest of her life, explained her grounds for appeal.

Michael Murphy, Morro Bay, Applicant, asked if they read the letter he submitted. Commented about how during the review process, the staff recommended changes to his home design that he wasn't necessarily happy about but he made them. Explained his proposed project was designed to be in complete compliance with the development standards.

Chairperson Roschen opened the Public Comment period.

<https://youtu.be/rnV6u9vbnos?t=3018>

Bill Todd, Morro Bay, commented that he lives on Nutmeg and expressed his concern about the loss of his views because of the height of the home.

Ron Smith, Morro Bay, resident of Nutmeg, thanked the applicant for meeting with them. Stated his concern about the bulk and size of the home. He concerned about the glare of the solar panels.

Betty Winholtz, Morro Bay, pointed out that there was a major water/sewer issue on Elaina Street during the storms and could not see in the plans where the runoff from this property was going to go. She would like to know which zoning code was used.

Terry Simons, Morro Bay, commented he believes the city should have a Design Review or Architecture Review Commission. Spoke about how staff and the City are obliged to follow the established codes and regulations and if this appeal were to be withheld, it would do a tremendous disservice to the community at large.

Nancy Bast, Morro Bay, said that all new homes should be reviewed by the public before they are approved.

MaryJo DeSio, Morro Bay, Laurel Ave resident, commented that she thoroughly agrees with Ms. Bast and is against the project because it has disregarded the neighbor's views.

The Commissioners presented their questions and comments to staff.

Tina Metzger, Morro Bay, Appellant, gave her suggestions to improve the design of the home.

Michael Murphy, Morro Bay, Applicant, answered commissioner questions about possible changes to the project.

MOTION: Chairperson Roschen moved to deny the appeal and approve the project with these added conditions; reducing the roof extension on the third story of 8 feet or more, eliminating the posts and the use of a secondary material or color on the garage level of the proposed home, changes to be reviewed and approved by the Director. Commissioner Ingraffia seconded, and the motion passes 5-0, with Ingraffia, Rodriguez, Roschen, King, and Meyer voting yes.

C. NEW BUSINESS - NONE

D. UNFINISHED BUSINESS

D-1 Historic Preservation Ordinance Discussion
Planning Commission to continue discussion on future development of an historic preservation Ordinance and recommendation to Council for inclusion in the PC workplan for 2023. Item does not include a staff report.
Staff Contact: Scot Graham, Community Development Director, (805) 772-6291

Chairperson Roschen gave an overview of what the Planning Commission would like to do in regard to Historic Preservation Ordinance. The subcommittee consists of Chairperson Roschen and Commissioner Ingraffia.

Chairperson Roschen opened the Public Comment period.
<https://youtu.be/rnV6u9vbnos?t=8751>

Glenn Silloway, Morro Bay, commented that he is so happy that this is happening.

Bill Martony, Morro Bay, agrees that a Historic Preservation Ordinance is important but to weigh the options between private and public property rights.

Terry Simons, Morro Bay, spoke about the importance of forming a design review commission.

Tina Metzger, Morro Bay, expressed that she is excited that this is happening.

Discussion between Commissioners

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS
<https://youtu.be/rnV6u9vbnos?t=10168>

Chairperson Roschen mentioned they are all doing a training to become good Planning Commissioners.

Commissioner Rodriguez urged the Commissioners to read the Public Benefit Memo before the next meeting.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS
<https://youtu.be/rnV6u9vbnos?t=10332>

Graham mentioned for the next meeting, they will be discussing goals, a panel for the Historic Preservation discussion and Public Benefit item.

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on February 21, 2023, at 6:00 p.m.

Bill Roschen, Chairperson

ATTEST:

Scot Graham, Secretary



AGENDA NO: B-1

MEETING DATE: March 7, 2023

Staff Report

TO: Planning Commissioners

DATE: February 17, 2023

FROM: Cindy Jacinth, Senior Planner

SUBJECT: 701-715 Embarcadero: Amendment (MAJ22-002) to Conditional Use Permit Major Modification (#MAJ20-004) for commercial fishing wharf and coastal public access improvements.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting a motion including the following action(s):

Adopt Planning Commission Resolution 05-23 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated February 13, 2023 (Exhibit E).

APPLICANT/AGENT: Van Buerden, Applicant / Cathy Novak Consulting, Agent

LEGAL DESCRIPTION/APN: City lease sites 78-79/78W-79W and 80/81 - 80W-81W / 066-322-006

PROJECT DESCRIPTION AND BACKGROUND:

Planning Commission previously reviewed this project on 7/20/2021, 9/21/2021, and 10/5/2021 after which a favorable recommendation was forwarded to the City Council. Then on November 9, 2021, the City Council approved CUP Major Modification permit #MAJ20-004 as a Concept/Precise Plan approval amendment of the 1991 Conditional Use Permit #CUP07-91.



The 2021 project approval was for conversion of the existing commercial fish processing wharf, new Harborwalk public improvements where none currently exists including installation of new 10 foot wide Harborwalk and additional 10 foot wide fiberglass deck, removal of outdoor covered patio, new street-side outdoor dining, and related building façade improvements.

After City Council approval, the applicant applied to the Coastal Commission for the required coastal development permit (CDP). The CDP (#4-91-031-A1) was issued on December 20,

Prepared By: CJ

Department Review: SG

2022, with changes made to the approved City CUP plans (Exhibit C).

The Applicant is therefore now requesting a Major Modification amendment of the permit approvals. Specifically, the project proposes amendments for further public access enhancements and modifications to the approved new Harborwalk public access that includes an additional 20sf of Harborwalk area at the northwest corner of the 701 Embarcadero building, two interpretive panels, public seating benches, one new pile to support the Harborwalk extension, demolition of a portion of the wharf and reconfiguration of the existing commercial fishing wharf, adding an 5 foot wide wharf cantilever, replacement of the fish-offloading crane, maintenance of the existing commercial fishing use located at 715 Embarcadero that was approved for conversion to retail, and retain the existing color scheme of both 701 and 715 Embarcadero buildings.

The Applicant has provided an itemized list of the project changes including the public access improvements and retention of the commercial fishing use which are shown below and included as Exhibit B.

Project Description – modified for Coastal Commission
December 2022

- Add a three-foot-wide public wharf cantilever (to provide for more wharf space) that will be constructed over the remaining wharf pilings.
- Replace fish-offloading crane.
- The reconfigured wharf would be available for public access except when fish unloading activities are taking place (the existing fish loading hoist on the wharf would be replaced with a new hoist).
- Install three benches along the seaward side of the new Harborwalk and reconfigured wharf.
- Install two interpretive panels - One interpretive panel will provide information on offshore oyster beds, and one will provide the history of women's involvement in local Morro Bay area fisheries.
- Install one new coated steel piling along the new portion of Harborwalk and support beam to support new Harborwalk section
- Add 20 square feet (five feet by four feet) of Harborwalk (constructed of fiberglass), between Dutchman Harborwalk and old dining area (currently has a pop out section) which will expand the corner's width to 10½ feet and thus widen this pinch point for improved public access.
- Install new metal railings at this corner and at an existing seaward-projecting "bump-out" of the Harborwalk in this area.
- Previously approved fish processing to a retail unit will be modified back to a fish processing unit. Windows and doors to remain as existing.
- Repair or, if necessary, replace any damaged powder-coated corrugated metal (on the exterior of the restaurant building) with similar.
- Retain existing color scheme.

The additional public access improvements were the result of Coastal Commission placing new conditions on the project due to a violation notice they issued related to conversion of a public patio area along the water side of the building to private dining use. The additional public access improvements have satisfied the violation notice which was resolved with the approval of the CDP.

PLANNING COMMISSION PRIOR REVIEW

During the PC review at the September and October 2021 meetings, the Planning Commission discussion and deliberation included a focus on the public access components of the project specifically in regard to the new Harborwalk extension and preservation of the commercial fishing wharf. Because of the interest and conditions placed on the project by PC, staff is bringing forward this application as another Major Modification request due to the changes conditioned by the Coastal Commission, as well as other project changes generated by the Applicant.

As shown in the previous permit # MAJ20-004 (Exhibit D), Planning Commission revised conditions 15-16 and added conditions 17-23 at their October 5, 2021 meeting. The details of these conditions and their status is itemized below.

PC Conditions #15, #17, #18, and #19 address the street-facing open plaza and public dining tables.

No project changes or amendments to these conditions are being requested by the Applicant. These conditions were added by PC to ensure the area remains open and available to the public with the goal to increase the ambiance and openness of the plaza for public enjoyment.

PC Conditions #16, #20, and #22 address building elevation design, lighting, and slope profile details for the Harborwalk connection between lease sites.

Condition 16 (provided below) specifically related to the proposed conversion to a retail use and increasing the visibility of the unit to the wharf public space area. With the absence of customer foot traffic, Planning Commission should review and consider whether the condition still applies or should be deleted. As shown on plans, the Applicant is proposing to retain the existing commercial fish processing use and not convert to a retail use.

16. Final building elevations submitted for building permit approval shall include added glazing in the form of window/door area that equals a minimum of 20% of the square footage of the west facing retail unit's wall area including the new retail unit's door and glass panel at northwest corner of the building.

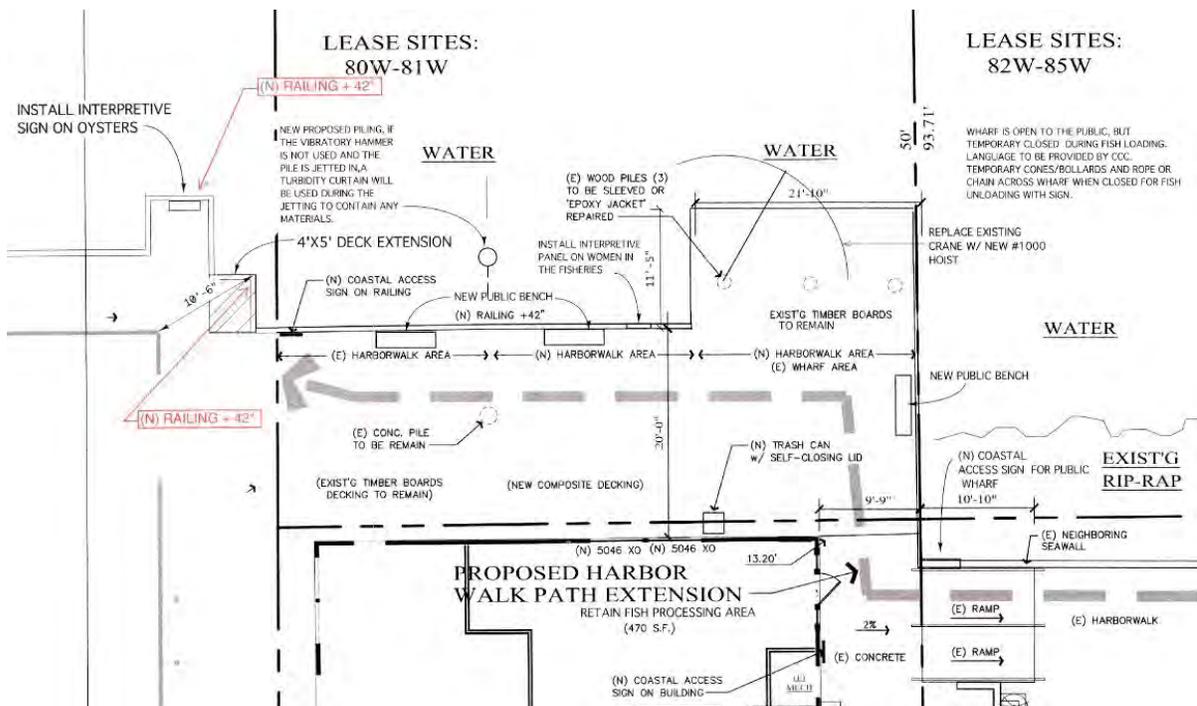
No changes to Conditions 20 and 22 are requested and the proposed amendment would not affect these conditions which will still apply to the project. .

PC Conditions #21 and #23 added by the PC reflect the deliberation regarding preservation of the wharf.

At the 2021 public hearings, the PC discussed preservation of wharf structure including the hoist based on the historic nature of Morro Bay's commercial fishing history. At the

time, it was determined infeasible to preserve the hoist without also impacting the required Harborwalk public access. Instead, the PC recommended conditions were to preserve the wharf planking and edge curbs for the portion of the wharf that is to remain and for condition #23 to pursue preservation opportunities for the hoist. In this regard, based on the coastal development permit approvals, the applicant is now preserving a greater portion of the fishing wharf than previously presented to the City. An additional five feet of existing wharf (Exhibit E, plan sheet A1.3 and noted in image below) will be maintained that will allow for more wharf area. In addition, a new fish off-loading crane for use by the new commercial fish processing business is proposed. The existing crane is proposed for replacement based on age and maintenance issues. The proposed new crane specification is dependent on load and needs of the business. The change in project description to keep the fish processing use and not change to retail is consistent with the previous discussion of the Planning Commission during the approval of the previous Major Modification permit in 2021.

Site Plan showing area of new Harborwalk construction and commercial fishing wharf modifications



VISUAL SIMULATIONS

The project plans (Exhibit E) submitted by the Applicant include visual simulations that depict the proposed changes to the commercial fishing wharf, the Harborwalk improvements, and the proposed new fish off-loading crane. Because the fishing wharf will be an active commercial

use, no cable railing is proposed in this area. The kick rail shown is necessary for operation of the fish off-loading crane to support the fishing use. The first visual simulations shown below is a viewpoint from the south. As part of the proposed project amendment request, the Applicant is no longer proposing to update the color scheme with the color board and materials previously shown to the Planning Commission. The previous permit includes approval to update the color scheme to a light gray board and batten exterior, with royal blue accents and a galvanized metal roof. In lieu of updating the color, the Applicant instead is only proposing façade updates as needed for maintenance with maintaining the current color scheme.

View looking north:



View looking south:



View looking south from Rose’s Landing Harborwalk with crane:



DISCUSSION:

The proposed project will fill an existing gap along the City’s Harborwalk improving access along the bay. The additional public access improves and maintains the commercial fishing wharf use beyond the original approval. No decrease in Harborwalk width is proposed and the goals of the Planning Commission’s prior approval will be met in that the historic use of the wharf will remain. The project provides a unique and desirable enhancement to coastal public access which meets City goals in the Waterfront Master Plan and Downtown Waterfront Strategic Plan and adds to the ambiance of the waterfront area. In addition, amendment of the permit is required in order to be consistent with the coastal development permit conditions issued by the Coastal Commission.

ENVIRONMENTAL:

No changes to the project amendment have occurred that would impact the previous determination of the project status of categorically exempt under the California Environmental Quality Act (CEQA). The previous conditions related to eelgrass would still apply. An eelgrass study submitted by Tenera Environmental in 2019 found small eelgrass patches as close as three meters from the project site. Planning conditions remain on the project approval along with best management practices (BMP) to ensure the project is consistent with the California Eelgrass Mitigation Policy (CEMP) requirements as well as permitting requirements of the Army Corps of Engineers (ACOE). With implementation of BMPs and project conditions (Conditions 9-11), the project meets the requirement for a categorical exemption under CEQA, Section 15301, Class 1e and 1g for minor alterations to existing structures. To ensure there are no future impacts to eelgrass, a condition of approval has been added to require an updated eelgrass survey per the California Eelgrass Mitigation Policy (CEMP) (Planning condition 11). Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

PUBLIC NOTICE:

Notice of a public hearing on this item was posted at the site and published in the Tribune newspaper on February 24, 2023 and mailed directly to all property owners and occupants of

record within 500 feet of the subject site. The notices invited the public to attend the hearing and express any concerns they may have regarding the proposed project.

CONCLUSION:

The project is consistent with the City's 2021 General Plan / LCP. The new Harborwalk extension fills an important gap in the City's Harborwalk system of bayside access that is also located in a popular central part of the Embarcadero. With the incorporation of recommended conditions, staff recommends that Planning Commission conditionally approve the CUP major modification #MAJ22-002.

EXHIBITS:

Exhibit A – Planning Commission Resolution 05-23

Exhibit B – Applicant's Project Description & Coastal Permit Amendment Notice,
December 2022

Exhibit C – Coastal Commission Permit #CDP 4-91-031-A1 issued December 20, 2022

Exhibit D – City Council approved permit #MAJ20-004 approved November 9, 2021

Exhibit E – Updated Plans/ Reductions dated September 29, 2021

RESOLUTION NO. PC 05-23

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING
CONDITIONAL USE PERMIT MAJOR MODIFICATION (MAJ22-002) FOR
INSTALLATION OF NEW HARBORWALK COASTAL PUBLIC ACCESS
IMPROVEMENTS, PARTIAL DEMOLITION AND MODIFICATION OF EXISTING
COMMERCIAL FISHING WHARF, REMOVAL AND REPAIR OF PILINGS AND ONE
NEW PILING TO SUPPORT THE NEW HARBORWALK, NEW 461SF OF PUBLIC
OUTDOOR DINING, AND RELATED PUBLIC ACCESS IMPROVEMENTS AND
BUILDING FAÇADE IMPROVEMENTS
AT 701-715 EMBARCADERO

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing on March 7, 2023 in a hybrid format with both an in-person meeting at the Morro Bay Veterans Memorial Building, 209 Surf Street, Morro Bay, CA 93442 as well as through virtual public participation provided telephonically through Zoom, for the purpose of considering approval of Conditional Use Permit Major Modification #MAJ22-002 (“Project”); and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

A. That for purposes of the California Environmental Quality Act, Case No. MAJ22-002 is exempt under Section 15301 and 15303, Class 1e and 1g for minor alterations to existing structures; including partial demolition and reconfigure existing commercial fishing wharf, new Harborwalk construction, removal and repair of existing pilings, and 1 new pile to support the new Harborwalk coastal public access, would qualify for an exemption with implementation of best management practices as evaluated in the February 1, 2019 eelgrass report prepared by Tenera Environmental and conditioned by Planning conditions 8-10. To ensure there are no future impacts to eelgrass, a condition of approval has been added to require an updated eelgrass survey pursuant to the California Eelgrass Mitigation Policy (CEMP) (Planning condition 11). Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

Conditional Use Permit Findings

- A. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that the modification to install new Harborwalk coastal public access improvements, partial demolition and and modify existing commercial fishing wharf, removal and repair of pilings and one new piling, new outdoor dining related public access improvements and building façade improvements at 701-715 Embarcadero are permitted uses within the zoning district and said structures comply with all applicable project conditions and City regulations and is consistent with the City's Local Coastal Program.
- B. The project will not be injurious or detrimental to property and improvements in the neighborhood and the general welfare of the City in that the proposed new 10 foot wide and additional 10 foot wide public bayside deck public access improvements, maintaining the existing commercial fish processing use, new 461sf public outdoor dining and updated public coastal access signage, will provide public coastal access and new amenities to a visitor-serving commercial use and is consistent with the character of the existing development.

Waterfront Master Plan Findings

- A. The proposed project makes a positive contribution to the visual and public accessibility to the bay while increasing and maintaining commercial fishing industry:
- a. The proposed project provides the amenities identified in the WF Plan, facilitates pedestrian visual and physical access to the waterfront, in that new Harborwalk bayside lateral access is created where none currently exists providing a significant improvement by connecting the neighboring lease site to allow for easier pedestrian access, enjoyment, and better bay views.
 - b. The design recognizes the pedestrian orientation of the Embarcadero and provides an interesting and enhanced pedestrian experience in that the project will provide new lateral public access to the water while assisting in the Harborwalk plan to continue public access along the waterfront via bayside lateral access. In addition the project recognizes the pedestrian orientation by providing a gap connection linking the lease sites to the north and south. The project is consistent with the character of the existing development.
 - c. The project gives its occupants and the public some variety in materials and/or application in that the project character of keeping the commercial fish processing use and expanded public access improvements are consistent with the character of the development and coastal access signage will be updated to be consistent with other Embarcadero projects in order to have consistent public access signage in order to promote public awareness of coastal bayside access.
 - d. The project contains the elements of harmony, continuity, proportion, simplicity, and balance, and its appearance matches its function and the uses

proposed in that the new harborwalk public lateral access will be accessible to the public and that is consistent with the character of the existing development.

- e. The proposed project does not diminish, either directly or by cumulative impact of several similar projects, the use, enjoyment, or attractiveness of adjacent buildings and provides a visual and pedestrian transition connection point to its immediate neighbors to the north and south.

Architectural Consideration

- A. As required by Ordinance Section 17.48.200 the Planning Commission finds that the architectural treatment and general appearance of all proposed structures, harborwalk design, and open areas are in keeping with the character of the surrounding areas, are compatible with any design themes adopted by the city, and are not detrimental to the orderly and harmonious development; of the city or to the desirability of investment of occupation in the area.

Downtown Waterfront Specific Plan (DWSP) Finding

- A. The project is consistent with the Waterfront Design Guidelines for the DWSP in that the proposed project includes outdoor dining, exterior lighting, and coastal access signage oriented toward pedestrians which is encouraged. The project also includes project exterior light consistent with the architectural style of the building as well as public street-facing outdoor dining and a new proposed 10 foot wide Harborwalk bayside lateral access with an additional 10 foot width of public bayside decking, and as well maintains the existing commercial fish processing use which is consistent with the fishing village character of the community.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit #MAJ22-002 subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated February 17, 2023, for the project at 701-715 Embarcadero depicted on plans received February 13, 2023, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for MAJ22-002, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any

extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

Building Conditions:

THE FOLLOWING CONDITIONS AND SELECTED CODE REQUIREMENTS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT.

A. CONDITIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
6. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
7. **BUILDING PERMIT APPLICATION:** To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.
8. The Title sheet of the plans shall include, but not limited to:
 - Street address, lot, block, track and Assessor Parcel Number
 - Occupancy Classification(s)

- Construction Type
 - Maximum height of the building allowed and proposed
 - Floor area of the building(s)
 - Fire sprinklers proposed or existing
 - Minimum building setback allowed and proposed
9. All construction will conform to the 2022 California Building Code (CBC), 2022 California Residential Code (CRC), 2022 California Fire Code (IFC), 2022 California Mechanical Code (CMC), 2022 California Plumbing Code (CPC), 2022 California Electrical Code (CEC), 2022 California Energy Code, 2022 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

10. **SITE MAINTENANCE:** During construction, the site shall be maintained to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained through the duration of the project. The storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.
11. **ARCHAEOLOGICAL MATERIALS:** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
12. **FOUNDATION SETBACK VERIFICATION:** Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot

lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some lot types.

13. BUILDING HEIGHT VERIFICATION: Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some site-specific projects.
14. EXISTING BUILDINGS: Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the maximum sill height requirements of section R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2019 California Residential Code.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:

15. Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.
16. Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
17. If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
18. If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
19. Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.

20. Final T-24 energy reports (Certificates of Installation)

Fire Conditions:

1. Fire Safety during Construction and Demolition shall be in accordance with 2022 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Fire Protection for Wharves, docks, marinas, boat moorings. Firefighting appliances and equipment shall be provided and maintained in an operable manner for all commercially operated marinas and dock facilities, as specified by ordinances of the city, and all installations shall be subject to the approval of the fire marshal of the Fire Department.

Public Works Conditions:

1. Note how the public access will be restricted during Phase 2 construction. Indicate on plans what type of temporary physical barriers will be used on-site.
2. When all repairs will be made from the water, note pierside access and mooring points. Refer to Project Construction Method on Sheet A1.6.
3. Fuels, oils and lubricants used in the course of construction are hazardous materials and must be noted on the construction plans if used by your contractors. We would like to emphasize that these BMPs are conditions of the permit and apply to all construction areas. A designated material mixing, refueling and equipment maintenance point should be designated on the Construction Plans and appropriate BMPs to control spills and runoff from storms or equipment washdown should be noted. The construction plans should include a note to this effect that directs contractors and subcontractors to comply with all conditions of the permit throughout construction of this project.
4. Add the following Notes to the Building Permit Plans:
Due to mandatory water conservation requirements and stormwater requirements, no pressure washing is allowed unless it is directly due to professional preparation of exterior painting of property. No discharge of non-stormwater is allowed into the municipal storm drain system and contractor must provide measures to prevent any discharge for entering the stormwater system.

Planning Conditions:

1. A Coastal Development Permit shall be submitted to the Community Development Department prior to issuance of a building permit.

2. Prior to issuance of a building permit, the Applicant shall either acquire all required regulatory permits and authorizations (i.e. U.S. Army Corps of Engineers, Regional Water Quality Control Board, California Department of Fish and Game), or submit documentation that such permits are not required.
3. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval for both the Conditional Use Permit and the Coastal Development Permit shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
4. Inspection: The applicant shall comply with all City conditions of approval and conditions imposed by the California Coastal Commission and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.
5. The public access closure shall be limited to no more than 45 days. Any extension of public access closure beyond 45 days shall be subject to review and approval by the Community Development Director.
6. The Harborwalk railing shall be a cable railing design to match with the lease site to the north and consistent with the design guidelines of the Downtown Waterfront Strategic Plan subject to the satisfaction of the Community Development Director.
7. Non-conforming signs, including window signs as discussed in the July 14, 2021 staff report shall be removed or otherwise conform to the Sign Ordinance (MBMC 17.29).
8. A project-specific Oil Spill Response and Recovery Plan that includes specifics on reporting and response procedures, available on-site equipment and contracted services, and responsibilities shall be completed and approved prior to the initiation of construction activities. Specifically, the project shall include the following Best Management Practices (BMPs) and shall be included on building plans submitted for approval:
 - a. No refueling of equipment without adequate containment and spill response equipment. The barge shall have only double contained fuel storage below decks, with the spill containment and clean up kits on-site and easily accessible. Spill containment and clean up kits shall include the following:
 - b. 150 feet Absorbent Boom 200 square feet Absorbent Tarp (for use during pile driving / removal operations where applicable)
 - c. Barrel Absorbent Pads
 - d. Container Absorbent Granules

- e. Rainwater runoff pollution from equipment stored on deck shall be prevented through ongoing equipment maintenance and appropriate double containment.
 - f. The work area shall be contained within a boom to prevent debris from falling into the water.
 - g. All equipment fueling shall take place on the barge, with containment in-place. No refueling between vessels shall occur.
 - h. An Absorption Tarp shall be placed underneath any portable equipment while in use.
 - i. No equipment shall be permitted to enter the water with any petroleum products.
 - j. All equipment used during pile removal and repair operations shall be in good condition without fuel or oil leakage.
 - k. Should any equipment begin to leak, that equipment shall be removed immediately from the barge and repaired or replaced.
 - l. All vessels shall have portable, regularly serviced sanitation equipment. No overboard discharge is permitted.
9. Netting or fencing around and underneath the project site shall be installed as applicable to catch and remove debris released during and after construction.
10. To reduce potential turbidity-associated impacts, silt screens should be used when and where they will be effective. The relatively high tidal currents within Morro Bay could reduce the effectiveness of silt screens and should be considered prior to placing of these screens.
11. Eelgrass – Applicant shall be subject to the California Eelgrass Mitigation Policy (CEMP) which requires that a pre-construction survey shall be completed within 30-60 days prior to issuance of a building permit unless otherwise waived under the Army Corps permitting requirements or deemed not required by the Army Corps. A Post-construction survey, if required by the CEMP, shall be completed within 30 days of construction completion or as otherwise determined by the National Marine Fisheries Service (NMFS) in order to determine amount of impact if any and CEMP-required annual reporting and mitigations. Any change in eelgrass extent shall be documented and reported to the Community Development Director. If the report identifies a reduction in eelgrass coverage then a plan shall be prepared to identify the appropriate mitigations necessary and in line with the specifications for mitigation of eelgrass habitat as provided for in the California Eelgrass Mitigation Policy, dated October 2014.
12. Harborwalk Bayside Lateral Public Accessway. The bayside lateral access, also known as the Harborwalk, shall maintain a 10-foot-wide coastal access with open unobstructed access at all times with no tables or dining encroachments in order to maximize public access. Any uses that obstruct the lateral access such as private uses or barriers including furniture, planters, ropes, or seating not otherwise approved within the 10-foot bayside lateral access shall be prohibited.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 7th day of March, 2023 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

William Roschen, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 7th day of March 2023.

Project Description – modified for Coastal Commission

December 2022

- Add a three-foot-wide public wharf cantilever (to provide for more wharf space) that will be constructed over the remaining wharf pilings.
- Replace fish-offloading crane.
- The reconfigured wharf would be available for public access except when fish unloading activities are taking place (the existing fish loading hoist on the wharf would be replaced with a new hoist).
- Install three benches along the seaward side of the new Harborwalk and reconfigured wharf.
- Install two interpretive panels - One interpretive panel will provide information on offshore oyster beds, and one will provide the history of women's involvement in local Morro Bay area fisheries.
- Install one new coated steel piling along the new portion of Harborwalk and support beam to support new Harborwalk section
- Add 20 square feet (five feet by four feet) of Harborwalk (constructed of fiberglass), between Dutchman Harborwalk and old dining area (currently has a pop out section) which will expand the corner's width to 10½ feet and thus widen this pinch point for improved public access.
- Install new metal railings at this corner and at an existing seaward-projecting "bump-out" of the Harborwalk in this area.
- Previously approved fish processing to a retail unit will be modified back to a fish processing unit. Windows and doors to remain as existing.
- Repair or, if necessary, replace any damaged powder-coated corrugated metal (on the exterior of the restaurant building) with similar.
- Retain existing color scheme.

Attached is Coastal Commission staff report pages for review.

NOTICE OF PROPOSED PERMIT AMENDMENT

Date: December 2, 2022

To: All Interested Parties

From: Kevin Kahn, Central Coast District Manager
Susan Craig, Retired Annuitant

Subject: Proposed Amendment to Coastal Development Permit (CDP) 4-91-031
Applicant: Van Beurden Investments

Original CDP Approval

CDP 4-91-031 was approved by the Coastal Commission on August 13, 1991 and provided for modifications to an existing restaurant (“The Flying Dutchman” at 701 Embarcadero) and expansion of an adjacent structure to allow for an enlarged seafood market and a separate retail space (at 715 Embarcadero). CDP 4-91-031 also provided for construction of a public access Harborwalk¹ seaward of the restaurant and construction of an observation deck just upcoast of the restaurant and seaward of the seafood market/retail space, all located along the shoreline of Morro Bay in the City of Morro Bay in San Luis Obispo County.

Proposed CDP Amendment

The proposed project includes a series of improvements and enhancements to the Harborwalk on the bayside portions of the two structures, as well as some limited façade improvements on the structures themselves. The Commission’s reference number for this proposed amendment is **4-91-031-A1**.

More specifically, most of the proposed project will take place at 715 Embarcadero (lease sites 80-81 and 80W-81W), which currently is developed with a single-story building that contains a fish processing plant and a retail shop, as well as a public observation deck and a wharf that is used to unload fish. The 701 Embarcadero site (lease sites 78-79 and 78W-79W) is developed with a restaurant (now the “Dutchman’s Seafood House”) and a portion of the bayside Harborwalk lateral access that extends throughout much of the seaward extent of the Embarcadero.

Currently the only bayside public access at 715 Embarcadero is the existing observation

¹ The Morro Bay Harborwalk is a public lateral accessway, generally 10 feet in width, on the bayside of the Embarcadero businesses and developments. It has long been a Coastal Act and LCP goal for the Harborwalk to provide a continuous public lateral access experience, and projects along the bayside of the Embarcadero are typically required to provide this public amenity, partially in recognition that the entire Embarcadero area consists of filled tidelands and is thus a public trust area. The Harborwalk provides spectacular views of the Bay, the sandspit, and Morro Rock, and is an extremely popular public accessway.

Exhibit B

deck approved under the base CDP.² There is currently no continuous lateral Harborwalk access across this site, creating a gap where users of the Harborwalk on the upcoast Rose's Landing site or the downcoast Dutchman's restaurant site must detour vertically inland, then cross in front of the retail store (at 715 Embarcadero), and then head vertically back down to the Harborwalk. The proposed amendment would remedy this situation by filling this gap in public access in the Harborwalk. Specifically, the proposed project will remove the observation deck's roof cover and the associated windscreen and remove a "catwalk" that is seaward of the existing observation deck. The observation deck's existing wood decking and piling supports would be retained and new railings³ would be installed. An approximately 20-foot by 20-foot new Harborwalk section⁴ with similar railings would be constructed adjacent to the observation deck, which would then connect to an existing wharf at the upcoast end of the lease site. This 20-foot by 20-foot section would be supported by a single new coated-steel piling, which will either be hydraulically jettied into place or installed via the use of a vibratory hammer (an impact hammer will not be used).

The existing wharf, which has historically been used for unloading fish and has never been available for public access, would be reconfigured to remove its seaward-most highly dilapidated portion along with five existing dilapidated pilings and the small portion of the wharf that extends over the upcoast lease line. The remaining three wharf pilings would be repaired by installing a sleeve or epoxy jacket over the pilings.⁵ The reconfigured wharf would be available for public access except when fish unloading activities are taking place (the existing fish loading hoist on the wharf would be replaced with a new hoist).

An existing gate along the upcoast side of the retail/fish processing building would be removed, which would provide for new vertical public access along an existing paved walkway that would connect from the Embarcadero sidewalk to the reconfigured wharf and to the new downcoast and existing upcoast (Rose's Landing) portions of the Harborwalk. Trash receptacles will be installed along the new portion of Harborwalk. The project also includes new public access signs with the Commission's wave symbol that would be installed on the railings along the new Harborwalk and on the Embarcadero-facing side of the retail/fish processing building for the new vertical access. Signage at the wharf would clearly specify that public access to the wharf and the section of Harborwalk adjacent to the fish processing plant is available except during active commercial fish unloading operations, at which time Harborwalk users would be directed to existing vertical access. The wharf and this section of the Harborwalk will be reopened to public access immediately when fish unloading activities

² This observation deck has been used as private restaurant dining, in violation of the base permit condition as further explained below.

³ The new railings will be in a similar style to the existing metal railings located along the Dutchman Restaurant Harborwalk and the upcoast Rose's Landing Harborwalk to provide for a unified design aesthetic.

⁴ The landward half of this portion of Harborwalk would be constructed of either a composite material or of wood; the seaward half would be constructed of fiberglass to allow light to penetrate through to the Bay waters below, for the benefit of eelgrass.

⁵ The wharf demolition, piling removal, and pile sleeving work would be done via an offshore barge.

are complete.

A group of three tables and chairs and a separate single table and chair will be placed at two locations adjacent to the sidewalk on the streetside portion of 715 Embarcadero. The tables would be fixed to the concrete (so that they remain in their designated locations and do not shift into public walkways) and would include signage stating, "Public Seating – No Purchase Necessary." The project also includes repair of or, if necessary, replacement of any damaged powder-coated corrugated metal on the exterior of the Dutchman's Seafood House and the retail/fish processing building with similar façade materials and colors.

To resolve the violation on this site (i.e., previous use of the public observation deck for outdoor dining), the Applicant is proposing to provide significant additional improvements to public access. First, the Applicant will add a three-foot-wide public wharf cantilever (to provide for more wharf space) that will be constructed over the remaining wharf pilings. Next, the Applicant will install three benches along the seaward side of the new Harborwalk and reconfigured wharf, and two interpretive panels.⁶ Finally, the existing access connection between the upcoast end of the Harborwalk at 701 Embarcadero (the Dutchman's Seafood House site) and the observation deck at 715 Embarcadero is constrained by a narrow corner that is about five feet wide and makes public use and passage here difficult. The proposed project will add 20 square feet (five feet by four feet) of Harborwalk (constructed of fiberglass), which will expand the corner's width to 10½ feet and thus widen this pinch point for improved public access. New metal railings will also be installed at this corner and at an existing seaward-projecting "bump-out" of the Harborwalk in this area (the "bump-out" provides for public viewing of the Bay off of the main Harborwalk) to improve the ability of the public to use this area and to more clearly designate this area as part of the public access Harborwalk.

Executive Director's Immateriality Determination

Pursuant to Title 14, Section 13166(b) of the California Code of Regulations, the Executive Director of the California Coastal Commission has determined that the proposed CDP amendment is immaterial for the following reasons:

The project will fill a significant gap in the City's popular lateral Harborwalk public access system to and along the Morro Bay estuary and includes public access to the existing wharf at this location for the first time. The new portion of Harborwalk will be 20 feet in width and the reconfigured wharf will be about 24 feet wide, which greatly exceeds the 10-foot Harborwalk width specified in the LCP's guidance. The project will further benefit public access along the Harborwalk by widening the narrow corner between the two sites and by providing new vertical access to the reconfigured wharf and the new section of Harborwalk. The project also includes other amenities to aid in public access and enjoyment of this segment of the waterfront, including coastal access signage, benches, interpretive signs, trash receptacles, and streetside tables and chairs available for general public use. During construction, the public will be directed to existing access along the Embarcadero, and public access at the sites will be restored

⁶ One interpretive panel will provide information on offshore oyster beds, and one will provide the history of women's involvement in local Morro Bay area fisheries.



California Coastal Commission

COASTAL DEVELOPMENT PERMIT
Amended CDP 4-91-031 (through CDP amendment A1)

Van Beurden Harborwalk Improvements

Issue Date: December 20, 2022

Page 1 of 4

CDP 4-91-031 was originally approved by the California Coastal Commission on August 13, 1991 and provided for modifications of two structures, one at 701 Embarcadero and one at 715 Embarcadero, and construction of a public access Harborwalk seaward of 701 Embarcadero and construction of an observation deck seaward of 715 Embarcadero, along the shoreline of Morro Bay in the City of Morro Bay in San Luis Obispo County. The CDP as amended also provides for a series of improvements and enhancements to the Harborwalk on the bayside portions of the two structures, as well as some limited façade improvements on the structures themselves.

By my signature below, the amended CDP is issued on behalf of the California Coastal Commission:

DocuSigned by:

Kevin Kahn

DEF0E587F71C402

Kevin Kahn, Central Coast District Manager, for John Ainsworth, Executive Director

Acknowledgement

The undersigned Permittee acknowledges receipt of this CDP and agrees to abide by all terms and conditions thereof. The undersigned Permittee acknowledges that Government Code Section 818.4 (that states in pertinent part that "a public entity is not liable for injury caused by the issuance of any permit") applies to the issuance of this CDP.


Van Beurden Investments Representative Signature

PAUL VAN BEURDEN
Printed Name/Title

1-4-2023
Date

Please note that this amended CDP is not valid unless and until a copy of it with the signed acknowledgement has been returned to the California Coastal Commission's Central Coast District Office (14 Cal. Admin. Code Section 13158).

COASTAL DEVELOPMENT PERMIT

Amended CDP 4-91-031 (through CDP amendment A1)

Van Beurden Harborwalk Improvements

Page 2 of 4

Standard Conditions

- 1. Notice of Receipt and Acknowledgment.** The permit is not valid and development shall not commence until a copy of the permit, signed by the Permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
- 2. Expiration.** If development has not commenced, the permit will expire two years from the date on which the Commission voted on the application. Development shall be pursued in a diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.
- 3. Interpretation.** Any questions of intent or interpretation of any condition will be resolved by the Executive Director or the Commission.
- 4. Assignment.** The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.
- 5. Terms and Conditions Run with the Land.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions.

Special Conditions

- 1. Approved Development.** This CDP authorizes the development approved under CDP 4-91-031, up to and including amendment -A1. The CDP as amended provides for, among other things, lateral Harborwalk development and wharf improvements, new vertical access, outdoor seating along the Embarcadero, public access signage, benches, and interpretive signs, all as shown on the project plans dated received in the Coastal Commission's Central Coast District office on November 18, 2022. The Permittee shall undertake development in accordance with the approved CDP as amended. Any proposed changes to the development shall be reported to the Executive Director. No changes to the development approved under this CDP as amended shall occur without a Commission-approved amendment to this amended CDP, unless the Executive Director determines that no amendment is legally required.
- 2. Public Access Requirements.** Public access shall be provided and managed with the objective of maximizing public use of the public access areas of the proposed development (including the Harborwalk lateral accessway and the 4-foot by 5-foot extension to the existing lateral access, the connecting vertical accessway, the wharf, the public outdoor seating areas, public access signs, trash receptacles, benches, and interpretive signs, as shown on page A1.3 of the approved project plans and labelled as such). Public access

COASTAL DEVELOPMENT PERMIT

Amended CDP 4-91-031 (through CDP amendment A1)

Van Beurden Harborwalk Improvements

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restrictions during construction shall be limited to the maximum extent feasible. Development and uses within the public access areas that disrupt and/or degrade public access (including areas set aside for private uses, barriers to public access (furniture, planters, temporary structures, private use signs, chains, ropes, etc.)) shall be prohibited except as noted below. The public access areas shall be maintained in a manner that maximizes public use and enjoyment. The public access areas and amenities along the Harborwalk lateral accessway (including the wharf) and the new vertical accessway shall be open to the general public free of charge and 24 hours per day with the exception of the wharf, which may be closed to public access during active fish unloading operations only. Lateral Harborwalk access adjacent to the wharf may only be closed when heavy equipment is being used to transfer fish via this access to the fish processing plant; otherwise, this access shall remain open during fish unloading operations taking place on the wharf. Any closure of the wharf or the lateral Harborwalk access for fish unloading operations shall be minimized to the maximum extent feasible and any cones, ropes, or chains used to restrict public access during such operations will be removed as soon as such operations are complete. No restaurant condiments or table settings shall be allowed in the outdoor table seating areas along the Embarcadero. Signs shall be placed on these tables indicating that seating is available for public use and no purchase is necessary to use the tables. The public access components of the project shall be maintained in their approved state in perpetuity.

3. **Landscaping.** Any plants installed on the sites shall be drought-tolerant noninvasive or native plant species. The planting of nonnative invasive species, such as those listed on the California Invasive Plant Council's Inventory of Invasive Plants, is prohibited.
4. **Construction Best Management Practices (BMPs).** The Permittee shall undertake construction development in accordance with the approved construction plan BMPs shown on page A1.6 of the approved project plans, unless the Executive Director determines that no amendment is legally required for any proposed minor deviations. All requirements of the approved construction BMPs shall be enforceable components of this CDP as amended.
5. **Coastal Hazards Risk.** By acceptance of this CDP as amended, the Permittee acknowledges and agrees to all the following:
 - a. **Coastal Hazards.** That the sites are subject to coastal hazards including, but not limited to, episodic and long-term shoreline retreat and coastal erosion, high seas, ocean waves, tsunamis, tidal scour, coastal flooding, landslides, bluff and geologic instability, bluff retreat, liquefaction and the interaction of same, many of which will worsen with future sea level rise.
 - b. **Assume Risks.** To assume the risks to the Permittee and the property that is the subject of this CDP as amended of injury and damage from such coastal hazards in connection with this permitted development.

COASTAL DEVELOPMENT PERMIT

Amended CDP 4-91-031 (through CDP amendment A1)

Van Beurden Harborwalk Improvements

Page 4 of 4

- c. Waive Liability.** To unconditionally waive any claim of damage or liability against the Commission, its officers, agents, and employees for injury or damage from such coastal hazards.
 - d. Indemnification.** To indemnify and hold harmless the Coastal Commission, its officers, agents, and employees with respect to the Commission's approval of the development against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such coastal hazards.
 - e. Permittee Responsibility.** That any adverse effects to property caused by the permitted development shall be fully the responsibility of the Permittee.
- 6. Compliance with Local Conditions of Approval.** The proposed development was approved by the City of Morro Bay via Major Amendment MAJ20-004 as Concept/Precise Plan approval. The City's conditions associated with that action remain in effect. In the event of conflict between any such conditions imposed by the City and the terms and conditions of this CDP as amended, the terms and conditions of this CDP as amended shall prevail.
- 7. Liability for Costs and Attorneys' Fees.** The Permittee shall reimburse the Coastal Commission in full for all Coastal Commission costs and attorneys' fees (including but not limited to such costs/fees that are: (1) charged by the Office of the Attorney General; and/or (2) required by a court) that the Coastal Commission incurs in connection with the defense of any action brought by a party other than the Permittee against the Coastal Commission and/or its officers, employees, agents, successors and assigns challenging the approval or issuance of this CDP as amended. The Permittee shall reimburse the Coastal Commission within 60 days of being informed by the Executive Director of the amount of such costs/fees. The Coastal Commission retains complete authority to conduct and direct the defense of any such action against the Coastal Commission and/or its officers, employees, agents, successors and assigns.
- 8. Public rights.** By acceptance of this CDP as amended, the Permittee acknowledges, on behalf of itself and its successors in interest, that issuance of the CDP as amended shall not constitute a waiver of any public rights that may exist on the property. The Permittee shall also acknowledge that issuance of the CDP, as amended, and construction of the permitted development shall not be used or construed to interfere with any public prescriptive or public trust rights that may exist on the property.



CITY OF MORRO BAY
COMMUNITY DEVELOPMENT DEPARTMENT
955 Shasta Avenue
Morro Bay, CA 93442

November 10, 2021

Van Beurden Investments
1330 Van Beurden Drive, Suite 101
Los Osos, CA 93402

SUBJECT: Case No.: #MAJ20-004 SITE: 715 EMBARCADERO ROAD,
(Concept/Precise Plan amendment of CUP07-91) LEASE SITES 80-81, 80W-81W

Dear Mr. Van Beurden,

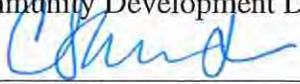
At its regular meeting on November 9, 2021, the City of Morro Bay City Council conditionally approved your request (Resolution 76-21) for a Major Modification #MAJ20-004 to Conditional Use Permit #CUP07-91 as a Concept/Precise Plan approval which allows conversion of 445 sf of the existing 1,025sf commercial fish processing wharf including removal of 5 existing wood pilings, installation of a new 10' wide Harborwalk coastal public access and additional 10 foot wide fiberglass deck, removal of a 580sf outdoor covered patio and conversion of the area to new Harborwalk with repair of 3 existing pilings to support the new Harborwalk, conversion of 470sf of existing interior fish processing area to new retail space, new 461sf of street-facing public outdoor dining, and related commercial façade improvements. No expansion of the existing building square footage is proposed, nor is any height increase proposed.

This action does not constitute a building permit. Any further processing of this project must be initiated by the applicant, subject to the applicable rules and regulations of the Morro Bay Municipal Code. *Please be advised that you must return the enclosed Acceptance of Conditions form, signed, to this department or the action is null and void.*

Also find enclosed the Notice of Exemption (NOE) for your project. The City of Morro Bay no longer files notices of exemptions. You may file the Notice of Exemption with the County Clerks' office located in the County Government Building in San Luis Obispo. The filing fee is \$50.00 and the County requires the original Notice of Exemption and at least one copy. Section 15062 (d) of the California Environmental Quality Act (CEQA) provides:

"The filing of a Notice of Exemption and the posting on the list of notices start a 35 day statute of limitations period on legal challenges to the agency's decision that the project is exempt from CEQA. If a Notice of Exemption is not filed, a 180 day statute of limitations will apply."

Sincerely,
Scot Graham
Community Development Director

By: 
Cindy Jacinth, Senior Planner

enc: Permit, Resolution 76-21, Notice of Exemption, and Acceptance of Conditions Form
e-copy: Cathy Novak Consulting



CITY OF MORRO BAY
COMMUNITY DEVELOPMENT DEPARTMENT
955 Shasta Avenue
Morro Bay, CA 93442

CONDITIONAL USE PERMIT
Major Modification

CASE NO: #MAJ20-004 (Concept/Precise Plan amendment of CUP07-91)

THIS PERMIT IS HEREBY APPROVED AND ISSUED FOR:

SITE ADDRESS: 715 EMBARCADERO ROAD, LEASE SITES 80-81, 80W-81W. APN #066-322-006

APPLICANT: Van Beurden Investments

APN/LEGAL: #066-322-006

DATE APPROVED: November 9, 2021 APPROVED BY: City Council (Reso 76-21)

CEQA DETERMINATION: Categorically Exempt, Section 15301, Class 1d for existing facilities.

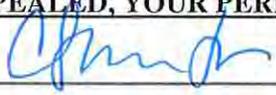
DESCRIPTION OF APPROVAL: Major Modification #MAJ20-004 to Conditional Use Permit #CUP07-91 approved as a Concept/Precise Plan amendment for the conversion of commercial fishing wharf to Harborwalk coastal public access by demolishing 445 sf of the existing 1,025sf commercial fish processing wharf including removal of 5 existing wood pilings, installation of a new 10' wide Harborwalk coastal public access and additional 10 foot wide fiberglass deck, removal of a 580sf outdoor covered patio and conversion of the area to new Harborwalk, repair of 3 existing pilings to remain for support of the new Harborwalk, conversion of 470sf of existing interior fish processing area to new retail space, new 461sf of street-facing public outdoor dining, and related commercial façade improvements. No expansion of the existing building square footage is proposed, nor is any height increase proposed. The project is located in the WF/PD/S4 zoning district and is within the Coastal Commission Original Jurisdiction.

THIS APPROVAL IS BASED UPON THE ATTACHED FINDINGS AND IS VALID ONLY IF CONDITIONS (ATTACHED) ARE MET AND ONLY AFTER THE APPLICABLE APPEAL PERIOD. Failure to comply with the conditions of this permit shall, at the discretion of the Community Development Director pursuant to Municipal Code Section 17.60.150, render this entitlement null and void.

YOUR PROPERTY IS LOCATED IN THE CITY OF MORRO BAY JURISDICTION. THERE IS AN APPEAL PERIOD OF TEN (10) CALENDAR DAYS, WITHIN WHICH TIME YOUR PERMIT IS APPEALABLE TO THE CITY COUNCIL – NOTE, CITY COUNCIL CUP ACTION IS FINAL AS OF DATE OF ACTION.

YOUR PROPERTY IS LOCATED IN THE COASTAL COMMISSION APPEALS JURISDICTION: THE FOLLOWING COASTAL COMMISSION APPEAL PERIOD APPLIES TO YOUR PROJECT: This City decision is appealable to the California Coastal Commission pursuant to the California Public Resource Code, Section 30603. The applicant or any aggrieved person may appeal this decision to the Coastal Commission within TEN (10) *Working days* following Commission receipt of this notice. Appeals must be in writing and should be addressed to: California Coastal Commission, 725 Front Street, Ste.300, Santa Cruz, CA 95060, 831-427-4863. If you have any questions, please call the City of Morro Bay Community Development Dept, 772-6261.

IF NOT APPEALED, YOUR PERMIT WILL BE EFFECTIVE: City Council CUP action is final

ATTEST:  DATE: 11-10-2021

THIS IS A DISCRETIONARY APPROVAL AND DOES NOT CONSTITUTE A BUILDING PERMIT



CITY OF MORRO BAY
COMMUNITY DEVELOPMENT DEPARTMENT
955 Shasta Avenue
Morro Bay, CA 93442

NOTICE OF EXEMPTION

TO: San Luis Obispo Co. Clerk
County Government Center
San Luis Obispo CA 93401

Office of Planning & Research
1400 Tenth Street
Sacramento, CA 95814

FROM: City of Morro Bay
Community Development Department
955 Shasta Avenue
Morro Bay, CA 93442

Project Title: 715 Embarcadero Public Access Improvements & Commercial Remodel

Project Location - Specific: 715 Embarcadero., Morro Bay, CA 93442 (APN 066-322-006)

Project Location - City: MORRO BAY **County:** SAN LUIS OBISPO

Description of Project: Conditional Use Permit Major Modification MAJ20-004 (Concept/Precise) for conversion of 445 sf of the existing 1,025sf commercial fish processing wharf including removal of 5 existing wood pilings, installation of a new 10' wide Harborwalk coastal public access and additional 10 foot wide fiberglass deck, removal of a 580sf outdoor covered patio and conversion of the area to new Harborwalk with repair of 3 existing pilings to support the new Harborwalk, conversion of 470sf of existing interior fish processing area to new retail space, new 461sf of street-facing public outdoor dining, and related commercial façade improvements. No expansion of the existing building square footage is proposed, nor is any height increase proposed.

Name of Public Agency Approving the Project: CITY OF MORRO BAY, 955 SHASTA AVE, MORRO BAY, CA 93442, CONTACT: cjacinth@morrobayca.gov, CINDY JACINTH, 805-772-6577

Name of Person or Agency Carrying Out Project: Van Beurden Invesments, 1337 Van Beurden Dr, #101, Los Osos, CA 93402, leon@bayososbrokers.com

Exempt Status: (Check One)

Reasons why project is exempt: Minor alterations to existing structures involving conversion of existing Fish processing commercial space to retail, conversion of wharf area to public access, removal/repair of pilings

- Ministerial (Sec. 21080(b)(1); 15268);
- Categorical Exemption: Type and Section Number: 15301, 15303
Class 1e and 1g
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Declared Emergency (Sec. 21080(b)(3); 15269(a)) Statuary Exemption Code No. _____

Lead Agency: City of Morro Bay, 955 Shasta Ave, Morro Bay, CA 93442

Contact Person: Cindy Jacinth, Senior Planner Phone: 805-772-6577 cjacinth@morrobayca.gov

Has a Notice of Exemption been filed by the public agency approving the project? Yes No

Certification: I hereby certify that the public agency has made the above finding and that the project is categorically exempt from CEQA.

Signature: Title: Senior Planner Date: 11/10/2021

RESOLUTION NO. 76-21

**RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF MORRO BAY, CALIFORNIA,
TO CONDITIONALLY APPROVE MAJOR MODIFICATION (MAJ20-004) OF
CONDITIONAL USE PERMIT (CUP07-91) CONCEPT / PRECISE PLAN
APPROVAL FOR CONVERSION OF EXISTING COMMERCIAL FISHING
WHARF, INSTALLATION OF NEW HARBORWALK COASTAL PUBLIC
ACCESS IMPROVEMENTS, REMOVAL AND REPAIR OF PILINGS TO
SUPPORT THE NEW HARBORWALK, CONVERSION OF 470SF OF
EXISTING INTERIOR FISH PROCESSING AREA TO NEW RETAIL SPACE
FROM WITHIN EXISTING SINGLE-STORY COMMERCIAL BUILDING, NEW
461SF OF PUBLIC OUTDOOR DINING, AND RELATED BUILDING FAÇADE
IMPROVEMENTS
AT 715 EMBARCADERO**

**THE CITY COUNCIL
City of Morro Bay, California**

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing via video conference on September 21, 2021 and October 5, 2021 for the purpose of considering a favorable recommendation to the Morro Bay City Council for approval of a Major Modification (MAJ20-004) to Conditional Use Permit CUP07-91 ("Project"); and

WHEREAS, the City Council of the City of Morro Bay (the "City") conducted a public hearing via video conference on November 9, 2021, for the purpose of considering the favorable recommendation by the Planning Commission; and

WHEREAS, pursuant to the Governor's Executive Order N-08-21 issued on June 11, 2021 in response to the present State of Emergency in existence due to the threat of COVID-19, the City of Morro Bay Planning Commission and the City of Morro Bay City Council are authorized to hold public meetings via teleconferencing and all requirements in the Brown Act expressly or impliedly requiring the physical presence of members, the clerk or other personnel of the body, or of the public as a condition of participation in or quorum for a public meeting are hereby waived; and

WHEREAS, notices of said public hearings were made at the time and in the manner required by law; and

WHEREAS, the City Council has duly considered all evidence, including the testimony of the Applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Morro Bay as follows:

Section 1. Findings. Based upon all the evidence, the Council makes the following findings:

California Environmental Quality Act (CEQA)

- A. For purposes of the California Environmental Quality Act, Case No. MAJ20-004 is exempt under Section 15301 and 15303, Class 1e and 1g for minor alterations to existing structures; and Class 3c for conversion of commercial structures from one use to another where the commercial remodel of this project converting the fish processing wharf and removal to allow for installation of new Harborwalk coastal public access where none currently exists, interior building changes to convert 470sf of existing interior fish processing area to new retail area from within the existing building footprint, removal of pilings and repair of existing pilings to support the new Harborwalk would qualify for an exemption with implementation of best management practices as evaluated in the February 1, 2019 eelgrass report prepared by Tena Environmental and conditioned by Planning conditions 7-9. To ensure there are no future impacts to eelgrass, a condition of approval has been added to require an updated eelgrass survey prior to construction of the dock and gangway replacement per the California Eelgrass Mitigation Policy (CEMP) (Planning condition 10). Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

Conditional Use Permit Findings

- A. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that the conversion of commercial fish processing wharf to Harborwalk coastal public access improvements where none currently exists, removal of pilings and repair of existing pilings to support the new Harborwalk, conversion of 470sf of interior fishing processing area to new retail area within existing single-story commercial visitor-serving building, new 461sf of public dining area to be located street-facing, and building façade improvements at 715 Embarcadero are permitted uses within the zoning district and said structures comply with all applicable project conditions and City regulations and is consistent with the City's Local Coastal Program.
- B. The project will not be injurious or detrimental to property and improvements in the neighborhood and the general welfare of the City in that the proposed new ten-foot-wide and additional ten-foot-wide public bayside deck public access improvements, new 470sf retail area, new 461sf public outdoor dining and updated public coastal access signage, will provide public coastal access and new amenities to a visitor-serving commercial use and is consistent with the character of the existing development.

Waterfront Master Plan Findings

- A. The proposed project makes a positive contribution to the visual and public accessibility to the bay:
- a. The proposed project provides the amenities identified in the WF Plan, facilitates pedestrian visual and physical access to the waterfront, in that new Harborwalk bayside lateral access is created where none currently exists providing a significant improvement by connecting the neighboring lease site to allow for easier pedestrian access, enjoyment, and better bay views.
 - b. The design recognizes the pedestrian orientation of the Embarcadero and provides an interesting and enhanced pedestrian experience in that the project will provide new

lateral public access along the water while assisting in the Harborwalk plan to continue public access along the waterfront via bayside lateral access. In addition, the project recognizes the pedestrian orientation by providing a gap connection linking the lease sites to the north and south. The project is consistent with the character of the existing development.

- c. The project gives its occupants and the public some variety in materials and/or application in that the proposed color and materials are consistent with the character of the building and coastal access signage will be updated to be consistent with other Embarcadero projects in order to have consistent public access signage to promote public awareness of coastal bayside access.
- d. The project contains the elements of harmony, continuity, proportion, simplicity, and balance, and its appearance matches its function and the uses proposed in that the new harborwalk public lateral access improves public access and that is consistent with the character of the existing development.
- e. The proposed project does not diminish, either directly or by cumulative impact of several similar projects, the use, enjoyment, or attractiveness of adjacent buildings and provides a visual and pedestrian transition connection point to its immediate neighbors to the north and south.

Architectural Consideration

- A. As required by Morro Bay Municipal Code Section 17.48.200 the City Council finds the architectural treatment and general appearance of all proposed structures and open areas are in keeping with the character of the surrounding areas, are compatible with any design themes adopted by the city and are not detrimental to the orderly and harmonious development of the city or to the desirability of investment of occupation in the area.

Precise Plan Finding

- A. As required by Morro Bay Municipal Code Section 17.40.030.G, the City Council finds the project is developed sufficiently to approve the project as a combined concept/precise plan major modification approval of the conditional use permit.

Downtown Waterfront Specific Plan (DWSP) Finding

- A. The project is consistent with the Waterfront Design Guidelines for the DWSP in that the proposed project includes outdoor dining, exterior lighting, and coastal access signage oriented toward pedestrians which is encouraged. The project also includes project exterior light consistent with the architectural style of the building as well as public street-facing outdoor dining and a new proposed ten-foot-wide Harborwalk bayside lateral access with an additional ten-foot width of public bayside decking.

Section 2. Action. The City Council does hereby approve Major Modification #MAJ20-004 to Conditional Use Permit #CUP07-91 as a combined Concept/Precise Plan approval subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated October 26, 2021, for the project at 715 Embarcadero depicted on plans dated September 29, 2021, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on City Council approved plans submitted for MAJ20-004, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

Building Conditions:

THE FOLLOWING CONDITIONS AND SELECTED CODE REQUIREMENTS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT.

A. CONDITIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
6. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
7. BUILDING PERMIT APPLICATION: To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.
8. The Title sheet of the plans shall include, but not limited to:
 - Street address, lot, block, track and Assessor Parcel Number
 - Occupancy Classification(s)
 - Construction Type
 - Maximum height of the building allowed and proposed

- Floor area of the building(s)
 - Fire sprinklers proposed or existing
 - Minimum building setback allowed and proposed
9. All construction will conform to the 2019 California Building Code (CBC), 2019 California Residential Code (CRC), 2019 California Fire Code (IFC), 2019 California Mechanical Code (CMC), 2019 California Plumbing Code (CPC), 2019 California Electrical Code (CEC), 2019 California Energy Code, 2019 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

10. **SITE MAINTENANCE:** During construction, the site shall be maintained to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained through the duration of the project. The storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.
11. **ARCHAEOLOGICAL MATERIALS:** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
12. **FOUNDATION SETBACK VERIFICATION:** Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some lot types.
13. **BUILDING HEIGHT VERIFICATION:** Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height

of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some site-specific projects.

14. EXISTING BUILDINGS: Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the maximum sill height requirements of section R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2019 California Residential Code.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:

15. Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.
16. Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
17. If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
18. If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
19. Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
20. Final T-24 energy reports (Certificates of Installation)

Fire Department Conditions:

1. Fire Safety during Construction and Demolition shall be in accordance with 2019 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Fire Protection for Wharves, docks, marinas, boat moorings. Firefighting appliances and equipment shall be provided and maintained in an operable manner for all commercially operated marinas and dock facilities, as specified by ordinances of the city, and all installations shall be subject to the approval of the fire marshal of the Fire Department.

Public Works Conditions:

1. Construction laydown: Show construction laydown, all staging areas, point of haul-in/out and all construction corridors to and from the construction site.
2. Pedestrian Access: Show limits of construction fencing and how pedestrian access will be accommodated/re-routed throughout the project duration.
3. Erosion Control: Show location of silt screens and/or straw waddle needed to prevent demolition debris and sediments.
4. Add the following Notes to the Plans:

Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.

No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permit application and requirements are available on the City's website at the following location: <https://www.morro-bay.ca.us/197/Public-Works>.

Planning Conditions:

1. A Coastal Development Permit shall be submitted to the Community Development Department prior to issuance of a building permit.
2. Prior to issuance of a building permit, the Applicant shall either acquire all required regulatory permits and authorizations (i.e. U.S. Army Corps of Engineers, Regional Water Quality Control Board, California Department of Fish and Game), or submit documentation that such permits are not required.
3. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval for both the Conditional Use Permit and the Coastal Development Permit shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
4. Inspection: The applicant shall comply with all City conditions of approval and conditions imposed by the California Coastal Commission and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.
5. The public access closure shall be limited to no more than 45 days. Any extension of public access closure beyond 45 days shall be subject to review and approval by the Community Development Director.
6. The Harborwalk railing shall be a cable railing design to match with the lease site to the north and consistent with the design guidelines of the Downtown Waterfront Strategic Plan subject to the satisfaction of the Community Development Director.
7. Non-conforming signs, including window signs as discussed in the September 14, 2021

staff report shall be removed or otherwise conform to the Sign Ordinance (MBMC 17.68).

8. A project-specific Oil Spill Response and Recovery Plan that includes specifics on reporting and response procedures, available on-site equipment and contracted services, and responsibilities shall be completed and approved prior to the initiation of construction activities. Specifically, the project shall include the following Best Management Practices (BMPs) and shall be included on building plans submitted for approval:
 - a. No refueling of equipment without adequate containment and spill response equipment. The barge shall have only double contained fuel storage below decks, with the spill containment and clean up kits on-site and easily accessible. Spill containment and clean up kits shall include the following:
 - b. 150 feet Absorbent Boom 200 square feet Absorbent Tarp (for use during pile driving / removal operations where applicable)
 - c. Barrel Absorbent Pads
 - d. Container Absorbent Granules
 - e. Rainwater runoff pollution from equipment stored on deck shall be prevented through ongoing equipment maintenance and appropriate double containment.
 - f. The work area shall be contained within a boom to prevent debris from falling into the water.
 - g. All equipment fueling shall take place on the barge, with containment in-place. No refueling between vessels shall occur.
 - h. An Absorption Tarp shall be placed underneath any portable equipment while in use.
 - i. No equipment shall be permitted to enter the water with any petroleum products.
 - j. All equipment used during pile removal and repair operations shall be in good condition without fuel or oil leakage.
 - k. Should any equipment begin to leak, that equipment shall be removed immediately from the barge and repaired or replaced.
 - l. All vessels shall have portable, regularly serviced sanitation equipment. No overboard discharge is permitted.
9. Netting or fencing around and underneath the project site shall be installed as applicable to catch and remove debris released during and after construction.
10. To reduce potential turbidity-associated impacts, silt screens should be used when and where they will be effective. The relatively high tidal currents within Morro Bay could reduce the effectiveness of silt screens and should be considered prior to placing of these screens.
11. Eelgrass – Applicant shall be subject to the California Eelgrass Mitigation Policy (CEMP) which requires that a pre-construction survey shall be completed within 30-60 days prior to issuance of a building permit unless otherwise waived under the Army Corps permitting requirements or deemed not required by the Army Corps. A Post-construction survey, if required by the CEMP, shall be completed within 30 days of construction completion or as otherwise determined by the National Marine Fisheries Service (NMFS) in order to determine amount of impact if any and CEMP-required annual reporting and mitigations. Any change in eelgrass extent shall be documented and reported to the Community Development Director. If the report identifies a reduction in eelgrass coverage then a plan shall be prepared to identify the appropriate mitigations necessary and in line with the specifications for mitigation of eelgrass habitat as provided for in the California Eelgrass

Mitigation Policy, dated October 2014.

12. Harborwalk Bayside Lateral Public Accessway. The bayside lateral access, also known as the Harborwalk, shall maintain a 10-foot-wide coastal access with open unobstructed access at all times with no tables or dining encroachments in order to maximize public access. Any uses that obstruct the lateral access such as private uses or barriers including furniture, planters, ropes, or seating not otherwise approved within the ten-foot bayside lateral access shall be prohibited.
13. No restaurant condiments or table setups shall be allowed at the outdoor public dining area.
14. View Corridor. The required view corridor between the buildings at 701 and 715 Embarcadero shall be maintained with no furniture item or table umbrellas to exceed 30 inches in height per the Waterfront Master Plan. No podium, hostess stand or station shall be allowed within the view corridor and public dining area.

Planning Commission revised conditions 15-16 and added conditions 17-23 at 10/5/21 meeting.

15. Public outdoor street-facing dining tables shall be affixed to the ground to avoid movement outside of the approved seating area as shown on project plans dated September 29, 2021 and shall be limited to no more than 4 tables total as shown in the alternate table layout option on project plan sheet A1.3.
16. Final building elevations submitted for building permit approval shall include added glazing in the form of window/door area that equals a minimum of 20% of the square footage of the west facing retail unit's wall area including the new retail unit's door and glass panel at northwest corner of the building.
17. Umbrellas for public outdoor street-facing tables shall be consistent with future City policy guidelines for Embarcadero street furniture design. Umbrellas shall be replaced at the time of building permit issuance to the satisfaction of the Community Development Director.
18. Prior to building permit issuance, Applicant shall submit a landscaping plan for the street-facing plaza that includes all planter areas, including movable pots and planters with objective of being as clutter free as possible.
19. Street-facing tables shall include no-smoking signs such as a circular graphic that illustrates smoking not allowed.
20. Plans submitted for building permit approval shall include a final plan for the Harborwalk that includes slope profiles including in the areas where the harborwalk connects with adjacent lease sites. Plan shall be reviewed and approved by the Community Development Director prior to building permit issuance. Plan shall also be reviewed by Planning Commissioner Roschen.

Exhibit D

21. Project plans shall be revised to preserve existing wharf planking and edge curbs for the portion of the wharf that is to remain. Relocate edge curbs to the new footprint on the inside of guardrail.
22. Lighting shall be revised to a warm kelvin color consistent with future City policy guidelines for public area design on the Embarcadero.
23. Existing hoist on the commercial fishing wharf shall be preserved to the greatest extent feasible. Applicant shall work with Staff to identify options for preservation and possible storage.

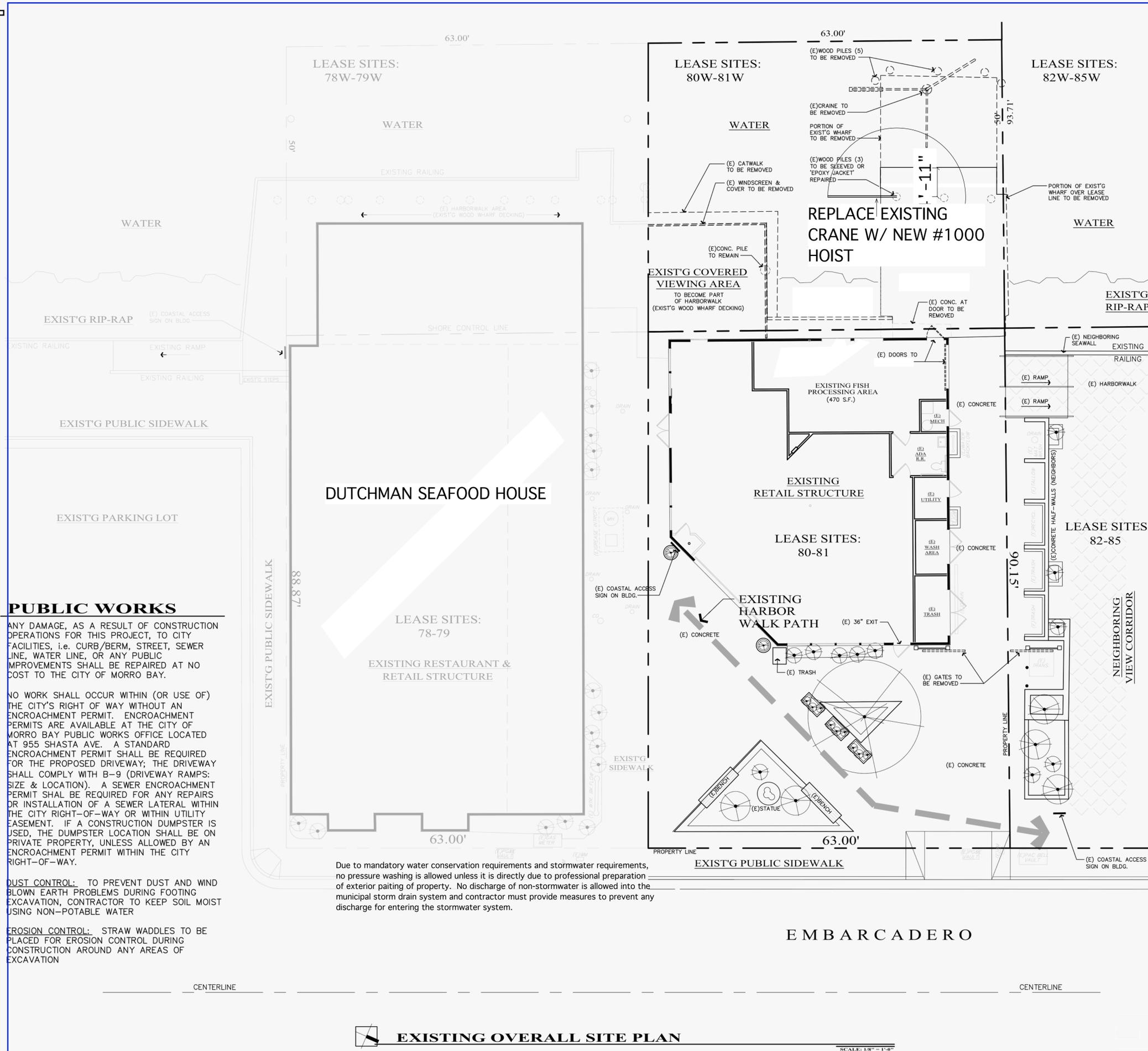
PASSED AND ADOPTED by the City Council of the City of Morro Bay at a regular meeting thereof held on this 9th day of November 2021 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

JOHN HEADDING, Mayor

ATTEST

DANA SWANSON, City Clerk



LEASE SITES:
78W-79W

LEASE SITES:
80W-81W

LEASE SITES:
82W-85W

REPLACE EXISTING
CRANE W/ NEW #1000
HOIST

DUTCHMAN SEAFOOD HOUSE

EXISTING
RETAIL STRUCTURE

LEASE SITES:
80-81

LEASE SITES:
82-85

EXISTING
HARBOR
WALK PATH

LEASE SITES:
78-79

EXISTING RESTAURANT &
RETAIL STRUCTURE

EMBARCADERO

Due to mandatory water conservation requirements and stormwater requirements, no pressure washing is allowed unless it is directly due to professional preparation of exterior painting of property. No discharge of non-stormwater is allowed into the municipal storm drain system and contractor must provide measures to prevent any discharge for entering the stormwater system.

EXISTING OVERALL SITE PLAN

SCALE: 1/8" = 1'-0"

PROJECT DESC.

THIS PERMIT WOULD ALLOW FOR MODIFICATIONS TO THE EXISTING WHARF AREA BY REMOVING THE EXISTING COVERED WINDSCREEN AREA, REMOVING A PORTION OF THE EXISTING FISH PROCESSING WHARF THAT IS IN NEED OF REPAIR, CONVERSION OF THE INTERIOR FISH PROCESSING AREA INTO RETAIL SPACE, AND ADDING A NEW PORTION OF WHARF TO CREATE A CONTINUOUS ACCESSIBLE SECTION OF THE MORRO BAY HARBORWALK. THE NEW SECTION OF HARBORWALK WOULD CONNECT WITH EXISTING PORTIONS TO THE NORTH AND SOUTH. THE PERMIT WILL ALSO ALLOW AN UPDATE TO THE EXISTING FACADE WITH NEW VERTICAL BOARD AND BATTEN SIDING WITH SHINGLE AND CORRUGATED METAL ACCENTS.

PROJECT AREAS

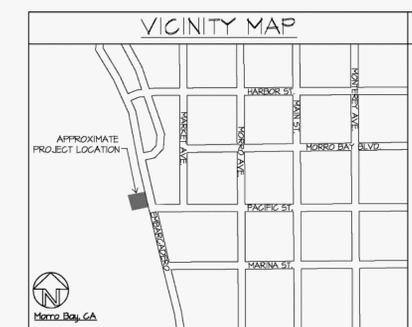
EXIST'G COVERED WINDSCREEN AREA: (WINDSCREEN TO BE REMOVED)	580 SF
EXIST'G FISH PROCESSING WHARF:	990 SF
TOTAL:	1,570 SF
PORTION OF FISH PROCESSING WHARF TO REMOVE:	-416 SF
NEW WHARF AREA TO BE INSTALLED: (BETWEEN PATIO & WHARF, AND ANGLE AT HARBORWALK)	+380 SF
FIN. COMBINED WHARF/PATIO AREA:	1950 SF
NEW OUTDOOR DINING (PUBLIC): (ADJACENT TO EMBARCADERO)	+461 SF
EXISTING RETAIL STRUCTURE:	2,422 SF

BLDG. CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA ENERGY CODE
- CALIFORNIA GREEN BUILDING CODE
- 2019 CALIFORNIA FIRE CODE
- CALIFORNIA REFERENCE STANDARDS CODE

CONST. HOURS

PURSUANT TO MBMC SUBSECTION 9.28.030.1, CONSTRUCTION OR REPAIRING OF BUILDINGS, THE ERECTION (INCLUDING EXCAVATING), DEMOLITION, ALTERATION, OR REPAIR OF ANY BUILDING OR GENERAL LAND GRADING AND CONTOUR ACTIVITY USING EQUIPMENT IN SUCH A MANNER AS TO BE PLAINLY AUDIBLE AT A DISTANCE OF FIFTY FEET FROM THE BUILDING OTHER THAN BETWEEN THE HOURS OF SEVEN A.M. AND SEVEN P.M. ON WEEKDAYS AND EIGHT A.M. AND SEVEN P.M. ON WEEKENDS EXCEPT IN CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH A PERMIT FROM THE PUBLIC SERVICES DEPT., WHICH PERMIT MAY BE GRANTED FOR A PERIOD NOT TO EXCEED THREE DAYS OR LESS WHILE THE EMERGENCY CONTINUES AND WHICH PERMIT MAY BE RENEWED FOR A PERIOD OF THREE DAYS OR LESS WHILE THE EMERGENCY CONTINUES.



SHEET INDEX

- A1.1 EXIST'G SITE PLAN / PROJ. INFO.
- A1.2 LAND SURVEY
- A1.3 PROPOSED SITE PLAN
- A1.4 EXTERIOR LIGHTING
 - A1.4a PRELIMINARY STRUCTURAL
- A2.1 ELEVATIONS
 - A2.1a EXISTING AND PROPOSED
- A3.1 PROJECT B.M.P.

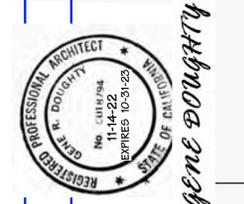
PUBLIC WORKS

ANY DAMAGE, AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.

NO WORK SHALL OCCUR WITHIN (OR USE OF) THE CITY'S RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMITS ARE AVAILABLE AT THE CITY OF MORRO BAY PUBLIC WORKS OFFICE LOCATED AT 955 SHASTA AVE. A STANDARD ENCROACHMENT PERMIT SHALL BE REQUIRED FOR THE PROPOSED DRIVEWAY; THE DRIVEWAY SHALL COMPLY WITH B-9 (DRIVEWAY RAMPS: SIZE & LOCATION). A SEWER ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ANY REPAIRS OR INSTALLATION OF A SEWER LATERAL WITHIN THE CITY RIGHT-OF-WAY OR WITHIN UTILITY EASEMENT. IF A CONSTRUCTION DUMPSTER IS USED, THE DUMPSTER LOCATION SHALL BE ON PRIVATE PROPERTY, UNLESS ALLOWED BY AN ENCROACHMENT PERMIT WITHIN THE CITY RIGHT-OF-WAY.

DUST CONTROL: TO PREVENT DUST AND WIND BLOWN EARTH PROBLEMS DURING FOOTING EXCAVATION, CONTRACTOR TO KEEP SOIL MOIST USING NON-POTABLE WATER

EROSION CONTROL: STRAW WADDLES TO BE PLACED FOR EROSION CONTROL DURING CONSTRUCTION AROUND ANY AREAS OF EXCAVATION



LAND/SEA INTERFACE
GENE DOUGHTY-ARCHITECT
1-805-772-8436

**VAN BURDEN
HARBORWALK MODIFICATION
& FACADE UPDATE**
715 EMBARCADERO, MORRO BAY, CALIF.

EXISTING SITE
GENERAL NOTES

11-14-22
2-13-23
DRAWN: GD
SCALE: AS NOTED

SHEET **A1.1**
OF 6 SHEET



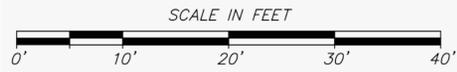
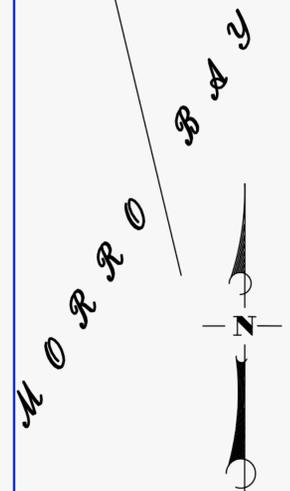
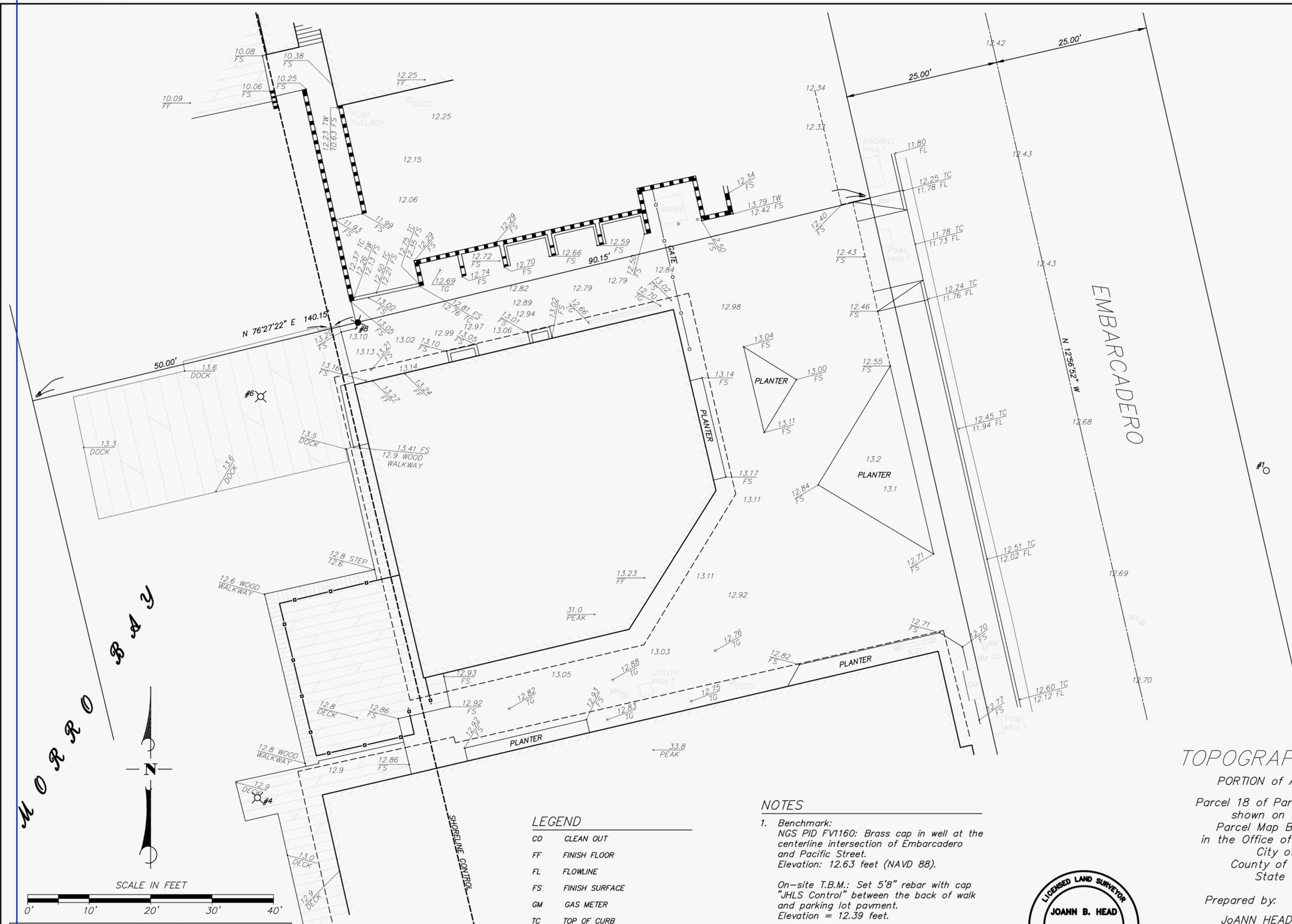
LAND/SEA INTERFACE
GENE DOUGHTY-ARCHITECT 1-805-772-8436

VAN BEURDEN
HARBORWALK MODIFICATION
& FACADE UPDATE
715 EMBARCADERO, MORRO BAY, CALIF.

LAND SURVEY

11-14-22

SHEET **A1.2** OF 8 SHEET



CONTROL TABLE			
#	NORTHING	EASTING	DESCRIPTION
1	9000.00	9000.00	5/8"RBR "JHLS CONTROL"
2	8947.02	8835.85	MAG@VIEW SPOT
6	9012.00	8836.38	MAG@CTR OF DOCK
8	9023.99	8852.20	N&T "EDA"

LEGEND

CO	CLEAN OUT
FF	FINISH FLOOR
FL	FLOWLINE
FS	FINISH SURFACE
GM	GAS METER
TC	TOP OF CURB
TW	TOP OF WALL
WM	WATER METER
23.5	SPOT ELEVATION (MEASURED AT DECIMAL POINT)

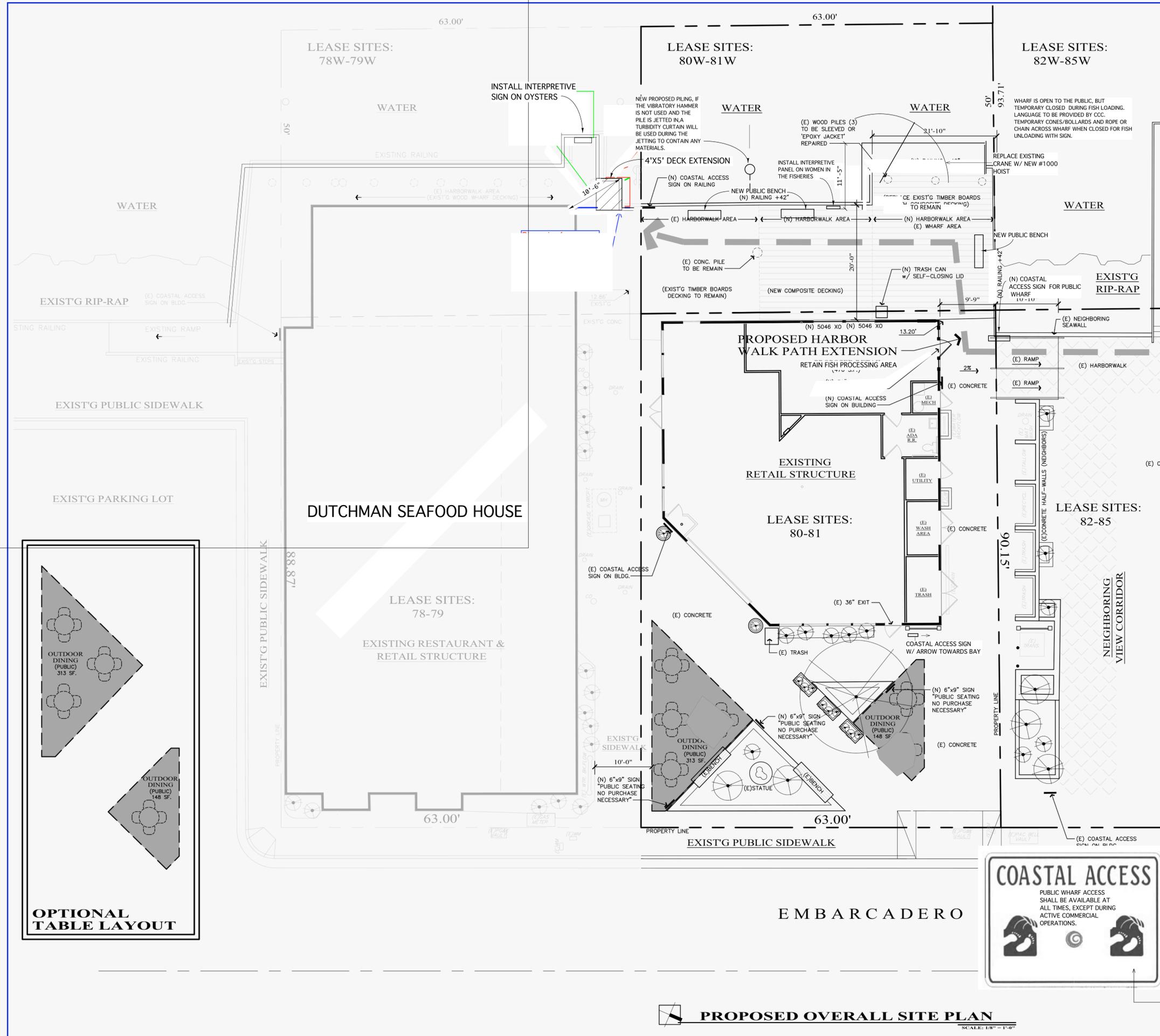
- NOTES**
- Benchmark: NGS PID FV1160: Brass cap in well at the centerline intersection of Embarcadero and Pacific Street. Elevation: 12.63 feet (NAVD 88).
On-site T.B.M.: Set 5"8" rebar with cap "JHLS Control" between the back of walk and parking lot pavement. Elevation = 12.39 feet.
 - Bearings and distances shown are measured per boundary survey in progress.
 - Survey date: December 12 and 16, 2019.



TOPOGRAPHIC SURVEY

PORTION of APN 066-322-006
Parcel 18 of Parcel Map MB 68-30 as shown on map recorded in Parcel Map Book 3, at Page 10 in the Office of the County Recorder City of Morro Bay, County of San Luis Obispo, State of California.

Prepared by:
JoANN HEAD LAND SURVEYING
Post Office Box 887
Santa Margarita, CA 93453
(805) 674-1530



TRASH CAN w/ LID

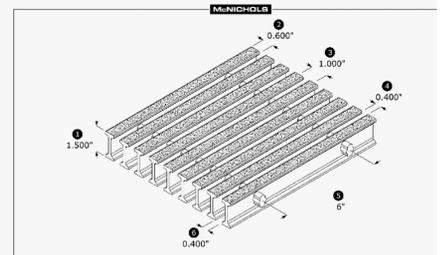
ADDITIONAL GLAZING NEW RETAIL SPACE

ADDITIONAL GLAZING TO NEW RETAIL SPACE SHALL TOTAL 15% SURFACE AREA OF THE NEW RETAIL SPACE WESTERLY FACING WALL.

WESTERLY WALL SURFACE AREA: 493
15% OF 493 SF = 73.95

PROPOSED NEW GLAZING:

3'x6'8" DR.	=	12 SF
1660 FX	=	9 SF
1660 FX	=	9 SF
5046 XO	=	22.5 SF
5046 XO	=	22.5 SF
TOTAL PROPOSED:		75 SF



McNICHOLS CO.	McNICHOLS FIBERGLASS GRATING	APPROVAL	DRAWING NUMBER
DESIGNED BY: VLS	DESIGNED BY: VLS	DATE: 11-14-22	FIG 45V08
DRAWN BY: GD	DRAWN BY: GD	DATE: 11-15-22	
CHECKED BY: VLS	CHECKED BY: VLS	DATE: 11-15-22	
DATE: 11-14-22	DATE: 11-14-22	DATE: 11-15-22	

FIBERGLASS GRATING



COASTAL ACCESS SIGNAGE

SIGNAGE SHALL BE 24" WIDE x 18" HIGH METAL SIGN WITH IMAGES, MOUNTED FLAT TO HARBORWALK RAILING. WHITE BACKGROUND WITH BLUE LETTERING.

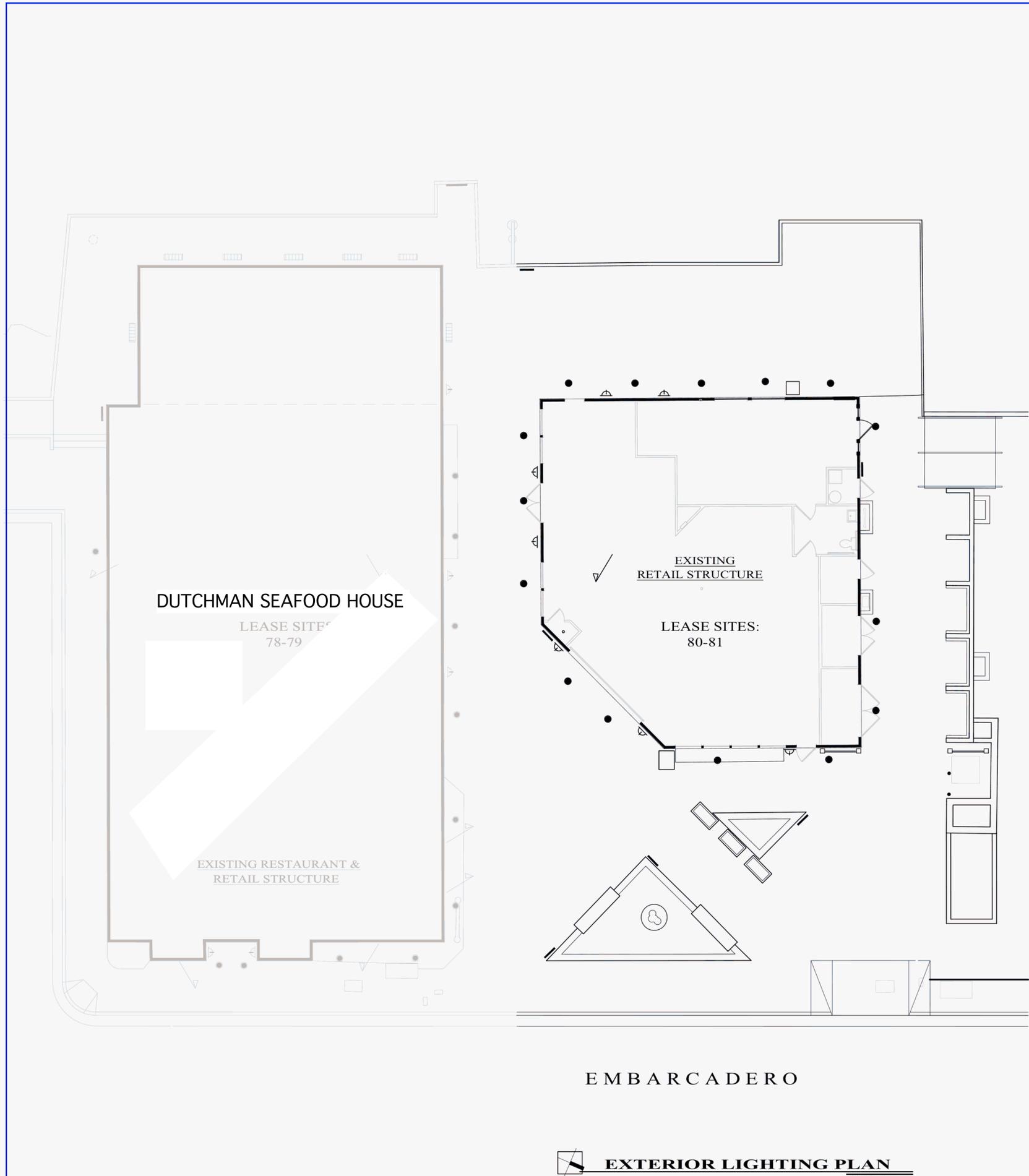


LAND/SEA INTERFACE
GENE DOUGHTY-ARCHITECT 1-805-772-8436

VAN BEURDEN HARBORWALK MODIFICATION & FACADE UPDATE
715 EMBARCADERO, MORRO BAY, CALIF.

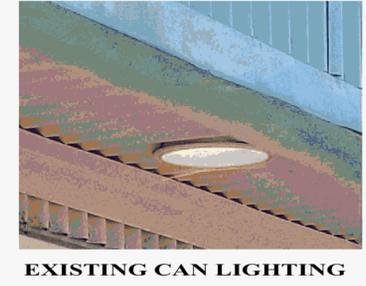
PROPOSED SITE PLAN
11-14-22
11-15-22
DRAWN: GD
SCALE: AS NOTED

SHEET **A1.3** OF 8 SHEET



LIGHTING LEGEND

- EXISTING RECESSED CAN LIGHTING IN EAVES.
- ▲ WALL MOUNTED SCONES TO BE REPLACED WITH SPEC'D SCONES BELOW
- ▣ EXISTING LOW PATHWAY WALL MOUNTED LIGHTS AT 20" ABOVE WALKWAY
- ↗ EXISTING SIGN LIGHTING



Westinghouse SPECIFICATION SHEET
Orson

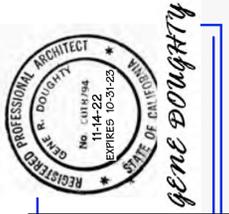
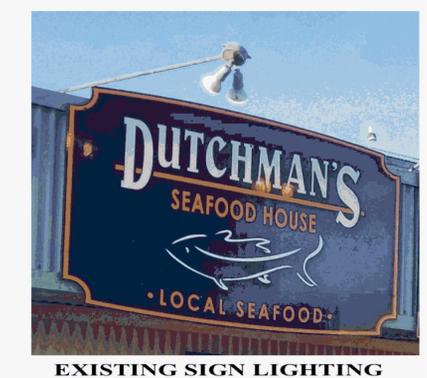
Item Number: 6360500
1 Light LED Wall Fixture- Weathered Steel
Finish with Clear Prismatic Lens

Specifications

- Height: 11.61"
- Width: 10.63"
- Extends: 11.61"
- Height from Center of Outlet Box: 5.08"
- Back Plate: D: 6.18"
- Hours: 20000
- Life (years): 18.2
- Fixture Lumens: 550
- Light Source Lumens: 640
- Kelvin: 2700
- Equivalent Incandescent Wattage: 40W
- Includes 9 Watt Integrated LED



PROPOSED WALL SCONCE



LAND/SEA INTERFACE
GENE DOUGHTY-ARCHITECT 1-805-772-8436

**VAN BEURDEN
HARBORWALK MODIFICATION
& FACADE UPDATE**
715 EMBARCADERO, MORRO BAY, CALIF.

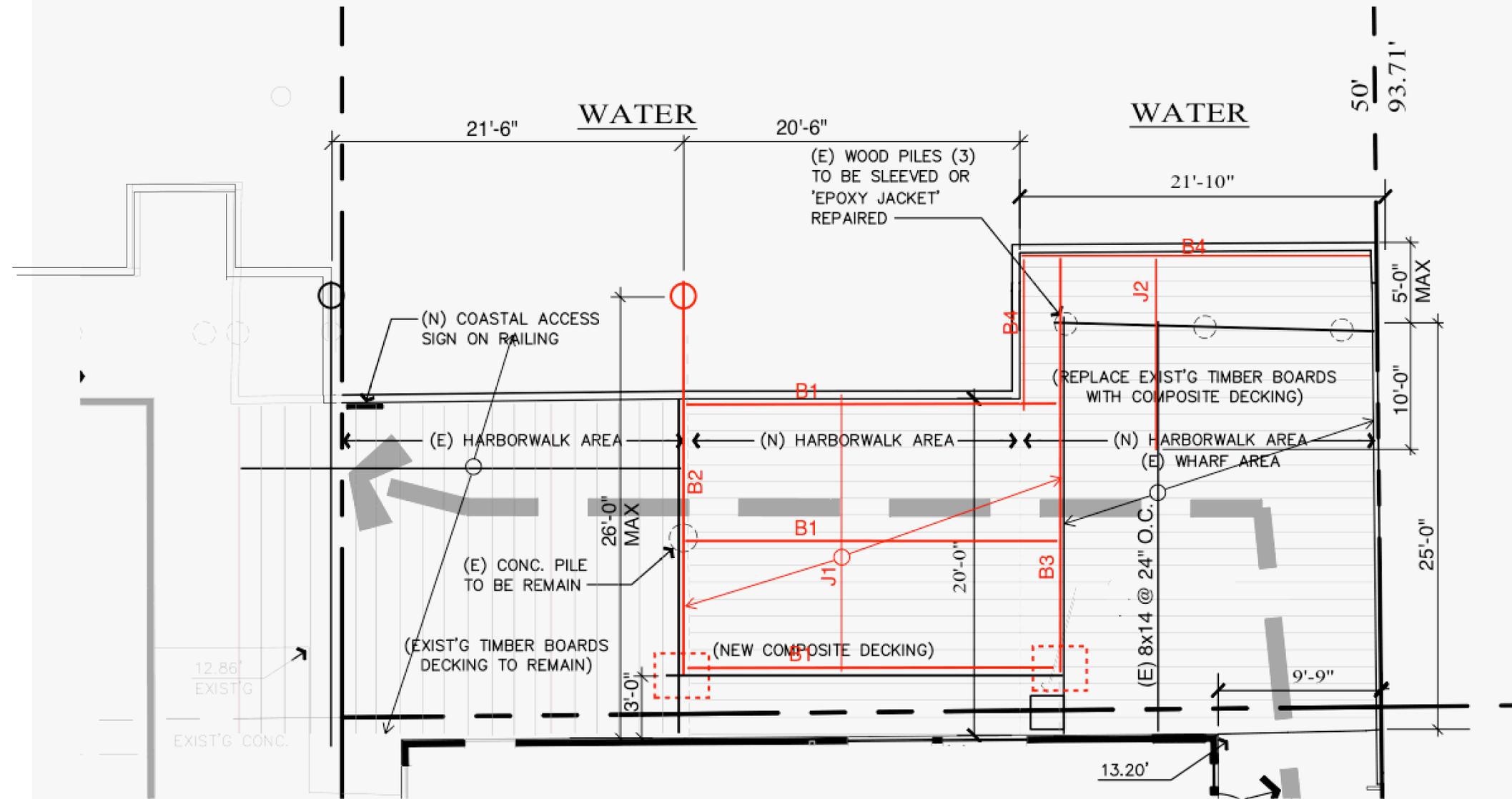
LIGHTING

11-14-22
DRAWN: GD
SCALE: AS NOTED

SHEET
A1.4
OF 8 SHEET

EXTERIOR LIGHTING PLAN
SCALE: 1/8" = 1'-0"

Structural Conceptual Sketch



Plan

JOISTS:

- J1: 2x12 @ 16" O.C.
- J2: 8x14 @ 24" O.C. (use demoed existing beams from this pier)

BEAMS:

- B1: 8-3/4"x24" GLB
- B2: 12-1/4"x30" GLB (ALTERNATE STEEL BEAM W21x68)
- B3: 8-3/4"x27" GLB
- B4: 4x14



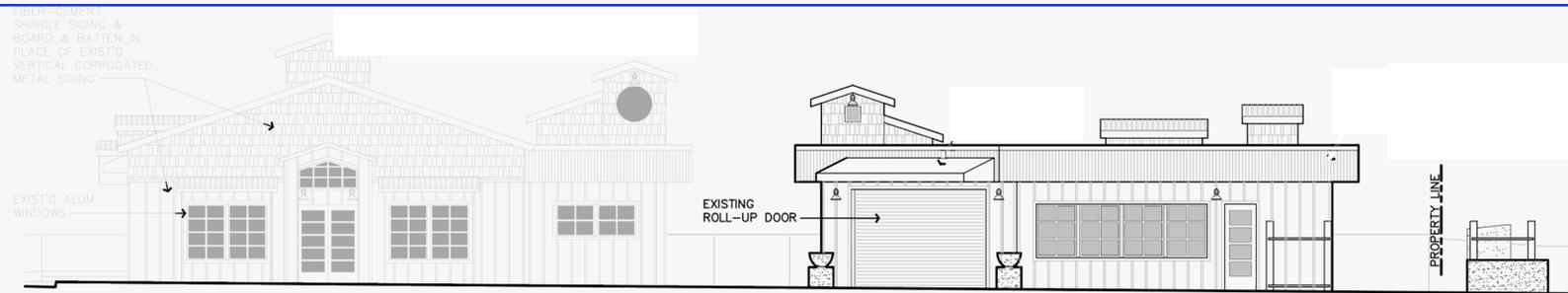
LAND/SEA INTERFACE
 GENE DOUGHTY-ARCHITECT
 1-805-772-8436

**VAN BEURDEN
 HARBORWALK MODIFICATION
 & FACADE UPDATE**
 Paul Van Beurden
 701 Embarcadero Road
 Morro Bay, CA 93442
 715 EMBARCADERO, MORRO BAY, CALIF.

PRELIMINARY
 STRUCTURAL

2-13-23
 DRAWN: GD
 SCALE: AS NOTED

SHEET
A1.4a
 OF 8 SHEET



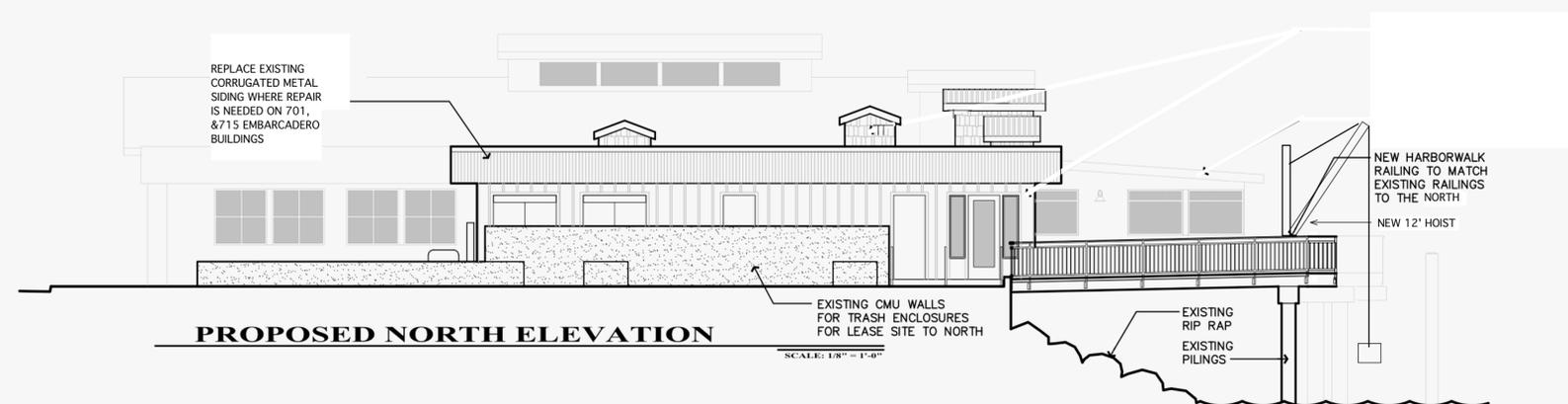
PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"



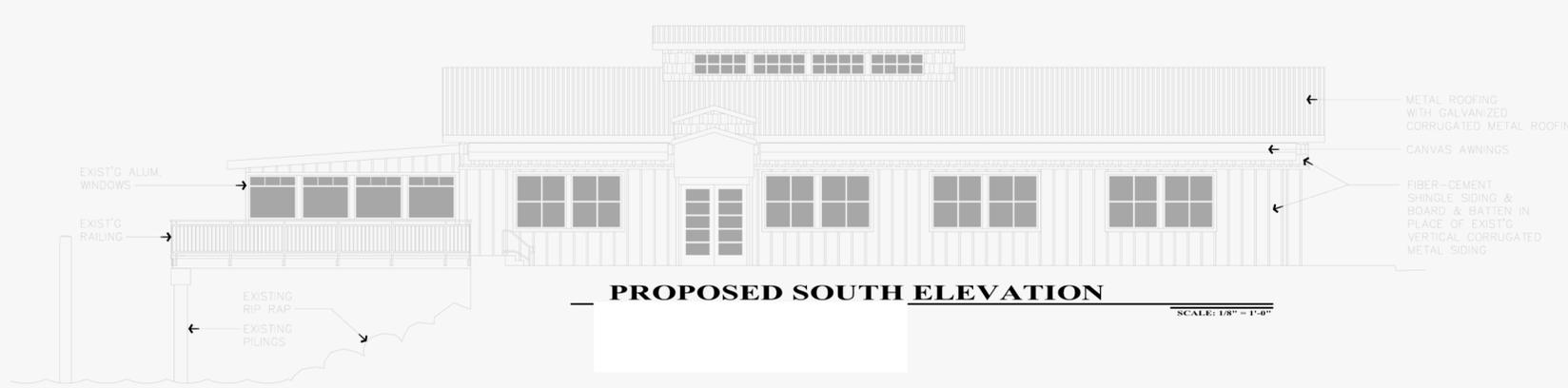
PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

OUTSIDE FURNITURE



MARINE GRADE POLYMER TOP TABLE
42" ROUND DINING HEIGHT TABLE W/ HOLE



Table Top	
Item Number	T12KPGS
Frame Type	Tubular Aluminum / MGP
Retail Warranty	3 years
Contract Warranty	3 years
Packaged Weight	30 lbs
Carton Cube	4.9 f3
UPS-able	No
Assembly Required	Yes
Pack Count	1

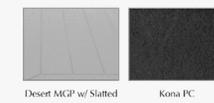


Table Base	
Item Number	2W5KLLG
Frame Type	Not Applicable / None
Retail Warranty	15 years
Contract Warranty	3 years
Overall Height	28.5 in
Packaged Weight	17 lbs
Carton Cube	2.6 f3
UPS-able	Yes
Assembly Required	Yes
Pack Count	1

www.TelescopeCasual.com

RATANA Sun Valley Stacking Arm Chair Aluminum
FN232125JA



Dimensions:

	Overall Height: 31.5", Seat Height: 17.5"
	Depth: 23"
	Width: 24"
	Arm Height: 26"
	Weight: 13 LBS

- Aluminum frame
- Stackable
- Table and chairs with adjustable legs
- Max Weight Load 350 LBS

Colors Available:
Safari Java

Living the Dream
www.ratanacontract.com

1.866.919.1881
sales@ratana.com



LAND/SEA INTERFACE
GENE DOUGHTY-ARCHITECT 1-805-772-8436

VAN BEURDEN HARBORWALK MODIFICATION & FACADE UPDATE
715 EMBARCADERO, MORRO BAY, CALIF.

ELEVATIONS

11-14-22
11-15-22
DRAWN: GD
SCALE: AS NOTED

SHEET
A2.1
OF 8 SHEET



EXISTING



PROPOSED



EXISTING



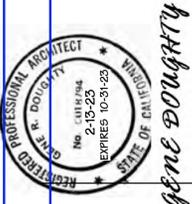
PROPOSED



EXISTING



PROPOSED



LAND/SEA INTERFACE
GENE DOUGHTY-ARCHITECT 1-805-772-8436

**VAN BEURDEN
HARBORWALK MODIFICATION
& FACADE UPDATE**

Paul Van Beurden
701 Embarcadero Road
Morro Bay, CA 93442

715 EMBARCADERO, MORRO BAY, CALIF.

PHOTOS

2-13-23

DRAWN: GD
SCALE: AS NOTED

SHEET
A2.1a
OF 8 SHEET

Project construction method: The project as proposed will utilize a spud barge or mobile barge as the platform for the wharf demolition and pile sleeving work. A vibratory hammer will be used for the pile installation to minimize underwater noise impacts to the greatest extent feasible.

Project construction documents and coordinator: A copy of the construction documents will be maintained in a conspicuous place on the job site at all times and available for public review on request.

Should any questions arise during construction, an address and phone number (available 24 hours a day) will be posted at the job site so that the contact information is readily visible from a public area. The construction coordinator shall record the name, phone number, and nature of all complaints received regarding the construction, and shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.

Project construction BMP's: The project as proposed includes the following safeguards, mitigation measures, actions, and procedures for the protection of the marine environment:

1. **Material Containment:** Particular care shall be exercised to prevent foreign materials (e.g. construction scraps, wood preservatives, other chemicals, etc.) from entering harbor or other state waters. Where additional wood preservatives must be applied to cut-wood surfaces, the materials, whenever feasible, shall be treated at an onshore location to preclude the possibility of spills into harbor or other state waters. A containment boom shall be placed around all active portions of a construction site where wood scraps or other floatable debris could enter the water. Also, for any work on or beneath fixed decks, heavy-duty mesh containment netting shall be maintained below all work areas where construction discards or other materials could fall into the water. The containment boom and net shall be cleared daily or as often as necessary to prevent accumulation of debris. Contractors shall insure that work crews are carefully briefed on the importance of observing the appropriate precautions and reporting any accidental spills. Construction contracts shall contain appropriate penalty provisions, sufficient to offset the cost of retrieving or cleaning up improperly contained foreign materials.

2. **Construction Plan:** All erosion control/water quality best management practices to be implemented during construction and their location shall be noted on the plan. Silt fences, or equivalent apparatus, shall be installed at the perimeter of the construction site to prevent construction-related runoff and/or sediment from entering into the Pacific Ocean to the maximum extent feasible. The Construction Plan shall, at a minimum, include the following required criteria specified via written notes on the Plan:

- a. All work shall take place during daylight hours. Lighting of the beach and water area is prohibited.
- b. All construction materials and equipment placed on the land during daylight construction hours shall be stored beyond the reach of tidal waters. The only exceptions shall be for: (1) erosion and sediment controls (e.g., a silt fence at the base of the piles) as necessary to contain runoff and/or sediments at the construction site, where such controls are placed as close to work area as possible, and minimized in their extent; and (2) storage of larger materials beyond the reach of tidal waters for which moving the materials each day would be extremely difficult.
- c. Construction (including but not limited to construction activities, and materials and/or equipment storage) is prohibited outside of the defined construction, staging, and storage areas.
- d. Equipment washing, refueling, and/or servicing shall not take place on the beach or pier.
- e. All materials shall be properly stored and contained so that these products will not spill or otherwise enter the coastal environment.
- f. Equipment washing, refueling, and/or servicing shall not take place over the water.
- g. The construction site shall maintain good construction site housekeeping controls and procedures (e.g., clean up all leaks, drips, and other spills immediately; keep materials covered

and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly, place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather; remove all construction debris from the beach).

h. The Coastal Commission's Central Coast District Office shall be notified at least 3 working days in advance of commencement of construction, and immediately upon completion of construction.

- 3. Contractors shall insure that work crews are carefully briefed on the importance of observing the appropriate precautions and reporting any accidental spills. Construction contracts shall contain appropriate penalty provisions, sufficient to offset the cost of retrieving or cleaning up improperly contained foreign materials.
- 4. All construction shall be undertaken in accordance with the approved Construction Plan. Any proposed changes to the approved Construction Plan shall be reported to the Coastal Commission Executive Director. No changes to the approved Construction Plan shall occur without a coastal development permit or waiver unless the Executive Director determines that no coastal development permit or waiver is necessary.

Project pile driving and wildlife: The project pile driving activities shall be monitored by a qualified monitor that has sufficient experience and qualifications of the U.S. Fish and Wildlife Service and National Marine Fisheries Service to ensure that impacts to marine mammals are avoided. The approved biological monitor shall be present onsite during piling sleeving construction (activity that requires monitoring with the exception of the epoxy jacket system), will keep a constant watch, and shall have the authority to stop the piling construction if any individuals of southern sea otter are seen within 100 feet of the project area and considered distressed.



LAND/SEA INTERFACE
GENE DOUGHTY-ARCHITECT
1-805-772-8436

**VAN BEURDEN
HARBORWALK MODIFICATION
& FACADE UPDATE**
715 EMBARCADERO, MORRO BAY, CALIF.

**BEST MANAGEMENT
PRACTICES**

11-14-22
DRAWN: GD
SCALE: AS NOTED

SHEET
A3.1
OF 8 SHEET

DATE: 01/04/2023
1st SUBMITTAL

APPLICATION No.: MAJ22-002
ADDRESS: 701/715 Embarcadero

BUILDING DIVISION CONDITIONS

A. CONDITIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:

- 1.) Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
- 2.) The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
- 3.) The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor, the building official. The structural observer shall submit to the building official a written statement that the visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
- 4.) The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official prior to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
- 5.) A soils investigation performed by a qualified professional shall be required for this project. All cut and fill shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
- 6.) Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
- 7.) BUILDING PERMIT APPLICATION: To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.
- 8.) The Title sheet of the plans shall include, but not limited to:
 - Street address, lot, block, track and Assessor Parcel Number
 - Occupancy Classification(s)
 - Construction Type
 - Maximum height of the building allowed and proposed

DATE: 01/04/2023
1st SUBMITTAL

APPLICATION No.: MAJ22-002
ADDRESS: 701/715 Embarcadero

- Floor area of the building(s)
- Fire sprinklers proposed or existing
- Minimum building setback allowed and proposed

All construction will conform to the 2019 California Building Code (CBC), 2019 California Residential Code (CRC), 2019 California Fire Code (IFC), 2019 California Mechanical Code (CMC), 2019 California Plumbing Code (CPC), 2019 California Electrical Code (CEC), 2019 California Energy Code, 2019 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

- 1.) SITE MAINTENANCE: During construction, the site shall be maintained to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained through the duration of the project. The storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.
- 2.) ARCHAEOLOGICAL MATERIALS: In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
- 3.) FOUNDATION SETBACK VERIFICATION: Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some lot types.
- 4.) BUILDING HEIGHT VERIFICATION: Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some site-specific projects.
- 5.) EXISTING BUILDINGS: Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the maximum sill height requirements of section

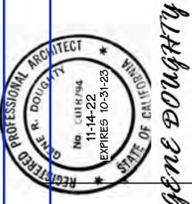
DATE: 01/04/2023
1st SUBMITTAL

APPLICATION No.: MAJ22-002
ADDRESS: 701/715 Embarcadero

R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2019 California Residential Code.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:

- 1.) Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.
- 2.) Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
- 3.) If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
- 4.) If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
- 5.) Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
- 6.) Final T-24 energy reports (Certificates of Installation).



LAND/SEA INTERFACE
GENE DOUGHTY-ARCHITECT 1-805-772-8436

**VAN BEURDEN
HARBORWALK MODIFICATION
& FACADE UPDATE**

Paul Van Beurden
701 Embarcadero Road
Morro Bay, CA 93442

715 EMBARCADERO, MORRO BAY, CALIF.

CITY CONDITIONS

2-116-23

DRAWN: GD
SCALE: AS NOTED

SHEET
A4

OF 8 SHEET