



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.*

**Regular Meeting -Tuesday, April 18, 2023  
Veteran's Memorial Building – 6:00 P.M.  
209 Surf Street, Morro Bay, CA**

Chairperson – William Roschen

Vice-Chairperson Mike Rodriguez  
Commissioner Asia King

Commissioner Joseph Ingraffia  
Commissioner Eric Meyer

## **Public Participation:**

*Remote public participation is allowed in the following ways:*

- *Community members may attend the meeting in person at the Morro Bay Veterans Hall*
- *Members of the public may watch the meeting and speak during the general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the "raise hand" feature to indicate your desire to provide public comment.*

*Please click the link below to join the webinar:*

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNWRWFUQT09>

*Password: 135692*

- *Or Telephone Attendee: 1 (408) 638-0968 or 1 (669) 900 6833 or 1 (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to "Raise Hand" for Public Comment*
- *Alternatively, members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Planning Commission at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) prior to the meeting. Agenda correspondence received at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) by 10 a.m. on the meeting day will be posted on the City website.*

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE/PLEDGE OF ALLEGEANCE  
PLANNING COMMISSIONER ANNOUNCEMENTS

## PUBLIC COMMENT

Members of the audience wishing to address the Planning Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Planning Commission at this time.

PRESENTATIONS

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.
- A-2** Approval of minutes from the Planning Commission meeting of March 21, 2023.  
**Staff Recommendation:** Approve minutes as submitted.
- A-3** Approval of minutes from the Planning Commission meeting of April 4, 2023.  
**Staff Recommendation:** Approve minutes as submitted.

B. PUBLIC HEARINGS

- B-1** **Case No.:** CDP21-039/CUP21-13  
**Site Location:** 545 Shasta Avenue, Morro Bay, CA  
**Proposal:** Coastal Development Permit and Conditional Use Permit request for modification and upgrade to existing T-Mobile wireless telecommunication site. Applicant proposes to remove existing telecommunication antenna equipment screened in an existing rooftop steeple and cross at St Peters Episcopal Church and construct a new 7' x 7' 25-foot-tall faux church bell tower for screening of upgraded wireless telecommunication antennas and associated equipment. The project also proposes an upgrade of associated equipment in the existing ground equipment cabinet located on the west side of the church parking lot. The project is located in the R-2 zone district and is outside of the Coastal Commission appeals jurisdiction.  
**CEQA Determination:** Categorically Exempt under Section 15303  
**Staff Recommendation:** Conditionally approve  
**Staff Contact:** Cindy Jacinth, Senior Planner, (805) 772-6577

C. NEW BUSINESS

D. UNFINISHED BUSINESS

- D-1** **Appointment of 2 Downtown Design District Planning Commission Subcommittee members.**  
City Council has authorized formation of a Planning Commission Downtown Design District ad hoc Subcommittee to address increased height in the downtown. This item does not have a staff report.  
**Staff Contact:** Scot Graham, Community Development Director, (805) 772-6291, [sgraham@morrobayca.gov](mailto:sgraham@morrobayca.gov)

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on May 2, 2023, at 6:00 p.m.

## **PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: [www.morrobayca.gov/planningcommission](http://www.morrobayca.gov/planningcommission) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morrobayca.gov/notifyme](http://www.morrobayca.gov/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

## **APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located with the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor, then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24

Planning Commission Meeting of April 18, 2023

hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay  
 Community Development Department  
 Current & Advanced Project Tracking Sheet  
 This tracking sheet shows the status of the work being processed by the Planning & Building Divisions  
 New Planning items or items recently updated are highlighted in yellow.  
 Approved projects are deleted on next version of log.

Agenda No: A-1  
 Meeting Date 4-18-2023

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
<b>Hearing or Action Ready Projects:</b>											
2	T-Mobile/ Siegel	545	Shasta	10/12/21	CUP21-13/ CDP21-039	<b>T-Mobile modification to existing facility approved under UP0-162/CP0-229. T-Mobile proposes to remove/replace and relocate existing wireless facility screened within existing church steeple and construct new 25'0" faux bell tower for relocated wireless facility and upgrade to existing ground equipment cabinet.</b>	Under review. Project deemed incomplete 11-8-21. Resubmitted 8/25/22. Under review. Deemed incomplete and response letter sent 9/22/22. Resubmittal received 1/11/23. Incomplete letter sent 1/26. Resubmittal received 3/20/23 and 4/3/23. Project deemed complete and scheduled for PC hearing on 4/18/23.	BLDG. - Approved 10/20/21 CO			cj
3	Green	1175	Scott Street	6/28/21	CDP21-025 CUP21-07	<b>New construction of 3 hotel units including one ADA unit and a residential security unit</b>	Review comments provided on July 21, 2021. Requires a resubmittal for review. Discussed project with applicant, expected to have resubmittal ready in November 2021. Applicant is reviewing alternative designs for the project, staff provided input on 2/14/22. Resubmittal received October 25, 2022 - reviewing under both zoning codes. The project was redesigned to include only one hotel unit and one residential unit. Planning disapproved and letter was sent to applicant on November 18, 2022, requires a resubmittal. Meeting with applicant to review planning comments on Dec. 13, 2022. Applicant to revise plans and resubmit. Resubmittal received 12/19/22. Project deemed complete on 12/27/22. Applicant is required to submit an additional study prior to scheduling planning commission hearing. Additional study received, project needs to resubmit to address PW comments prior to moving forward to hearings. Resubmittal received 3/23/23, under review. Project conditionally approved by public works, scheduled for Planning Commission hearing on May 16, 2023.	BLDG. - Approved 12/21/22 CO			nh
4	Smartlink/ AT&T	590	Morro Ave	12/5/2022	M AJ22-001	<b>Permit amendment for proposed modifications to existing AT&amp;T rooftop cell site</b>	Under review. Incomplete letter sent 12/15/22. Resubmitted 1/31. Project deemed complete and scheduled for PC hearing on 5/16/23.	BLDG. - 12/8/22 CO			cj
<b>30 -Day Review, Incomplete or Additional Submittal Review Projects:</b>											
5	Jeffrey Boges	640	King	3/30/2023	CDP23-006	New detached 908sf ADU with attached to a 720sf garage below.	Under review	BLDG. - Disapproved CO			gc/st
6	Newman	961	Balboa	3/27/23	CDP 23-005	<b>Admin CDP for a new 2058 sf house with an attached 409 sf garage and 185 sf storage space with a 450 sf ADU .</b>	Under review.	BLDG. - Approved 4/10/23 CO			st/cj
7	Palmer	515	Bernardo	3/9/2023	CDP23-004	Remodel and addition to existing 2,172 sf SFR and an interior studio ADU	Incomplete letter sent March 28, 2023	BLDG. - Disapproved 3/15/23			gc
8	Gillen	495	Embarcadero	3/7/2023	CUP23-04	Conceptual Review (no application) of potential redevelopment of city lease site at 495 Embarcadero as a mixed use development of hotel, restaurant, and retail uses.	Under review.	BLDG. - COND Approved CO			cj
9	Patel	646	Sequoia Court	2/21/2023	MIN23-001 (requires CUP)	Proposed new home with 4803 sf of living space and a 1493 sf garage/shop area. The site is 24,723 sf and is just outside of the coastal zone.	Planning comments provided March 9, 2023. Resubmittal received March 27, 2023 and is under review.	BLDG. - Approved 3/2/23 CO			nh
10	Nance	595	Morro Bay	2/7/2023	CDP23-003	Admin CDP for installation of one solar carport located in the existing Chase Bank parking lot.	Under review, incomplete letter sent 2/28/23	BLDG. - 2/16/23 CO			gc
11	McDonald	300	Sicily St	1/31/2023	CDP23-002	New 2155 s.f. SFR w/ attached 284 s.f. garage and 409 s.f. decking on a vacant lot .	Incomplete letter sent 3/13/2023	BLDG. - Approved 2/10/23 CO			gc
12	Salbi	450	Marina	12/19/2022	CDP22-043	<b>Admin CDP for two story single family home with garage and Accessory Dwelling Unit</b>	Incomplete letter sent January 13th, resub on 2/7/23, under review, incomplete letter sent 3/2/23, resubmit 3/27/23, incomplete letter sent 4/10/23.	BLDG. - Approved 3/2/23 CO			gc
13	Bradley	2285	Emerald Circle	12/5/2022	CDP22-041 / CUP22-12	<b>CDP and CUP for new construction of a 2,368sf one story single family home and 2 car garage on a vacant lot in the Cloisters subdivision.</b>	Incomplete letter sent 1-5-2023, resubmit 3/30/23, under review and waiting for other required documents.	BLDG. - Approved 12/8/22 CO			gc
14	Patel	1050	Morro Ave	11/17/2022	CUP22-10/ CDP22-039	Remodel existing hotel and add second floor with kitchen and hotel dining area, plus other guest amenities. Increase from 16 rooms to 27 rooms.	Under Review. Comments provided Dec 12, 2022, requires a resubmittal. Applicant is addressing parking issues included in the PW comment letter. Project resubmitted on February 8, 2023, Planning ready to deem complete, needs resubmittal to address storm water requirements, comment letter sent 3/8/23. Public works provided additional correction comments on March 27, 2023. Planning deemed complete on April 9, 2023, still requires resubmittal to address the PW comment. Project will then be on hold waiting for CCC certification of the new zoning code.	BLDG. - COND Approved CO			nh
15	Agular	351	Panay	11/2/2022	CDP22-036	Demo existing one story 849sf SFR to build a two story 1,926sf SFR with a 226sf garage and a 280sf roof deck.	Under Review, Incomplete letter sent on 12/15/22, resubmittal 2/16/23, under review, incomplete letter sent 3/2/23, Resubmit 3/30/23.	BLDG. - Approved 3/2/23 CO			gc
16	Gonzalez	590	Radcliff	10/25/2022	CDP22-034	<b>Admin CDP for a new 1,956 two story SFR with a 522sf attached garage and 640sf second story deck.</b>	Under review. Planning disapproved and incomplete letter sent on 11/22.	BLDG. - Approved 10/27/22 CO			gc/st

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
17	Hsiao	205	Harbor St.	9/20/2022	LTM22-02	Lot merger application for underlying lot lines per approved planning permit for 6 unit hotel	Under review. Correction letter sent 11/21/22.. Lot merger certificates finalized and waiting on signatures 3/20/23.	NA			cj
18	MSA Architects	2417	Greenwood Ave.	8/24/2022	CDP22-030	Admin CDP to develop a new 562 detached ADU	Incomplete letter sent on 9/12/22, resubmittal on 10/26, under review, minor edits request on 11/17	BLDG. - Approved 8/25/22 CO			gc
19	Shepler	2181	Sumset Ave	8/24/2022	CDP22-029	CDP Application for a new third dwelling and one ADU on a property with two existing homes	Comment letter sent on 9-5-22. Resubmittal received 10/24/22, planning requires minor changes and sent letter November 10, 2022. Requires resubmittal.	BLDG. - Approved 8/25/22 CO			nh
20	Messer	550	Kern	8/11/2022	CDP22-027	CDP for new construction of a two story 2,411sf SFR with a 565sf garage and 1,000sf attached ADU.	Under review, Incomplete letter sent 8/31, Resubmittal on 11/16, Under review, second Incomplete letter sent 12/13/22, resubmittal on 1/09/22, minor edits request on 1/27/23, resubmittal 1/31/23, under review, minor edits request on 1/20 resubmittal on 1/31/23. Request that plans be revised to meet parking requirements 3/7/23.	BLDG. - COND Approved CO			gc
21	Kersten	1358	Prescott	7/27/2022	CDP22-024	Admin CDP for partial conversion of an existing (522sf) attached garage into a single story 276sf ADU.	Incomplete letter sent on 08/09/22	BLDG. - Approved 8/9/22 CO			gc
22	California Coastal Inves	801	Embarcadero	6/28/2022	CUP22-09	Concept/Precise Plan CUP for mixed-use redevelopment of the Libertine Brewing Co. building to convert existing second floor to 7 hotel units and first floor as mix of restaurant, coffee shop, outdoor dining, provision of new public access improvements including extension of Harborwalk	Under review. Incomplete letter sent 7/27/22. Resubmitted 1/27. Corrections letter sent 3/17/23	BLDG. - Disapproved 2/10/23 CO			cj
23	McDonald	471	Panay	6/1/2022	CDP22-019	Admin CDP for the new construction of a two story residence	Incomplete Letter Sent 6/14	BLDG. - Approved 6/14/22 CO			gc
24	Vanderbyl	531	Yerba Buena	4/20/22	CDP22-015	Admin CDP for shed conversion into 468 sf ADU	Correction Letter sent 5/12/22. Resubmittal received 7/21/22 - review comments sent on August 6, 2022, requires resubmittal. Resubmittal received and planning and building disapproved based on fire/life/safety issues. Resubmittal required.	BLDG. - COND Approved 5/11/22 CO			nh
25	Hartman	320	Orcas St	4/14/22	CUP22-07/ CDP22-010	New SFR with attached garage to replace home destroyed in fire	Correction letter sent 5/1/22. Resubmittal received March 28, 2023. Planning comments sent on April 10, 2023, project requires resubmittal with changes.	BLDG. - Approved 3/30/23 CO			nh
26	Jasso	2515	Greenwood	2/22/22	CDP22-006	Admin CDP for new SFR with 2 car garage and detached ADU	Comment Letter Sent 3/17/22. Project resubmittal received 3/15/23 - comment letter sent on 3/27/23. Resubmittal received 3/30/23, under review.	BLDG. - COND Approved 2/24/22 CO			nh
27	Luhr	1140	Allesandro Ave	1/20/22	CUP22-06 / CDP22-004/ TTM22-04	Live/work mixed use, new construction of 5 residential units and 2 commercial units	Comment letter provided 2/13/22. Project deemed complete - processing will continue once Vesting Tentative Map submittal is complete. Vesting map submittal received May 12, 2022. Planning sent comment letter on 5/28/22, requires resubmittal. Resubmittal received with tentative tract map submittal on August 9, 2022, under review. PW disapproved the VTM, comment sent to applicant on 9-17-22, requires a resubmittal of the VTM. Applicant working with Public Works on some design issues in the public right of way. Once resolved, resubmittal required with any changes.	BLDG. - Approved 2/14/22 CO			nh
28	Morro 94 LLC	3300	Panorama	1/18/22	CUP 22-05/CDP22-003/TTM22-02	Submittal of combined concept and precise plan review for 61 unit subdivision. Project revised to 48 total housing units.	Received and under review. Notify Me account set up to provide information and publically available documents on the project. Subdivision Review committee meeting scheduled. Project comment letter sent 2/18/22, requires resubmittal and environmental review. Planning consultant team is preparing to hold a neighborhood meeting April 20, 2022 at Del Mar Elementary School at 6pm. City working with selected environmental consultant on contract and owner reimbursement agreements. TTM resubmittal received October 10, 2022, under review. Tentative Tract Map disapproved on November 2, 2022. REquires resubmittal with the CUP/CDP plans in order to be processed together. Environmental review is under contract and work has commenced. Anticipate process to take 6-9 months to complete. Expect resubmittal in a few weeks and will schedule for Conceptual Review at Planning Commission.	BLDG. - Approved 2/14/22 CO			nh
29	Romero	563	Zanzibar	12/6/21	CDP21-048	Admin CDP for new 1978sf 2 story SFR with 533 sf garage and 2nd level 128sf deck	Incomplete letter sent 12/22/2021, Resubmittal 7/28, under review, resub on 12/21/22, request edits on 1/19/23.	BLDG. Approved 12/15/21 CO			gc
30	Morro Bay LLC (Keller)	1108	Front Steet	11/8/21	MAJ21-007	Major Modification permit for Expansion and extensive remodel of second floor short term rental unit.	Planning comments sent 11/23/21, requires resubmittal. Applicant may put this application on hold until the adoption of the new zoning code (i.e. includes street setbacks closer to the actual placement of the building) (needs the IP sections to be final via CCC approval)	BLDG. - Approved 11/17/21 CO			nh
31	Guesno	220	Atascadero Rd	10/4/21	MIN21-012	Minor Amendment - Change temporary outdoor dining area to permanent outdoor dining	Application will apply for a TUP for outdoor dining. This application is on hold until certification of new zoning code	NA			nh
32	Vistra	1290	Embarcadero	12/28/20	CDP20-026 & CUP20-14	Battery Energy Storage System (BESS) - New proposed project to construct 600MW BESS on old tank farm north of existing Morro Bay Power Plant. BESS to be constructed as 3 separate buildings, 30 feet in height plus 10 feet of screening for rooftop equipment.	Under initial review. Project deemed incomplete and incomplete letter sent 1-21-2021. Applicant resubmittal received 2-17-2021 and under review currently. Project deemed complete for processing on 2/23/2021. Project plans and documents being evaluated. Environmental review process in progress. NOP released and two scoping meetings held on 6/21/22 and 6/29/22. Master Plan community workshop scheduled for 9/14/22. Environmental review still in process.	BLDG. - Approved 3/11/21 CO			cj

Projects Appealed to Planning Commission or PC Continued projects - none

Projects Appealed or Forwarded to City Council

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
33	Murphy	2440	Laurel Ave	8/1/22	CDP22-025	Demo existing home and new construction of a new 3037 sf home with a 1198 sf garage/shop on a 4000 sf parcel. Admin CDP with CEQA Historic Evaluation report required.	Incomplete letter sent on 8/23/22. Project resubmittal received on 10/24/22 and comment letter sent on 11/2/22 with minor corrections required. Project deemed complete, public notice period from November 22, 2022 to December 5, 2022. Administrative decision on permit on December 6, 2022. Permit issued Dec 10, 2022. Project was appealed to Planning Commission - hearing on February 7, 2023. PC denied the appeal, and approved the project with added conditions. Project appealed by Metzger and the applicant, scheduled for City Council April 11, 2023.	BLDG. - Approved 8/9/22 CO			nh
<b>Environmental Review - none</b>											
<b>Final Map Under Review Projects:</b>											
34	Huber	2783	Coral Ave	8/30/22	TTM22-03	5 unit residential subdivision	Planning approved, forwarded to PW.	BLDG. - Approved 4/14/22 CO			nh
<b>Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing: - none</b>											
<b>Grants</b>											
35	California Coastal Commission, California Ocean Protection Council		City-wide	4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation. Round 6 funding of \$65,000 received Mar 2020.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17. Additional LCP grant funding received in 2020 under Round 6 for \$65,000 to complete LCP update. Zoning Code/Implementation Plan adopted by Council on 11/22/22 as part of LCP update. LCP amendment submitted to Coastal Commission on 12/12/2022. Final grant reporting info completed and sent to Coastal 3/2023.	No review performed.	N/A		sg/cj
36	City of Morro Bay		City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. City Council approved Cooperation Agreement for 2021-2023 CDBG Program Years at 5/26/20 Council meeting. Notice of Funding Availability for 2023 Program Year released fall 2022. Council draft recommendations considered 12/22 and final funding recommendations to be on 3-28-2023 to forward to County Board of Supervisors for inclusion in their Annual Action Plan 4/18/23. cj	No review performed.	N/R		cj
37	City of Morro Bay		City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
<b>Projects in Building Plan Check:</b>											
38	Castillo	1055	Allesandro St.	6/3/2021	B21-0097	250 sf addition to rear of existing SFR, addition creates two bedrooms and one full bath.	Planning disapproved 7/2/21. Resubmittal received 7/25/22. Resubmittal disapproved 8/01/22.	Bldg. - Disapproved 3/21/23			sg
39	Castillo	1055	Allesandro St.	7/25/2022	B22-0158	Jr. Accessory Dwelling Unit (JADU) - Existing bedroom in primary dwelling will be converted to JADU.	Planning disapproved 8/1/22	Bldg. - Disapproved 3/27/23			gc
40	Conway	305	Arbutus	1/4/2023	B22-0269	DIGEPLAN - 390 sf addition, expanding lower level family room and 2nd level primary bedroom & bath, the remodel includes kitchen and relocating two bathrooms to accommodate the installation of new elevator. The addition creates a 2nd level 378 sf rear deck.	Planning disapproved 1/26/23. st Waiting on resubmittal	Bldg. - Disapproved 1/25/23			st
40	Hibbard	990	Balboa	2/17/2023	B23-0028	DIGEPLAN - Kitchen and Bathroom remodel and new FAU installation in an existing 1329 sf SFR	Approved 2/23/23. st.	Bldg. - Disapproved 3/9/23			st
41	Goldstein	186	Bayshore Dr.	11/4/20	B20-0190	Remodel kitchen, dining & living area.	Planning disapproved 11-6-20	Bldg. - Approved 11/09/20			sg
42	Carter	2035	Bayview Ave.	8/5/21	B21-0135	New SFR, 1980 sf living, with 483 sf attached garage, 96 sf covered deck, 267 sf covered rear patio and 32 sf covered front porch.	Disapproved 8-26-21. am	Bldg. Disapproved 9/21/21			cj
43	Perry	3202	Beachcomber Dr	2/9/23	B22-0264	Demo existing, new construction of 2567 sf home iwth a 2424 sf subterranean garage on lower level and 963 sf roof deck. Home to be located on newly configured parcel (requires final TM)	Planning disapproved 2/19/23. nh	Bldg. - Disapproved 3/6/23			nh
44	Perry	3230	Beachcomber Dr	2/9/23	B22-0265	New SFR on new parcel. Home is 1816 sf with a 471 sf garage and a roof deck.	Planning disapproved 2/19/23. nh	Bldg. - Disapproved 3/6/23			nh
45	Segovia	2824	Birch Ave.	3/21/22	B22-0057	Cover patio, conversion to sunroom.	Disapproved 4/1/22	Bldg. - Approved 3/24/22			am

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
46	Dillard	1256	Bolton	3/30/22	B22-0072	Convert Unfinished Underfloor Space in 986 sf of conditioned livable space	Disapproved 4/7/22. Resubmittal approved 7/29/22.	Ready to issue			am
47	Berner	2750	Dogwood Ave.	12/6/22	B22-0260	Add 235 sq of conditioned space, including a new bathroom, additions to bedroom and utility room, 297 sf, roof deck, spiral stair, ground floor deck (136 sf), less than 30" above existing adjacent grade.	Planning approved 2/28/23. st	Bldg. - Approved 3/2/23			st
48	Robinson	2940	Dogwood Ave.	7/12/22	B22-0148	Install (2) bay windows, replacing (2) windows of smaller dimension on W facing front of house. Living Room: replace 5'x5' window w/ 50"x81" bay window. Bedroom: replace 32"x44" window w/ 50"x81" window.	Planning disapproved 7/19/22	Bldg. Conditionally Approved 7/18/22			cj
49	Davison	209	Dunes	2/21/23	B23-0040	DIGEPLAN - Interior Remodel, kitchen, fireplace, flooring.	Planning approved 3/2/23. st	Bldg. - Approved 3/27/23			st
50	Ciano	115	Easter St	1/11/23	B22-0283	DIGEPLAN: Interior remodel of existing ADU, relocate bedroom and kitchen/dinning and living area (reverse locations). Replace windows, doors, add skylights, wall mounted radiator, tankless water heater and other MEP.	Planning approved 2/2/23. st	Bldg. Disapproved 2/10/23			st
51	Gambrill	571	Embarcadero	2/22/22	B22-0035	Conversion of 839sf office space into 1 vacation rental unit. Extension of harborwalk and replacement of existing gangway and boatdocks.	Disapproved 3-8-21. Disapproved resubmittal 6-2-22. new resubmittal received 9/1/22 under review. Disapproved 10/3/22. Approved 1/20/23. cj	Ready to issue			cj
52	Redican	725	Embarcadero	3/14/22	B22-0049	The project consists of a 608 SF interior remodel of the existing arcade retail space into an extension of the commercial kitchen prep area. All work is exclusive to the interior of the lower level with no impacts to the site, exterior elevation or occupant circulation of the existing building.	Disapproved 3-17-22. Resubmittal received 6-23-22 and conditionally approved 8/25/22	Ready to issue			cj
53	TLC Family Enterprises	833	Embarcadero	3/16/22	B22-0052	Addendum #1 to B20-0220 - Removal of parapet wall which requires removing steel post below and show railing on upper level. Revert back to cantilevered floor joists for hotel access walkway upstairs.	Disapproved 3-21-22	Bldg. - Disapproved 4/18/22			cj
55	Guldenbrein	481	Estero Ave	1/5/23	B23-0003	New fencing & retaining walls, exterior electrical grading & catch basin installation w/pump in front yard. (see plans)	Disapproved 1/19/23	Bldg. - Disapproved 1/18/23			st
56	Godfrey	396	Hill St.	12/7/22	B22-0261	Addendum #2 to B21-0045 Relocate hold down along grid 1 at basement	Ready to issue	Ready to issue			
57	Wilkie	476-A	Hill St.	3/26/20	B20-0057	ATTACHED ADU - Convert existing attached garage to 344 sf Accessory Dwelling Unit.	Correction letter sent 4/30/20.	Bldg. - Approved 4/8/22			nh
58		2990	Ironwood Ave	3/2/23	B22-0285	DIGEPLAN - New three story SFR - 3799 sf living, 926 sf attached garage, with 2nd and 3rd floor decks totaling 210 sf, 562 sf covered patios and 535 sf under floor storage area.	Disapproved 3/9/23	BLDG. - Disapproved 3/27/23			GC
59	Lent	194	Island St	1/10/23	B23-0006	Remodel existing bonus room and portion of garage to ADU, construct new rooftop deck over portion of remodel/converted ADU.	Resubmittal needed	Bldg. - Disapproved 2/9/23			nh
60	Johnston	2781	Juniper Ave.	6/2/21	B21-0094	New 463 sf 2nd story deck at rear of existing SFR, also replace five existing windows with three new sliding glass doors.	planning disapproved 6/3/21. Planning approved resubmittal 7-20-21.	Ready to issue			sg
61	Cook	2941	Juniper	10/26/22	B22-0243	Demo unpermitted studio at lowest level of existing SFR and convert that space with additional underfloor space to create new workout area, bathroom, theatre, storage, and stairs to access upper levels adding aprox. 906 sf to SFR.	Planning approved 10/31/22	Ready to issue			SG
62	Tarver	671	Kern Ave	12/22/22	B22-0271	DIGEPLAN: New 255 SF attached Accessroy Dwelling Unit (ADU)	Planning resubmittal approved 4/5/23	Bldg - Approved 3/28/23			gc
63	Cia	2551	Koa Ave.	2/23/22	B22-0038	New 3 bed 2.5 bath SFR w/attached 2-car garage.	Planning Approved resubmittal 6/28	Ready to issue			gc
64	Daniels	964	Las Tunas St.	8/3/21	B21-0133	Remodel the laundry room & add a bedroom, bathroom & hallway to the back of existing home in phase I. Phase 2, build a detached garage	Planning approved 5-12-22	Bldg. - Approved 5/16/21			sg
65	Castro	979	Las Tunas St.	1/19/23	B23-0013	Conversion of existing detached garage & work shop to ADU - 642 sf, no addition.	Planning approved 2/1/23. gc.	Bldg. - Disapprove 2/10/23			gc

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
66	Hansen	2485	Laurel	3/27/23	B23-0058	Repair fire damage to attached garage, kitchen & utilities room.	Planning approved 4/10/23	Plancheck			SG
67	Drenick	2530	Laurel Ave.	9/22/21	B21-0174	Reconstruction of 560 sf two-car garage, garage foundation and 560 sf rooftop deck over garage. See permit B21-0141 for separate demolition permit for these structures.	Disapproved and Correction Letter sent 10/5/21. Planning approved 7/27/22	Bldg. - Approved 8/4/22			am
68	Kevorkian	2615	Laurel Ave.	1/10/23	B23-0005	Addendum #1 to B22-0183, Change the deck configuration to reduce square foot to below existing square foot.	Planning disapproved and sent incomplete comment letter on 1/27/23.	Bldg. - Approved 1/17/23			gc
69	Elliott	2620	Laurel Ave.	4/14/22	B22-0082	New SFR 2.5 story with attached garage.	Planning disapproved 4/16/22. Resubmittal disapproved 6/25/22. Planning approved 7/21/22	Ready to issue			nh
70	Novell/Johnson	273	Main	2/23/23	B23-0038	DIGEPLAN - 73 sf stairway addition to existing home to create interior connection between the upper and lower floors.	Planning disapproved 3/6/23. Waiting on resubmittal. Cj	BLDG. - Disapproved 3/2/23			cj
71	Grannell	325	Main	3/30/23	B23-0067	Reconstruct 77sf bathroom due to storm damage from fallen tree.	Planning approved 4/10.	Plancheck			sg
72	Kleckner	515	Main	2/21/23	B23-0036	DIGEPLAN - Demolish residential structure that was started without building permit, slab to remain.	Planning approved 2/22. gc	Bldg. - Approved 2/21/23			gc
73	Peter	890	Main	3/7/23	B23-0043	DIGEPLAN -Remodel 990 sf one story commercial building, includes new floor and wall finishes, new furred wall, ADA improvements to restroom, one doorway, and new light fixtures. New ADA parking isle and space.	Planning approved 3/14.	BLDG. - Disapproved 4/10			sg
74	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg. - Approved 2/27/19	Disapproved on 4/15/19		sg
75	Sonic	1840	Main St.	10/17/17	B-	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension. Planning permit extension requested and granted to allow new permit expiration of April 2021. Emailed applicant 3-19-2021 advising them of permit expiration date and extension opportunities. No recent activity. Planning permit expires 4/18/2023.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj
76	CenCal Enterprise, INC	2030	Main St.	9/21/22	B22-0232	The scope of work has changed. Applicant is now proposing to convert an existng space into an office space, and staff is awaiting the withdrawal of MIN22-005 to proceed with the Building Permit review process.	Planning approved 1/11/23	Bldg. - Disapproved 11/15/22			gc
77	Timothy and Allyson Cleath Family Trust	2790	Main St	11/8/22	B22-0248	Addendum to B22-0106, Modification to drain collection for parking lot. Sheets C-3 and C-4 revised. No change in flow to the bioswale per attached statement from civil engineer.	Approved 11-10-22. nh	Bldg - Approved 11/8/22			nh
78	Hauser	311	Mindoro St	1/3/23	B23-0001	Remove existing second floor cantilevered deck (615 sf), replace with (187 sf) deck.	Planning approved 2/3/23	Bldg. - Ready to issue			sg
79	JP Morgan Chase Bank	595	Morro Bay Blvd.	3/31/22	B22-0060	Installation of one solar carport, 99' 3 1/16" X 16' 7 3/8", with 15 modules, wall mounted PV equipment and four carport mounted lights, located in the existing Chase Bank parking lot.	disapproved 4/7/22	Bldg. - Disapproved 5/17/22			am
80	Orrom Properties	840	Napa	3/21/23	B23-0057	Interior renovation, replace windows, doors, electrical.	Planning approved 3/24/23	Bldg. - Approved 3/27/23			sg

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
81	Orrom Properties	860	Napa	3/29/23	B23-0066	New reconfigured exterior stairs and landing to replace existing, remove wood side, replace w/ stucco, new trash enclosure under stairs. Interior work consists of electrical, mechanical, range hood vent, and replace window for egress.	Planning approved 4/10/23	Plancheck			sg
82	Mollaghaffari & Hawes	427	Oahu St.	5/5/22	B22-0087	New 2nd floor single family residence, 1048 sf living, with a 258 sf 2nd story deck, and 255 sf single car garage. (The garage and an ADU make up the 1st floor level, see permit B22-0088 for attached ADU).	Planning disapproved 5-12-22	Ready to issue			nh
83	Mollaghaffari & Hawes	427-A	Oahu St.	5/5/22	B22-0088	Attached ADU - 702 sf Accessory Dwelling Unit.	Planning disapproved 5-12-22/ Planning approved 1/20/23	Ready to issue			nh
84	Dowty	580	Olive	3/7/23	B23-0049	Removal of an existing 461 sf detached garage and construction of a new 1051 sf ADU.	Planning disapproved 4/4/23	BLDG. - Disaporved 3/30/23			st
85	Currey	154	Orcas St.	3/23/22	B22-0062	Remodel & additions to kitchen, entry, & masterbedroom.	Disapproved 4/11/22	Bldg. - Approved 12/1/22			gc
86	Currey	154-A	Orcas St	3/23/22	B22-0063	171 sf addition as an ADU	Disapproved 4-11-22	Bldg. - Approved 12/1/22			sg
87		965	Pelican	2/27/23	B23-0044	Addition to existing bathroom for a shower, 42 sf. Also reconfiguring existing bathroom.	Planning disapproved 3/2/23	BLDG. - Approved 3/2/23			st
88	Appel	400-A	Pico St	8/18/21	B21-0149	Convert existing garage to an ADU without changing the footprint of the garage.	Approved 8/25/21	Bldg. Disapproved 9/10/21			am
89	Lee	684	Piney Way	9/10/20	B20-0168	Demo existing detached 416 sf work shed with bathroom & reconstruct new 416 sf garage/shop with electrical, keeping existing bathroom on existing slab/foundation.	Planning disapproved 9/15/20. Requires a Admin CDP and Parking Exception prior to review and approval of the building permit. Planning disapproved resubmittal 2/24/21.	Bldg. - Disapproved 3/1/21			nh
90	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and assoicated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2") with associated electrical wiring.	Approved 9/26/19.	Ready to issue			cj
91	Macias/Mudge	153	Rennell	11/9/22	B22-0249	Construct new 1-story SF residence with 1,478 sf living area and 441 sf attached 2-car garage. There will be a 225 sf covered porch and 295 sf roof deck.	Planning disapproved 2/22/23	Bldg - Approved 2/23/23			gc
92	Nagy	646	Sequoia Ct.	4/20/22	B22-0085	New 2-story SFR, 3513 sf living, 1220 attached basement level garage, and 1156 sf covered patio.	Planning disapproved - project needs resubmittal to include conditions of approval and more detailed lanscape plan. Planning approved July 5, 2022.	Ready to issue			nh
93	Hanton	425	Shasta Ave	1/17/23	B23-0004	DIGEPLAN - Enclose the current breezeway to create a new 90 sf entry, a 350 sf addition creating a primary suite and bathroom, also create a valuted space in the existing garage by removing roof and replace with new composition roof.	Planning disapproved 2/16/23	Bldg. Disapproved 2/14/23			gc
94	Parker	580	Shasta Ave	8/31/20	B20-0159	Add new detached garage	Planning under review. Planning disapproved 9/8/20. Need resubmittal	Bldg. - Disapproved 9/14/20			nh
95		242	Surf St	2/23/23	B22-0282	DIGEPLAN - Demo existing 340 sf detached non-conforming garage and construct new 232 sf conforming garage with new 380 sf Accessory Dwelling Unit (ADU) atop and along side of new garage.	Planning disapprove 3/17/23	BLDG. - Disaapproved 3/27/23			NH

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
96	Morro Rock	311-A	Tahiti	10/26/22	B22-0245	Addendum #1 to B22-0125 - Replace existing framed roof with pre-fab trusses.	Ready to issue	Ready to issue			
97	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane,, new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal. Permit application expired	Bldg. - Approved 3/27/19			wu
98	Regan	429	Tulare Ave.	5/27/22	B22-0106	531 sf second floor addition that includes a study and bathroom, stairwell and a 200 sf second story deck.	Planning Approved 6/7	Ready to issue			gc
99	Morro Bay Ventures	201	Verdon Ct.	1/4/23	B22-0273	DIGEPLAN - New single story, single-family residence, 2,361 sf living, with 483 sf covered porch and a 450 sf attached garage.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
100	Morro Bay Ventures	202	Verdon Ct.	1/4/23	B22-0277	DIGEPLAN - New single story, single-family residence, 2,361 sf living, with 483 sf covered porch and a 450 sf attached garage.	Planning disapproved 2/2/23	Bldg. - Disapproved 2/3/23			nh
101	Morro Bay Ventures	205	Verdon Ct.	1/4/23	B22-0274	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. See permit B22-0279 for attached ADU.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
102	Morro Bay Ventures	205-A	Verdon Ct.	1/4/23	B22-0279	DIGEPLAN - New 517 sf attached Accessory Dwelling Unit (ADU). See permit B22-0274 for new SFR.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
103	Morro Bay Ventures	206	Verdon Ct.	1/4/23	B22-0276	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
104	Morro Bay Ventures	210	Verdon Ct.	1/4/23	B22-0275	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. See permit B22-0280 for attached ADU.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
105	Morro Bay Ventures	210-A	Verdon Ct.	1/4/23	B22-0280	DIGEPLAN - New 517 sf attached Accessory Dwelling Unit (ADU) - See permit B22-0275 for new SFR.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
<b>Planning Projects &amp; Permits with Final Action:</b>											
1	Steiner	301-390	Seashell Cove	4/19/21	CUP23-05 (MAJ21-02 previously)	Concept Review of potential 37 units multi-family development on 10 vacant properties (4.7 acres) at Seashell Cove and Theresa Road.	Conceptual Review of plans showing a future multi-family development as part of future request for land use and zoning change needed to accommodate multi-family housing. PC discussed the conceptual plans on 4/4/23 and provided feedback to applicant for use with a future development application.	BLDG. - COND Approved 4/4/23 CO			cj
106	Bean	197	Main Street (formerly known as 199 Sandpiper)	12/19/19	CUP19-20, CDP19-04, VAR20-001	CUP/CDP for new home on triangular small parcel on the bluff. Proposed home is 526 sf 2-stories with access easement to Main Street	Project deemed incomplete, comment letter sent January 7, 2020. Resubmittal received 10/26/20 adding a variance request, under review. Incomplete, need resubmittal. Resubmittal received September 14, 2021, under review. Incomplete letter sent on Oct 4, 2021. Resubmittal received 10/29/21. Planning comment letter sent November 10, 2021, requires resubmittal. Project deemed complete and scheduled for planning commission on May 17, 2022. Planning Commission denied the project, and the owner has appealed. Scheduled for City Council, August 23, 2022 at the request of the applicant. City council upheld the appeal and approved the project. Project appealed to California Coastal Commission, pending review.	BLDG. - Approved 12/20/19 CO			nh
107	Orgill	3009	Beachcomber	7/19/22	CDP22-023	Demo of existing home that is structurally unsound, and rebuild new 3335 sf home with a 715 sf garage/trash area . Existing home was the Jim Maul residence.	Comments sent August 6, 2022, requires resubmittal and will require updated Architectural Historic Resource review based on the new plan and the structural report. Resubmittal received October 20, 2022, project was deemed complete November 2, 2022. Scheduled for Planning Commission hearing on December 20, 2022. Public notice to begin on December 9th, 2022. PC continued hearing to January 17, 2023. Project approved by PC on January 17, 2023, permit issued. Project appealed on January 25, 2023, but appears to be a concern around an issue unrelated to the subject property. Appeal determined to be unrelated to the project and was rejected. Project is approved with valid permit. Project appealed to Coastal Commission, pending CCC review and determination.	BLDG. - Approved 8/3/22 CO			nh

#	Applicant/ Property Owner		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Staff Directory:										
Scot Graham - sg	Chad Ouimet - co		Cindy Jacinth - cj	Pam Newman - pn	Nancy Hubbard - nh	Gabby Cortez - gc				Susana Toner - st

AGENDA ITEM:     A-2    

DATE:   04/18/2023  

ACTION:                     

ACTION MINUTES – MORRO BAY PLANNING COMMISSION  
REGULAR MEETING – MARCH 21, 2023  
VETERANS MEMORIAL BUILDING – 6:00 PM

PRESENT:	Bill Roschen	Chairperson
	Mike Rodriguez	Vice-Chairperson
	Joe Ingraffia	Commissioner
	Asia King	Commissioner
	Eric Meyer	Commissioner

STAFF:	Scot Graham	Community Development Director
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ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE

<https://youtu.be/41hQqiTruVw?t=138>

PLANNING COMMISSIONER ANNOUNCEMENTS

<https://youtu.be/41hQqiTruVw?t=202>

Commissioner King mentioned that the Commission and possibly Planning Staff will be reading a book called Architect, Verb by Reinier De Graaf and offered that others may join by reading the book as well.

PUBLIC COMMENT PERIOD

<https://youtu.be/41hQqiTruVw?t=256>

Bill Martony, Morro Bay, mentioned that he read in the TT that as far as the offshore wind, a height of 1100 feet. Would like to know if there is any validity to it.

Carla Wixom, Morro Bay Mayor, mentioned on Wednesday April 5 at the Vets Hall, will be the City Council's Goal Setting Session at 5:30 PM, encouraged all to attend. Also encouraged all to take the surveys offered on the City's website. Ms. Wixom mentioned that she will have office hours, Thursday, March 30<sup>th</sup> from 10 am – 12 pm, this is open for anyone in the community to come and share anything you would like. Located at 213 Beach Street.

**Public Participation:**

*Remote public participation is allowed in the following ways:*

- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) prior to the meeting.*
- *Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input.  
Please click the link below to join the webinar:*
  - <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNWRFWFUQT09>  
Password: 135692

Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to “Raise Hand” for Public Comment

## PRESENTATIONS

### A. CONSENT CALENDAR

#### **A-1** Current and Advanced Planning Processing List **Staff Recommendation:** Receive and file.

The Planning Commission received and filed.

Chairperson Roschen opened the Public Comment period.

<https://youtu.be/41hQqiTruVw?t=549>

Terry Simons, Morro Bay, stated after reviewing the current and advanced planning processing list, mentioned that he saw the Laurel project that was appealed and is being appealed by both parties and will be going to City Council. He finds it appropriate for the Commission to reinforce their position on the Laurel project.

### B. PUBLIC HEARING - NONE

### C. NEW BUSINESS

<https://youtu.be/41hQqiTruVw?t=619>

#### **C-1** Information Session on Historic Preservation

The Planning Commission will facilitate a historic preservation discussion with guest contributors. This Item does not include a staff report.

**Staff Contact:** Scot Graham, Community Development Director, (805) 772-6291, [sgraham@morrobayca.gov](mailto:sgraham@morrobayca.gov)

Panelists included Nancy Bast, Jeff Odell, and Marlene Owens.

Commissioner Ingraffia gave a short introduction.

Jeff Odell, Morro Bay, spoke about his history with Morro Bay.

Nancy Bast, Morro Bay, talked about her history with Morro Bay.

Marlene Owens, Morro Bay, spoke about the history she was part of with Morro Bay.

Commissioners asked questions of the panelists.

Carla Wixom, Morro Bay Mayor, spoke about some of her history with Morro Bay.

D. UNFINISHED BUSINESS

<https://youtu.be/41hQqiTruVw?t=4935>

**D-1 Planning Commission Recommendation to City Council on Goals for FY 23/24.**

**Staff Recommendation:** Receive staff presentation, review staff report and provide recommendation to City Council on Goals and Action Items.

**Staff Contact:** Scot Graham, Community Development Director, (805) 772-6291, [sgraham@morrobayca.gov](mailto:sgraham@morrobayca.gov)

Graham presented the staff report.

Commissioners presented their questions to Graham.

Chairperson Roschen opened the Public Comment period.

<https://youtu.be/41hQqiTruVw?t=6527>

Terry Simmons, Morro Bay, spoke about the new state laws and how it is very important that the Planning Commission be aware of them.

Jamie Irons, Morro Bay, spoke about Frontage Improvements, chapter 14.44 and gave a short presentation.

Erica Crawford, Morro Bay, commented about the permit process and that discussion should be with the end-users.

Chairperson Roschen closed the Public Comment period.

<https://youtu.be/41hQqiTruVw?t=7185>

Commissioners presented their questions and comments to Graham.

**MOTION:** Commissioner Meyer moved to forward the Planning Commissions goals recommendation to City Council including action items. Vice-Chairperson Rodriguez seconded, and the motion passes 5-0, with King, Roschen, Rodriguez, Ingraffia, and Meyer voting yes.

**D-2 Public Benefits Subcommittee Report, Presentation and Discussion**

**Staff Recommendation:** Review the Public Benefits Subcommittee report, hear subcommittee presentation on report and discuss subcommittee recommendations and provide direction to Staff on desired next steps.

**Staff Contact:** Scot Graham, Community Development Director, (805)  
772-6291, [sgraham@morrobayca.gov](mailto:sgraham@morrobayca.gov)

Graham presented the staff report.

Commissioners presented their questions to Graham.

Sean Green, Morro Bay, thanked the sub-committee for their on-going help. Gave a brief presentation of the Public Benefits report.

Commissioners presented their comments.

Chairperson Roschen opened the Public Comment period.  
<https://youtu.be/41hQqiTruVw?t=10878>

Terry Simmons, Morro Bay, commented that he has semantic problems with Public Benefits when the development community is already burdened with mitigation aspects that come out of CEQA. He feels this is very similar to this.

Commissioners presented their questions and comments.

**MOTION:** Commissioner Ingraffia moved to have the Community Development Director refine the public benefits policy and bring it back to the Commission for recommendation to City Council. Rodriguez seconded, and the motion passes 5-0, with King, Roschen, Rodriguez, Ingraffia, and Meyer voting yes.

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS - NONE

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS  
<https://youtu.be/41hQqiTruVw?t=12188>

Graham reiterated what Mayor Wixom stated about the first meeting of Goal Setting session will be held on Wednesday, April 5<sup>th</sup> at 5:30 pm at the Vets Hall.

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on April 4, 2023, at 6:00 p.m.

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Bill Roschen, Chairperson

ATTEST:

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Scot Graham, Secretary

AGENDA ITEM:     A-3    

DATE:     4/18/2023    

ACTION:                     

ACTION MINUTES – MORRO BAY PLANNING COMMISSION  
REGULAR MEETING – APRIL 4, 2023  
Morro Bay Community Center Multi-Purpose Room – 6:00 P.M.  
**NOTE: ONE-TIME MEETING LOCATION CHANGE**

PRESENT:	Bill Roschen Mike Rodriguez Joe Ingraffia Eric Meyer	Chairperson Vice-Chairperson Commissioner Commissioner
ABSENT:	Asia King	Commissioner
STAFF:	Scot Graham Cindy Jacinth	Community Development Director Senior Planner

ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE

PLANNING COMMISSIONER ANNOUNCEMENTS - NONE

PUBLIC COMMENT PERIOD

<https://youtu.be/fzfHlePqPec?t=172>

Paul Donnelly, Morro Bay, spoke about the old Rec building and a dedication that happened about 35 years ago, a large bronze plaque was placed in the lobby to dedicate the building and stated that it has vanished. Mr. Donnelly is wondering what happened to it. Commented that this is part of the history of Morro Bay. Also spoke about City Hall and that there used to be portraits of the past Mayors and Councilmembers that have also vanished and would like to know what happened to those.

Bill Martony, Morro Bay, commented about the rock parking lot, he thought awhile back there were plans to beautify the area and would like to know what happened with those plans.

Cindy Meur, Morro Bay, urged the Commission to not change the Zoning Code to accommodate any kind of industrial on the Embarcadero.

Natalia Merzoyan, Morro Bay, stated that she would like to second what Ms. Meur stated.

Chairperson Roschen closed the Public Comment period.

<https://youtu.be/fzfHlePqPec?t=536>

**Public Participation:**

Remote public participation is allowed in the following ways:

- Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) prior to the meeting.
- Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).
- Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input.

Please click the link below to join the webinar:

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcxTHlRTk9xaTlmWVNWRFWFUQT09>  
Password: 135692

Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to “Raise Hand” for Public Comment

PRESENTATIONS

A. CONSENT CALENDAR

<https://youtu.be/fzfHlePqPec?t=541>

**A-1** Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

**A-2** Approval of minutes from the Planning Commission meeting of February 21, 2023.  
**Staff Recommendation:** Approve minutes as submitted.

**A-3** Approval of minutes from the Planning Commission meeting of March 7, 2023.  
**Staff Recommendation:** Approve minutes as submitted.

**MOTION:** Commissioner Meyer moved to approve staff recommendation with some corrections to A-3. Commissioner Ingraffia seconded, and the motion passes 3-0-1, with Ingraffia, Roschen, and Meyer voting yes and Rodriguez abstaining.

B. PUBLIC HEARING

C. NEW BUSINESS

<https://youtu.be/fzfHlePqPec?t=616>

- C-1 Case No.: CUP23-05 - Sea Shell Estates Concept Review**  
**Site Location:** 301-390 Seashell Cove, Morro Bay, CA  
**Proposal: Conceptual Review** of a potential future multi-family project with plans showing 37 three-bedroom rental units arranged as a cluster of buildings on 10 vacant lots (4.7 acres) at 301-390 Seashell Cove. Concept Review request is to receive Planning Commission feedback and input on development as a multi-family project with goal to develop potentially up to 70 units subject to future tract amendments or approvals. Future project development would also require a land use and zone change in order to accommodate multi-family residential. Project's land use designation is low density residential, and zoning is R-A/PD. A portion of the sites, lots 1-3, are located within the Coastal Commission appeal jurisdiction.  
**CEQA Determination:** No determination is required for conceptual review.  
**Staff Recommendation:** Hear a presentation on the project and provide comments. This is a Business Item for information gathering and discussion purposes only and **NO ACTION** will be taken at this time.  
**Staff Contact:** Cindy Jacinth, Senior Planner, (805) 772-6577

Jacinth presented the staff report.

Commissioners presented their questions to staff.

The Applicant presented his project.

Commissioners presented their questions to the applicant.

Chairperson Roschen opened the Public Comment period.  
<https://youtu.be/fzfHlePqPec?t=3515>

Betty Winholtz, Morro Bay, commented that she was on the City Council at the time that this project first came up and one of the major concerns was that this project was on the scenic highway. Ms. Winholtz summarized her letter that she submitted to the Planning Commission.

Jeff Heller, Morro Bay, asked a question about upzone. Spoke about affordable housing and said that this is very much needed, he believes 25% should be mandated for low-income housing also stated that the in-lieu fee is not enough and should be increased. Asked if it is possible for the current council to overturn the upzone.

Paul Donnelly, Morro Bay, commented that there is a subdivision map and restrictions are listed on the last page of the map, spoke about the grading plan.

Bill Martony, Morro Bay, spoke about how housing in Morro Bay is important but the location of this project is terrible.

Terry Simmons, Morro Bay, spoke against the project and stated grading plan has errors and project detail is lacking.

Nancy Bast, Morro Bay, spoke against the project agreeing with the other speakers. She stated the road is too narrow and spoke against the zone change.

Natalia Merzoyan, Morro Bay, commented that she doesn't want Morro Bay to change and spoke against the project.

Chairperson Roschen closed the Public Comment period.  
<https://youtu.be/fzfHlePqPec?t=5215>

Commissioners presented their questions to staff.

The Applicant commented on some of the concerns from the public.

Commissioners commented and made suggestions about the conceptual plans.

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS - NONE

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS  
<https://youtu.be/fzfHlePqPec?t=6977>

Graham mentioned the Community Goal Setting process held in the main auditorium building in the Community Center, on Wednesday, April 5<sup>th</sup> at 5:30 PM.

G. ADJOURNMENT  
Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on April 18, 2023, at 6:00 p.m.

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Bill Roschen, Chairperson

ATTEST:

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Scot Graham, Secretary



AGENDA NO: B-1

MEETING DATE: April 18, 2023

# Staff Report

**TO:** Planning Commissioners

**DATE:** April 11, 2023

**FROM:** Cindy Jacinth, Senior Planner

**SUBJECT:** **545 Shasta Avenue:** Coastal Development Permit and Conditional Use Permits (CDP21-039 and CUP21-13) to modify existing wireless telecommunication facility at St Peters Episcopal Church. Project includes removal of antennas in rooftop steeple cross and new construction of 7' x 7' 25 foot tall faux church tower to screen new upgraded telecommunication antennas and associated equipment upgrades. The project is in the R-2 zone district and outside of the coastal appeals jurisdiction.

**RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by adopting a motion including the following action(s):

- A. Adopt Planning Commission Resolution 06-23 which includes the Findings and Conditions of Approval for the project depicted on site development plans received April 3, 2023.

**APPLICANT/AGENT:** Rachael Davidson, Jacobs, Agent for T-Mobile

**LEGAL DESCRIPTION/APN:** 066-144-011

**PROJECT DESCRIPTION:** The Applicant, T-Mobile, is requesting approval of Coastal Development Permit #CDP21-039 and Conditional Use Permit #CUP21-13 for modification of an existing wireless telecommunication facility. Applicant proposes to remove existing telecommunication antenna equipment from within the existing rooftop cross on the main St Peters Episcopal Church building. The Church is requesting that the cross remain. The applicant is proposing to construct a new freestanding 7' x 7' 25 foot tall faux church bell tower in front of the Parish Hall to conceal upgraded wireless telecommunication antennas and



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Prepared By:  CJ

Department Review: \_\_\_\_\_

associated equipment. The project also proposes an upgrade of associated equipment in the existing equipment fenced storage area located on the west side of the church parking lot as shown in the picture below. The project site is in the R-2 zone district and located outside of the Coastal Commission Appeals Jurisdiction.



**PROJECT SETTING:**

<b>Adjacent Zoning/Land Use</b>			
North:	R-2 zoning/Medium density residential land use	South	R-2 zoning/Medium density residential land use
East:	R-2 zoning/Medium density residential land use	West:	R-2 zoning/Medium density residential land use
<b>Development Standards (R-2 Zoning District)</b>			
	<b>Standards</b>	<b>Proposed</b>	
<b>Front Setback (Driftwood)</b>	Per CUP / 20 feet	107 feet 5 inches	
<b>Side Setback (Shasta)</b>	Per CUP / 10 feet on east 5 feet on west	30 feet 10 inches on West side 95' 3" feet on East side	
<b>Rear-Yard Setback</b>	Per CUP / 5 feet	108 feet 4 inches	
<b>Building Height (Tower)</b>	25 feet from average natural grade	25 feet	

<b>Site Characteristics</b>	
Overall Site Area	0.72 acres
Existing Use	Church
Terrain	Flat
Vegetation/Wildlife	Grasses and Ornamental
Access	Radcliff Avenue
Archaeological Resources	The site is not within 300 feet of a known archaeological resource nor within the cultural resource overlay area.

<b>General Plan, Zoning Ordinance &amp; Local Coastal Plan Designations</b>	
General Plan/Coastal Plan Land Use Designation	Medium Density Residential
Base Zone District	R-2
Zoning Overlay District	N/A
Special Treatment Area	N/A
Specific Plan Area	N/A
Coastal Zone	Located in the Coastal Zone, but not within appeals jurisdiction

**ZONING REQUIREMENTS:**

Under the new Zoning Code adopted by the Council in November 2022 (Ordinance 654), provisions for telecommunication facilities are at 17.30.250. The permit requirements in subsection B state that stealth facilities such as this project in which the antenna and the support equipment are hidden from view in a structure or concealed as an architectural feature are permitted in all districts subject to Conditional Use Permit approval. Therefore, the applicant is requesting Conditional Use Permit and Coastal Development Permit approvals to allow for the modification of the existing telecommunication site.

New Zoning Code standards for telecommunication facilities at 17.30.250.C include that no new freestanding facility shall be located within 1,000 feet of another freestanding facility unless appropriate camouflage techniques have been used to minimize the visual impact of the facility to the extent feasible and mounting on a building or co-location on an existing pole or tower is not feasible. In this case, the project is a replacement of an existing on-site facility and not a new facility. The existing facility at this site has been concealed within the cross and steeple feature of the church. The proposed telecommunication equipment is too large to continue being concealed within the cross and to retrofit the cross structure was determined to have been too intrusive to the existing church building. Construction of the faux bell tower provides an opportunity to meet the project's desired coverage objectives of meeting current telecommunication needs while also concealing the site with appropriate camouflage techniques as described in the zoning code standards.

In addition, 17.30.250.C.2 states that facilities such as free-standing antennas, monopoles, and lattice towers shall be designed to be the minimum functional height and width required to

support the proposed antenna installation and requires co-location at existing facilities where feasible. In this case, the project meets the standard building height of 25 for the zone district. The project has an existing telecommunication facility at this location and is seeking to upgrade the facility.

## **PROJECT ANALYSIS:**

### *Background/ Discussion:*

The existing wireless telecommunication facility was permitted in 2007 under Coastal Development Permit #CP0-229 and Conditional Use Permit #UP0-162 as a Sprint/Nextel facility. Subsequently, Sprint merged with T-Mobile, which is the applicant for the modification request. The 2007 permit approval for the project included replacement of the existing twenty-six and a half foot cross and installation of a of a thirty and a half foot high cross with one, three-panel electromagnetic satellite (EMS) antenna to be located entirely within the cross, and construction of a 20-foot by 10-foot fenced equipment storage area located adjacent to the parking lot.

Other existing T-Mobile facilities in the city include this current location, along with a lattice tower installation at 750 Radcliff and a third facility at 1478 Quintana which is also a church rooftop installation at the Rock Harbor Church.

### *Project Detail and Design:*

Specifically, project plans show the proposed 7' x 7' x 25' faux bell tower in an area adjacent to the equipment area. The tower is proposed to house the telecommunication equipment which includes 6 panel antennas, 6 remote radio units (RRUs), and associated equipment (Antenna Layout Plan, plan sheet A-3). The existing Sprint antennas in the hollow cross would be removed and the cross would remain in place as requested by the Church. In addition, the project also proposes associated equipment upgrades in the fenced storage area that includes removal of the Sprint electrical cabinet, and construction of a new T-Mobile cabinet enclosure and battery cabinet. New 2" conduit line will be installed to connect the battery cabinet to the bell tower via an entry port for fiber run/ cable riser to top of the tower (plan sheet A-2).

The bell tower has been designed to blend in with the church use and resemble a church bell tower with a short mansard style roof, curved windows with louvers on all sides, and stucco exterior finish to match church building. The tower is also proposed at 25 feet in height consistent with the standard building height maximum in the R-2 zone district.

### *Visual Analysis:*

Staff reviewed the project for impacts to visual aesthetics based on photo visual simulations submitted showing existing and proposed (Exhibit B). The photo visual simulations submitted depict existing and proposed angles of the tower structure from Shasta Avenue looking west, and northwest, as well as a view from Anchor Street looking northeast at the site. To ensure consistency in style with St Peters Episcopal Church, the tower is proposed to be painted to match existing color and architectural design.

### *Visual Simulations:*





#### Hazards/Hazardous Materials

A Radio Frequency (RF) report was prepared by Global Technology Associates dated August 11, 2021, to determine radio frequency electromagnetic (RF-EME) exposure levels for the T-Mobile wireless communications equipment at this site. The report was determined to be within Federal Communications Commission (FCC) maximum exposure limits and in compliance with FCC rules and regulations. The report is attached as Exhibit C to this staff report. The report also analyzed the site plan with antenna locations, and determined compliance based on theoretical modeling using modeling tools, RF signage placement recommendations, using proposed antenna inventory in the project plans and the type and level of restricted access to the antennas at the site. The report also considered the FCC's established Maximum Permissible Exposure (MPE) limits for both occupational/controlled exposure and general public/ uncontrolled exposure limits.

The proposed T-Mobile antennas would not be accessible to the general public. As explained in the RF report, the antennas are typically mounted above ground level and due to the short wavelength of personal communication (PCS) services, the antennas require line of sight paths for good propagation such as is designed with this project's faux bell tower. The antennas are constructed to concentrate energy towards the horizon, with as little energy as possible scattered towards the ground or the sky. This design, combined with the lower power of PCS facilities, generally results in no possibility for exposure to approach MPE levels, with the

exception of areas directly in front of the antennas (equivalent to second story level of the tower). The report concluded that based on predictive modeling, there are no modeled exposures on any accessible roof-level level walking/work surface related to T-Mobile's proposed antennas that exceed the FCC's occupational and/or general public exposure limits at this site. At roof-level the anticipated maximum predictive RF-EME will be 18.8% of FCC's occupational limit. At ground level, the maximum power density generated by the antennas is approximately 94% of FCC's general public limit or 18.8% of occupational limit. Lastly, it should be noted that these results include worst-case scenario assumptions and therefore are expected to overstate actual power density levels.

Signage is required at the tower site which would bring the project into compliance with FCC requirements. To ensure that RF report signage recommendations are incorporated into building plans submitted for approved, staff has recommended a condition of approval that the RF report signage requirements are included on building plans submitted for approval that include explanatory warning signs be posted to be readily visible from any angle of approach (See Planning condition 4).

#### U.S. Federal Communications Commission

The project has been designed to be in compliance with FCC regulations. The Federal Communications Commission (FCC) regulates interstate and international communications by radio, television, wire, satellite and cable. It was established by the Communications Act of 1934 and operates as an independent U.S. government agency overseen by Congress. Section 332(c)(7) of the Communications Act was added by Congress in the Telecommunications Act of 1996 which imposes limitations on local governments that they may not unreasonable discriminate among providers of functionally equivalent services, may not prohibit provision of personal wireless services, must act on requests within a reasonable period of time, must make any denial decision in writing, supported by substantial evidence, and may not regulate radio frequency (RF), but may require applicant to satisfy FCC rules.

The report submitted by the applicant indicates that the project would be in compliance with FCC standards, and is in fact well below the maximum exposure levels permitted by the FCC. Per the Telecommunications Act of 1996:

*No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's(FCC) regulations concerning such emissions.*

The regulations contained within the Telecommunications Act of 1996 prohibit City from denying the requested wireless telecommunications facility based upon the environmental or health effects of radio frequency emissions because the proposed project is well below maximum radio frequency emission limits permitted by the FCC.

#### **ENVIRONMENTAL DETERMINATION**

Environmental review was performed for this project. Staff determined the project is eligible for a Categorical Exemption Class 3, CEQA Guidelines Section 15303 (e), (New construction of

small structures). This exemption applies to the construction and location of limited numbers of new, small facilities or structures and temporary use of land having no permanent effects on the environment for which the construction of a 7' x 7' 25 foot tall bell tower would apply.

**PUBLIC NOTICE:**

Notice of a public hearing on this item was posted at the site and published in the Tribune newspaper on April 7, 2023 and mailed directly to all property owners of record and occupants within 500 feet of the subject site. The notices invited the public to attend the hearing and express any concerns they may have regarding the proposed project.

**CONCLUSION:**

The project is an upgrade of an existing approved wireless telecommunication facility. The goal of the project is to provide improved wireless communication abilities for T-Mobile customers which are a community need from the standpoint of both public safety and convenience in the modern era. Based upon the photo simulations and proposed project design as shown on plans, staff has determined that the proposed project would not significantly degrade the aesthetics of the site and appropriately camouflages or screens the telecommunication equipment as a stealth facility with the new construction of the bell tower which is consistent with the church use. The project, as proposed, is consistent with all required development standards of the Zoning Ordinance and all applicable provisions of the General Plan and Local Coastal Plan with incorporation of the recommended conditions of approval.

Staff recommends that the Planning Commission approve the requested Coastal Development Permit and Conditional Use Permit for modification of existing telecommunication facility at St. Peters Episcopal Church. Project includes removal of antennas in rooftop cross and new construction of 7' x 7' 25 foot tall faux church tower to screen new upgraded telecommunication antennas and equipment as well as associated equipment cabinet upgrades located on the west side of the rear parking lot with the incorporation of the conditions of approval attached herein.

**EXHIBITS:**

- Exhibit A – Planning Commission Resolution 06-23
- Exhibit B – Visual Simulations, Existing and Proposed
- Exhibit C – Radio Frequency Compliance Report dated August 11, 2021.
- Exhibit D – Project Plans received April 3, 2023

RESOLUTION NO. PC 06-23

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING COASTAL DEVELOPMENT PERMIT #CDP21-039 AND ONDITIONAL USE PERMIT #CUP21-13 FOR MODIFICATION OF T-MOBILE WIRELESS TELECOMMUNICATION FACILITY AT ST PETER'S EPISCOPAL CHURCH WHICH INCLUDES REMOVAL OF EXISTING ANTENNA EQUIPMENT IN ROOFTOP CROSS AND NEW CONSTRUCTION OF 7' X 7' 25 FOOT TALL FAUX CHURCH BELL TOWER TO SCREEN NEW UPGRAED TELECOMMUNICATIONS ANTENNAS, REMOTE RADIOS UNITS AND ASSOCIATED EQUIPMENT UPGRADES INCLUDING UPGRADES OF ASSOCIATED EQUIPMENT IN 20' X 10' EQUIPMENT STORAGE AREA AT 545 SHASTA AVENUE

**WHEREAS**, the Planning Commission of the City of Morro Bay (the "City") conducted a public hearing on April 18, 2023 in a hybrid format with both an in-person meeting at the Morro Bay Veterans Memorial Building, 209 Surf Street, Morro Bay, CA 93442 as well as through virtual public participation provided telephonically through Zoom, for the purpose of considering approval of Coastal Development Permit #CDP21-039 and Conditional Use Permit #CUP21-13 ("Project"); and

**WHEREAS**, notices of said public hearing were made at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

**California Environmental Quality Act (CEQA)**

A. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15303, Class 3: New construction of small structures. This exemption applies to the construction and location of limited numbers of new, small facilities or structures and temporary use of land having no permanent effects on the environment. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

**Coastal Development Permit Findings**

A. That the project is an allowable use in its zoning district and is also in accordance with the certified Local Coastal Program and the General Plan for the City of Morro Bay. "Antennas" and "Public Utility Facilities" are both listed as uses that may be

permitted in any zone district with an approved Conditional Use Permit (Zoning Ordinance Section 17.30.0030 (F) & (P), respectively).

### **Conditional Use Permit Findings**

- A. That the project is an allowable use in its zoning district and is also in accordance with the certified Local Coastal Program and the General Plan for the City of Morro Bay. “Antennas” and “Public Utility Facilities” are both listed as uses that may be permitted in any zone district with an approved Conditional Use Permit (Zoning Ordinance Section 17.30.0030 (F) & (P), respectively). In addition, the project has been designed consistent with the 2022 Zoning Code where pursuant to Section 17.30.250 the project is a stealth facility which designed to look like a church bell tower the antenna and support equipment are hidden from view and the project meets design and screening requirements in that the structure has been located, designed, and screened to blend with the existing natural or built surroundings, so as to reduce visual impacts to the extent feasible and the antenna (1997 Zoning Ordinance Section 17.48.070 and 2022 Zoning Ordinance Section 17.30.250); and
- B. The establishment, maintenance, or operation of the use applied for will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use in that the project will be consistent with all applicable zoning and plan requirements as indicated in the attached staff report, and a RF-EME report prepared by Global Technology Associated dated August 11, 2021 found the site to be in compliance with FCC rules and regulations upon implementation of the site compliance and signage recommendations in the report.; and
- C. The proposed use conforms with the specific purposes of Section 17.30.250 and any special standards applicable to the proposed facility; and
- D. The applicant has made good faith and reasonable efforts to locate the proposed facility on a support structure other than a new ground-mounted antenna, monopole, or lattice tower or to accomplish co-location because the structure proposed is a faux bell tower used as concealment in an architectural style consistent with the primary church use; and the project is a replacement of an existing on-site facility and not a new facility. and
- E. The proposed site results in fewer or less severe environmental impacts than any feasible alternative site; and
- F. The proposed facility will not be readily visible, or it is not feasible to incorporate additional measures that would make the facility not readily visible.
- G. The proposed wireless facility would be unmanned and thus would not generate traffic nor impact the physical character or capacity of surrounding streets. The proposed telecommunication facility is otherwise not occupied, therefore parking requirements are not applicable; and

- H. There are no signs intended for the proposed project other than those required for safety purposes, which will meet the requirements of the Municipal Code; and
- I. The proposed use will not be detrimental to the health, safety, and general welfare of persons residing or working in the neighborhood of such proposed use. The modifications proposed to the existing wireless telecommunication facility include removal of antennas inside an existing cross and construction of a 7' x 7' 25 foot tall faux bell tower to conceal the upgraded panel antennas, remote radio units, and associated equipment which is located and designed to minimize the visual impact on surrounding properties and from public streets, which stealthily incorporates the facility with the church use through use of consistent material, color, and architectural design. The proposed wireless facility is designed in a manner that is sensitive to surrounding properties and to blend with its natural surroundings; and

### **Architectural Consideration**

- A. As required by Ordinance Section 17.48.200 the Planning Commission finds that the architectural treatment and general appearance of proposed structures, are in keeping with the character of the surrounding areas, are compatible with any design themes adopted by the city, and are not detrimental to the orderly and harmonious development of the city or to the desirability of investment of occupation in the area.

**Section 2. Action.** The Planning Commission does hereby approve Coastal Development Permit #CDP21-039 and Conditional Use Permit #CUP21-13 subject to the following conditions:

### **STANDARD CONDITIONS**

1. This permit is granted for the land described in the staff report dated April 11, 2023, for the project at 545 Shasta Avenue depicted on plans received April 4, 2023, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for CDP21-039/CUP21-13, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the

“Director”), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the “MBMC”), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

### **Building Conditions:**

#### **A. CONDITIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:**

- 1.) Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
- 2.) The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
- 3.) The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
- 4.) The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
- 5.) A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
- 6.) Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
- 7.) BUILDING PERMIT APPLICATION: To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.
- 8.) The Title sheet of the plans shall include, but not limited to:
  - Street address, lot, block, tract and Assessor Parcel Number
  - Occupancy Classification(s)
  - Construction Type
  - Maximum height of the building allowed and proposed
  - Floor area of the building(s)

- Fire sprinklers proposed or existing
- Minimum building setback allowed and proposed

All construction will conform to the 2022 California Building Code (CBC), 2022 California Residential Code (CRC), 2022 California Fire Code (IFC), 2022 California Mechanical Code (CMC), 2022 California Plumbing Code (CPC), 2022 California Electrical Code (CEC), 2022 California Energy Code, 2022 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by the application date of plans submitted to the Building Division for plan review.)

**B. CONDITIONS TO BE MET DURING CONSTRUCTION:**

- 1.) **SITE MAINTENANCE:** During construction, the site shall be maintained to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained through the duration of the project. The storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.
- 2.) **ARCHAEOLOGICAL MATERIALS:** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
- 3.) **FOUNDATION SETBACK VERIFICATION:** Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some lot types.

- 4.) **BUILDING HEIGHT VERIFICATION:** Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some site-specific projects.
  
- 5.) **EXISTING BUILDINGS:** Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the maximum sill height requirements of section R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2019 California Residential Code.

**C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:**

- 1.) Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.
- 2.) Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
- 3.) If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
- 4.) If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
- 5.) Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
- 6.) Final T-24 energy reports (Certificates of Installation).

**Fire Department Conditions:**

1. Fire Prevention: Per Zoning Code requirement 17.30.250.C.8, the building plans

submitted for approval shall include design of the facility in a manner that will minimize the risk of igniting a fire or intensifying one that otherwise occur and shall include the following specifications:

- a. At least one-hour fire resistant interior surfaces shall be used in the construction of all buildings.
- b. The exterior walls and roof covering of all above-ground equipment shelters and cabinets shall be constructed of materials rated as non-flammable in the Building Code.
- c. Monitored automatic fire extinguishing systems shall be installed in all equipment buildings and enclosures.
- d. Openings in all above-ground equipment shelters and cabinets shall be protected against penetration by fire and wind-blown embers to the extent feasible.

**Planning Conditions:**

2. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval for both the Conditional Use Permit and the Coastal Development Permit shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
3. Inspection: The applicant shall comply with all City conditions of approval and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.
4. Surety Bond: Per Zoning Code requirement 17.30.250.C.9, as a condition of approval, an applicant for a building permit to erect or install a telecommunication facility shall be required to post a cash or surety bond in a form and amount acceptable to the City Attorney to cover removal costs of the facility in the event that its use is abandoned or the approval is otherwise terminated.
5. Signage recommendations to bring the project into compliance with FCC requirements as described in the RF-EME report prepared by Global Technology Associates dated August 11, 2021 and that include explanatory warning signs shall be shown on building plans submitted for approved and installed prior to final occupancy. The signs shall be posted to be readily visible from any angle of approach.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 18<sup>th</sup> day of April, 2023 on the following vote:

AYES:

NOES:  
ABSENT:  
ABSTAIN:

---

William Roschen, Chairperson

ATTEST

---

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 18<sup>th</sup> day of April 2023.

*Existing*



*Proposed*



view from lot adjacent to Shasta Avenue looking northwest at site

*Existing*



*Proposed*



view from Shasta Avenue looking west at site

*Existing*



*Proposed*



view from Anchor Street looking northeast at site

*Existing*



*Proposed*



view from Driftwood Street looking southwest at site



SV89037A SN60XC182 St. Peters Episcopal Church  
545 Shasta Avenue, Morro Bay, CA

Photosims Produced on 1-7-2022

# **RADIO FREQUENCY - ELECTROMAGNETIC ENERGY (RF-EME) COMPLIANCE REPORT**

**Report Type:** Antenna Modification/Theoretical

## **Site ID: SV89037A**

*Site Name: SN60XC182-St Peters Episcopal Church*

*Address: 545 Shasta Avenue Morro Bay, CA 93442*

**Date of Calculation: August 11, 2021**

**Date of Report: August 11, 2021**

Latitude: 35.36271600 N  
Longitude: -120.84704500 W



Prepared By:



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Site ID: SV89037A

**1.0 EXECUTIVE SUMMARY / REPORT SUMMARY**

**Purpose of Report**

Global Technology Associates (GTA) has been contracted by T-Mobile to conduct radio frequency electromagnetic (RF-EME) modeling for T-Mobile site **SV89037A** located at **545 Shasta Avenue Morro Bay, CA 93442** to determine RF-EME exposure levels from existing and proposed T-Mobile wireless communications equipment at this site.

This report summarizes the results of RF-EME modeling in relation to relevant FCC RF-EME compliance standards for limiting human exposure to RF-EME fields. This report contains a detailed summary of the RF-EME analysis for the site.

<b>T-Mobile Site Summary</b>			
<b>Site ID</b>	<b>SV89037A</b>	<b>Street Address</b>	<b>545 Shasta Avenue</b>
<b>Site Name</b>	<b>SN60XC182-St Peters Episcopal Church</b>	<b>City, State, Zip</b>	<b>Morro Bay, CA 93442</b>
<b>Site Type</b>	<b>building</b>	<b>Latitude</b>	<b>35.36271600 N</b>
<b>Classification</b>	<b>occupational</b>	<b>Longitude</b>	<b>-120.84704500 W</b>
<b>Access Restrictions</b>	<b>controlled</b>	<b>Access Type</b>	<b>antennas located in special stealth structure requiring a lift to access</b>
<b>Site Description</b>	<b>all antennas are mounted inside the bell tower</b>		
<b>Max Predictive RF-EME at T-Mobile Facility (Occupational)</b>		<b>18.8% of FCC's occupational limit at roof level</b>	
<b>Max Predictive RF-EME at Ground Level (General Public)</b>		<b>94% of FCC'S general public limit</b>	
<b>Predictive RF-EME Analysis at T-Mobile Facility</b>		<b>In Compliance With FCC Rules &amp; Regulations Upon Completion of the Recommendations</b>	

A result of over 100% does not make a site out of compliance with FCC guidelines. For predicted EME over 100% of the applicable FCC limit, further remediation (e.g. signage and/or barriers preventing access) is required to consider the site compliant. Areas exceeding the FCC limit are presented with the barriers and appropriate signages. Accessible areas outside the demarcated are the safety zones that have predicted EME values below the FCC's limits. Installation of the recommended mitigation or remediation measures brings the site into compliance. The predictions models antennas as if they are operating at full power, and this assumption yields a worst case scenario with more conservative results. On-site measurements may yield different results, as antennas do not always operate at full capacity.

## Exhibit C

Site ID: SV89037A

### Methodology

The site to be determined as the compliance is based on theoretical modeling using RoofView® modeling tool, appropriate RF signage placement recommendations, proposed antenna inventory as provided by T-Mobile in the construction drawings and the type & level of restricted access to the antennas at the site.

### Compliance Statement

T-Mobile's operation at **545 Shasta Avenue Morro Bay, CA 93442** will comply with FCC rules and regulations upon completion of recommendations that includes the installation of appropriate RF Safety Signages and/or Barriers as described in Section 7.

## Exhibit C

Site ID: SV89037A

### 2.0 MPE CALCULATIONS

For this MPE predictive analysis, GTA considered the area around the accessible areas of the T-Mobile antennas on the site to determine EME field strength levels with respect to the FCC's human exposure limits. Further GTA has identified any areas with higher levels exceeding FCC MPE limits and then determined spatially averaged field levels in areas with highest fields.

GTA has utilized computer generated modeling software RoofView® 4.15 to generate the compliance report.

#### Modeling & Input Assumptions

In this Site Compliance Report, it is assumed that

- All antennas are operating at full power at all times.
- The Antenna Inventory Table (Section 3) shows all transmitting antennas at the site.
- A 100 % duty cycle and maximum radiated power for each antenna is assumed unless T-Mobile has specified otherwise.
- Obstructions like (screens, trees, buildings etc.) that would normally attenuate the signal are not taken into account.
- GTA obtained information used in this Compliance Report from T-Mobile which is considered reliable and believes them to be true and correct.
- Due to the complexity of some wireless sites, GTA performed this analysis and created this report utilizing best industry practices and due diligence. The scales and the determinations are based on the A&E drawings provided by T-Mobile.

# Exhibit C

Site ID: SV89037A

## 3.0 ANTENNA INVENTORY

ID	Technology	Antenna Make	Antenna Model	Azimuth (°)	Bottom of ANT from Main Roof (ft)	Bottom of ANT from Ground (ft)
S1A1	L600	RFS	APXVAALL24_43-U-NA20	60	19.00	19.00
S1A1	N600	RFS	APXVAALL24_43-U-NA20	60	19.00	19.00
S1A1	L700	RFS	APXVAALL24_43-U-NA20	60	19.00	19.00
S1A1	G1900	RFS	APXVAALL24_43-U-NA20	60	19.00	19.00
S1A1	L1900	RFS	APXVAALL24_43-U-NA20	60	19.00	19.00
S1A1	L2100	RFS	APXVAALL24_43-U-NA20	60	19.00	19.00
S1A4	L2500	ERICSSON	AIR6449 B41	60	21.62	21.62
S1A4	N2500	ERICSSON	AIR6449 B41	60	21.62	21.62
S2A2	L600	RFS	APXVAALL24_43-U-NA20	180	19.00	19.00
S2A2	N600	RFS	APXVAALL24_43-U-NA20	180	19.00	19.00
S2A2	L700	RFS	APXVAALL24_43-U-NA20	180	19.00	19.00
S2A2	G1900	RFS	APXVAALL24_43-U-NA20	180	19.00	19.00
S2A2	L1900	RFS	APXVAALL24_43-U-NA20	180	19.00	19.00
S2A2	L2100	RFS	APXVAALL24_43-U-NA20	180	19.00	19.00
S2A5	L2500	ERICSSON	AIR6449 B41	180	21.62	21.62
S2A5	N2500	ERICSSON	AIR6449 B41	180	21.62	21.62
S3A3	L600	RFS	APXVAALL24_43-U-NA20	300	19.00	19.00
S3A3	N600	RFS	APXVAALL24_43-U-NA20	300	19.00	19.00
S3A3	L700	RFS	APXVAALL24_43-U-NA20	300	19.00	19.00
S3A3	G1900	RFS	APXVAALL24_43-U-NA20	300	19.00	19.00
S3A3	L1900	RFS	APXVAALL24_43-U-NA20	300	19.00	19.00
S3A3	L2100	RFS	APXVAALL24_43-U-NA20	300	19.00	19.00
S3A6	L2500	ERICSSON	AIR6449 B41	300	21.62	21.62
S3A6	N2500	ERICSSON	AIR6449 B41	300	21.62	21.62

**Table 3.1 Antenna Inventory**

**4.0 FEDERAL COMMUNICATIONS COMMISSION (FCC) REQUIREMENTS**

The FCC has established Maximum Permissible Exposure (MPE) limits for human exposure to Radio frequency Electromagnetic (RF-EME) energy fields, based on exposure limits recommended by the National Council on Radiation Protection and Measurements (NCRP) and, over a wide range of frequencies, the exposure limits developed by the Institute of Electrical and Electronics Engineers, Inc. (IEEE) and adopted by the American National Standards Institute (ANSI) to replace the 1982 ANSI guidelines. Limits for localized absorption are based on recommendations of both ANSI/IEEE and NCRP.

The FCC guidelines incorporate two separate tiers of exposure limits that are based upon occupational/controlled exposure limits (for workers) and general public/uncontrolled exposure limits for members of the general public.

Occupational/controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled exposure limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general public/uncontrolled limits (see below), as long as the exposed person has been made fully aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means.

General public/uncontrolled exposure limits apply to situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public would always be considered under this category when exposure is not employment-related, for example, in the case of a telecommunications tower that exposes persons in a nearby residential area.

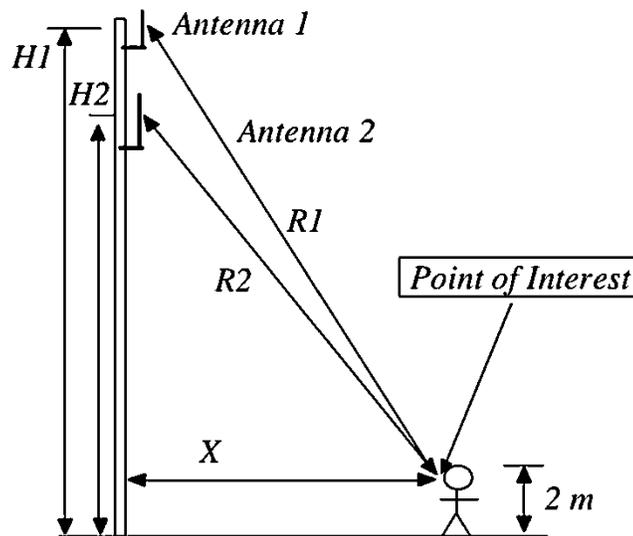


Figure 4-1

## Exhibit C

Site ID: SV89037A

Table 4-1 and Figure 4-2 (below), which are included within the FCC’s OET Bulletin 65, summarize the MPE limits for RF emissions. These limits are designed to provide a substantial margin of safety. They vary by frequency to take into account the different types of equipment that may be in operation at a particular facility and are “time-averaged” limits to reflect different durations resulting from controlled and uncontrolled exposures.

The FCC’s MPEs are measured in terms of power (mW) over a unit surface area (cm<sup>2</sup>). Known as the power density, the FCC has established an occupational MPE of 5 milliwatts per square centimeter (mW/cm<sup>2</sup>) and an uncontrolled MPE of 1 mW/cm<sup>2</sup> for equipment operating in the 1900 MHz frequency range. For the T-Mobile equipment operating at 800 MHz, the FCC’s occupational MPE is 2.66 mW/cm<sup>2</sup> and an uncontrolled MPE of 0.53 mW/cm<sup>2</sup>. These limits are considered protective of these populations.

<b>(A) Limits for Occupational/Controlled Exposure</b>				
Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm <sup>2</sup> )	Averaging Time [E] <sup>2</sup> , [H] <sup>2</sup> , or S (minutes)
0.3-3.0	6 4	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f <sup>2</sup> )*	6
30-300	61.4	0.163	1	6
300-1,500	--	--	f/300	6
1,500-100,000	--	--	5	6
<b>(B) Limits for General Public/Uncontrolled Exposure</b>				
Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm <sup>2</sup> )	Averaging Time [E] <sup>2</sup> , [H] <sup>2</sup> , or S (minutes)
0.3-1.34	6 4	1.63	(100)*	30
1.34-30	1842/f	2.19/f	(180/f <sup>2</sup> )*	30
30-300	27.5	0.073	0.2	30
300-1,500	--	--	f/1,500	30
1,500-100,000	--	--	1.0	30

Table 4-1

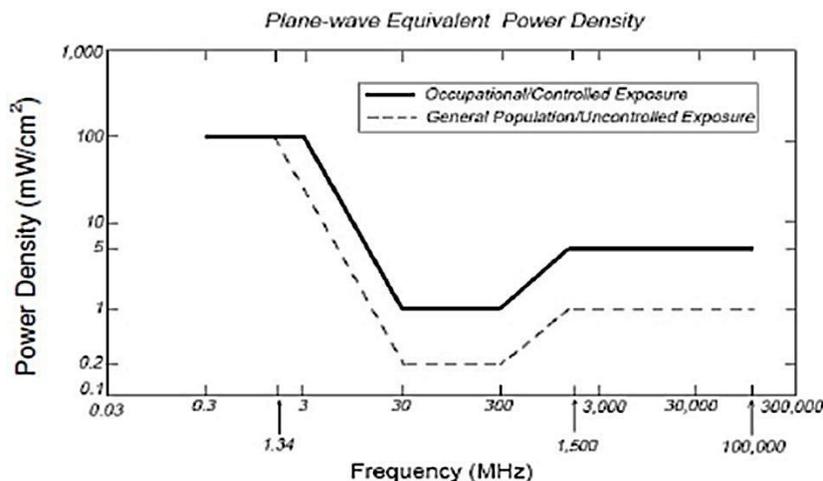


Figure 4-2

## Exhibit C

Site ID: SV89037A

Based on the above, the most restrictive thresholds for exposures of unlimited duration to RF energy for several personal wireless services are summarized below:

Personal Wireless Service	Approximate Frequency	Occupational MPE	Public MPE
Personal Communication (PCS)	1,950 MHz	5.00 mW/cm <sup>2</sup>	1.00 mW/cm <sup>2</sup>
Cellular Telephone	870 MHz	2.90 mW/cm <sup>2</sup>	0.58 mW/cm <sup>2</sup>
Specialized Mobile Radio	855 MHz	2.85 mW/cm <sup>2</sup>	0.57 mW/cm <sup>2</sup>
Most Restrictive Freq. Range	30-300 MHz	1.00 mW/cm <sup>2</sup>	0.20 mW/cm <sup>2</sup>

Table 4-2

Personal Communication (PCS) facilities used by T-Mobile in this area operate within a frequency range of 600-2500 MHz. Facilities typically consist of:

- 1) Electronic transceivers (the radios or cabinets) connected to wired telephone lines; and
- 2) Antennas that send the wireless signals created by the transceivers to be received by individual subscriber units (PCS telephones). Transceivers are typically connected to antennas by coaxial cables.

Because of the short wavelength of PCS services, the antennas require line-of-site paths for good propagation, and are typically installed above ground level. Antennas are constructed to concentrate energy towards the horizon, with as little energy as possible scattered towards the ground or the sky. This design, combined with the low power of PCS facilities, generally results in no possibility for exposure to approach Maximum Permissible Exposure (MPE) levels, with the exception of areas directly in front of the antennas.

### Statement of Compliance

A site is considered out of compliance with FCC regulations if there are areas that exceed the FCC exposure limits and there are no RF hazard mitigation measures in place. Any carrier which has an installation that contributes more than 100% of the applicable MPE must participate in mitigating these RF hazards.

Site ID: SV89037A

### 5.0 SAFETY RECOMMENDATIONS

#### Occupational Safety and Health Administration (OSHA) Requirements

OSHA requires that those in the Occupational classification must complete training in RF Safety, RF Awareness, and Utilization of Personal Protective Equipment. OSHA also provides options for Hazard Prevention and Control:

Hazard Prevention	Control
<ul style="list-style-type: none"> <li>Utilization of good equipment</li> <li>Enact control of hazard areas</li> <li>Limit exposures</li> <li>Employ medical surveillance and accident response</li> </ul>	<ul style="list-style-type: none"> <li>Employ Lockout/Tag out</li> <li>Utilize personal alarms &amp; protective clothing</li> <li>Prevent access to hazardous locations</li> <li>Develop or operate an administrative control program</li> </ul>

#### RF Signage and Barriers

All RF signs should be obeyed by at all times.



If there are workers in an area with a sign that they do not understand, they can call the NOC Number at 877-611-5868 for guidance.

## 6.0 FEDERAL COMMUNICATIONS COMMISSION (FCC) LIMITS

### 6.1 Contribution to Co-Located areas

Any wireless operator that contributes 5% or greater of the MPE limit in an area that is identified to be greater than 100% of the MPE limit is responsible taking corrective actions to bring the site into compliance. All co-located sites should have a separate 5% modeling that shows only T-Mobile antennas transmitting. This separate modeling indicates T-Mobile's contribution in all areas that is recognized to be greater 100% MPE limits.

### 6.2 Occupational Limits

Apply in situations in which persons are exposed as a consequence of their employment provided those persons are fully aware of the potential for exposure and can exercise control over their exposure. Limits for occupational/controlled exposure also apply in situations when an individual is transient through a location where occupational/controlled limits apply provided he or she is made aware of the potential for exposure.

### 6.3 General population limits

Apply in situations in which the general public may be exposed, or in which persons that are exposed as a consequence of their employment may not be fully aware of the potential for exposure or cannot exercise control over their exposure. (Those without significant and documented RF Safety & Awareness training)

### 6.4 Controlled Environment

Applies to environments that are restricted or "controlled" in order to prevent access from members of the General Population classification.

### 6.5 Uncontrolled Environment

Applies to environments that are unrestricted or "uncontrolled" that allow access from members of the General Population classification.

### 6.6 Generic Values

The use of "Unknown" for an operator means the information with regard to the carrier, their FCC license and / or antenna information was not available. Generic values used as estimation for Effective Radiated Power (ERP) and antenna characteristics for unknown antennas.

# Exhibit C

Site ID: SV89037A

## 7.0 MITIGATION DIAGRAM

The site needs the following mitigation and/or compliance plan.

The compliance determination is based on theoretical modeling, RF signage placement recommendations, proposed antenna inventory and the level of restricted access to the antennas at the site. At the time of our analysis, T-Mobile will be compliant with the FCC rules and regulations, as described in OET Bulletin 65 upon implementation of below remediation and/or compliance recommendations.

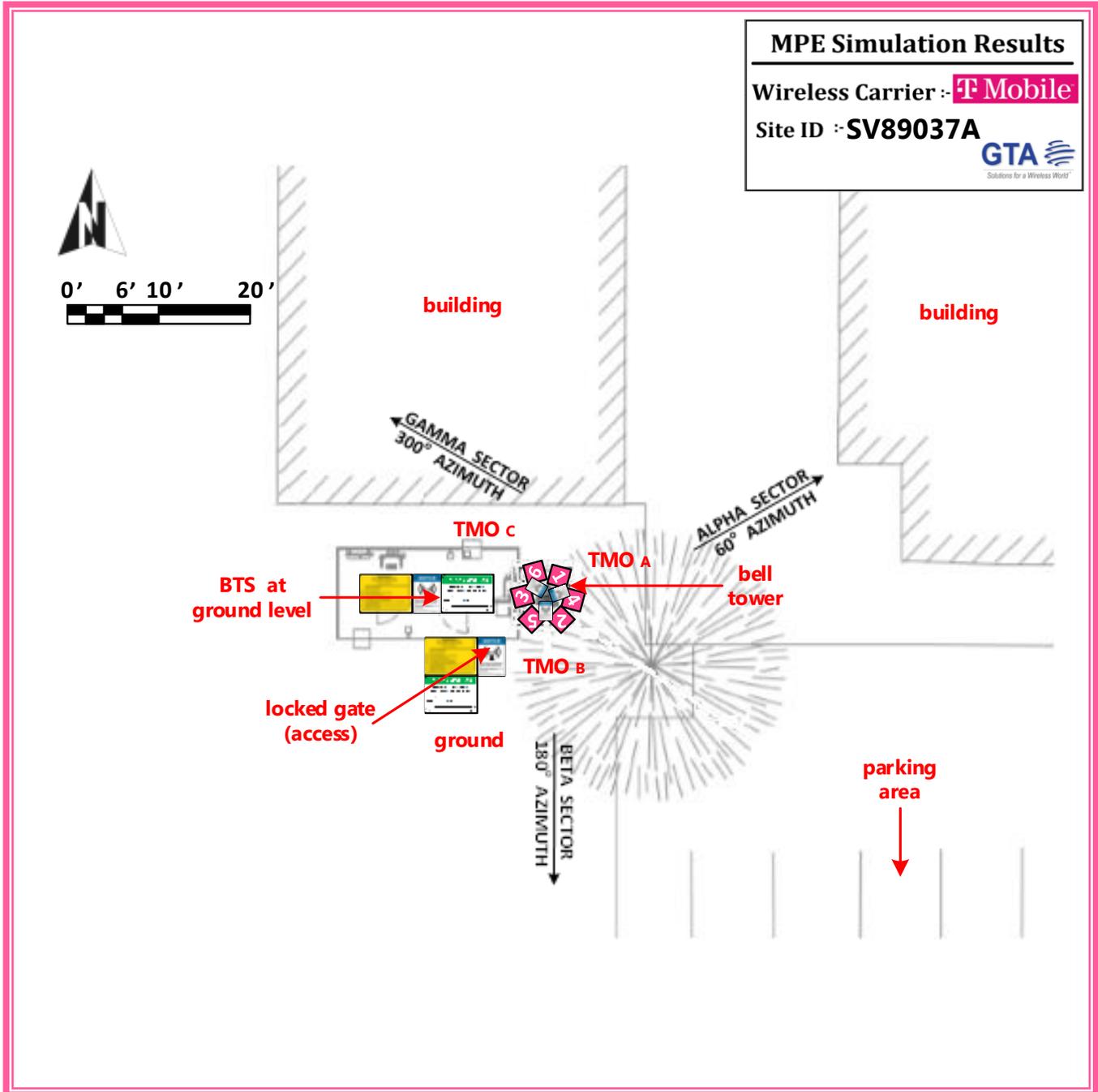
### On building:

Recommendations for Site Compliance						
	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER & CHAIN
Access Point(s)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> barriers & chains
Sector Alpha	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> barriers & chains
Sector Beta	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> barriers & chains
Sector Gamma	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> barriers & chains
Equipment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> barriers & chains

**CAUTION:** - The table above represents EVERY compliance item that MUST be implemented by the carrier at the site location; please see the Site Plan shown in diagram 1.

It is recommended to have periodic inspections of the components that are involved in radiation of RF energy. Periodic Electromagnetic Emission (EME) measurement should be conducted to reevaluate the RF radiation level at this site.

Diagram 1: Site Scale Plan



◆ T-Mobile Antennas  
●—●—●—● Barrier & Chain  
▶ ENTRY    Important Notes

GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO

Standard uses 'exposure limits of 1.0 mW/cm2 for occupational and 5.0 mW/cm2 for non-occupational'

## 8.0 SUMMARY

This report was prepared for the use of T-Mobile. It was performed in accordance with generally accepted practices of other consultants undertaking similar studies at the same time and in the same locale under like circumstances. The conclusions provided by GTA are based solely on the information provided by T-Mobile. The observations in this report are valid on the date of the investigation. Any additional information that becomes available concerning the site should be provided to GTA so that our conclusions may be revised and modified, if necessary. This report has been prepared in accordance with Standard Conditions for Engagement and authorized proposal, both of which are integral parts of this report. No other warranty, expressed or implied, is made.

All calculations performed for this analysis yielded results that were within the allowable limits for exposure to RF Emissions. Based on predictive modeling, **there are no modeled exposures on any accessible roof-level walking/working surface** related to T-Mobile's equipment in the area that exceed the FCC's **occupational** exposure limits at this site. Any of the modeled exposure areas exceeding the **occupational** limits need to follow the mitigation plan proposed in the report in order to bring the site to the compliance.

**At roof-level the anticipated maximum predictive RF-EME at T-Mobile facility will be 18.8% of FCC's occupational limit.** This was determined through calculations along a radial from each sector taking full power values into account as well as actual vertical plane antenna gain values per the manufacturer-supplied specifications for gain. Based on worst-case predictive modeling, there are no areas at ground level related to the proposed antennas that exceed the FCC's occupational or general public exposure limits at this site. **At ground level, the maximum power density generated by the antennas is approximately 94% of FCC'S general public limit (18.8% of the FCC's occupational limit).**

A site is considered out of compliance with FCC regulations if there are areas that exceed the FCC exposure limits and there are no RF hazard mitigation measures in place. Any carrier which has an installation that contributes more than 5% of the applicable MPE must participate in mitigating these RF hazards.

Modeling indicates that there will be no accessible areas on the walking/working surfaces at the roof-level in front of the T-Mobile antennas that may exceed the FCC standards for general population and/or occupational exposure after implementation of mitigation measures. To reduce the risk of exposure and/or injury, GTA recommends that access to the **building** or areas associated with the active antenna installation or mitigation measures are restricted and secured where possible.

In order to alert any workers potentially accessing the site, a blue Notice sign and a yellow Guidelines sign are recommended for installation at the access to the rooftop/structure.

## Exhibit C

Site ID: SV89037A

### 9.0 CERTIFICATION

This report has been prepared under the direction of the following Registered Professional Engineer:

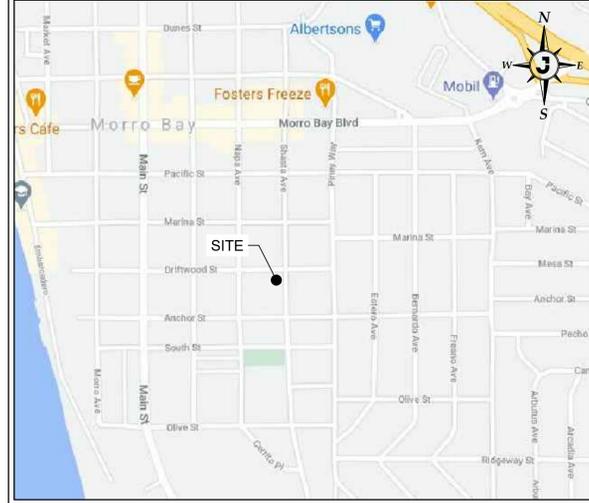
I **Michael A. McGuire PE**, on the date indicated near my seal below hereby certify that:

I am registered as a Professional Engineer with License number listed below and that I am thoroughly familiar with the Regulations of the Federal Communication Commission (FCC), both in general and specifically as they apply to FCC guidelines for human exposure to Radiofrequency electromagnetic radiation and the EME predictive analysis for site identified as **SV89037A** located at **545 Shasta Avenue Morro Bay, CA 93442**, has performed on **August 11, 2021** in order to determine where there might be electromagnetic energy that is in excess of both the Controlled Environment and Uncontrolled Environment levels; and that I have thoroughly reviewed this Site Compliance Report and believe it to be true and accurate to the best of my knowledge.



sealed 13aug2021 Electrical Engineer

### VICINITY MAP



**SITE NUMBER:** SV89037A (SPRINT RETAIN)  
**SITE NAME:** SN60XC182 - ST. PETER'S EPISCOPAL CHURCH  
**SITE TYPE:** BUILDING  
**CITY:** MORRO BAY  
**COUNTY:** SAN LUIS OBISPO COUNTY  
**JURISDICTION:** CITY OF MORRO BAY

### DIRECTIONS TO THE SITE

FROM T-MOBILE OFFICE: 4100 GUARDIAN ST, STE 101, SIMI VALLEY, CA 93063  
 HEAD SOUTHWEST ON GUARDIAN ST TOWARD TAPO CANYON RD. TURN RIGHT ONTO TAPA CANYON RD. TURN RIGHT TO MERGE ONTO CA-118 WEST AND HEAD TOWARD VENTURA. KEEP STRAIGHT TO GET ONTO CA-23 S / MILITARY INTELLIGENCE SERVICE MEMORIAL HWY. AT EXIT 12B, HEAD RIGHT ON THE RAMP FOR US-101 NORTH TOWARD VENTURA. AT EXIT 101B, HEAD RIGHT ON THE RAMP FOR STATE ST TOWARD CACHUMA LAKE / SAN MARCOS PASS. KEEP STRAIGHT TO GET ONTO CALLE REAL. BEAR RIGHT ONTO CA-154 / SAN MARCOS PASS RD. AT THE ROUNDABOUT, TAKE THE 2ND EXIT. TAKE THE RAMP ON THE RIGHT FOR US-101 NORTH AND HEAD TOWARD SANTA MARIA. AT EXIT 203B, HEAD RIGHT ON THE RAMP FOR CA-1 NORTH TOWARD HEARST CASTLE / MORRO BAY. BEAR RIGHT ONTO TORO ST, THEN IMMEDIATELY TURN RIGHT ONTO WALNUT ST. TURN RIGHT ONTO CA-1 / SANTA ROSA ST. AT EXIT 278, HEAD ON THE RAMP RIGHT AND FOLLOW SIGNS FOR MORRO BAY BLVD. KEEP STRAIGHT TO GET ONTO MORRO BAY BLVD. AT THE ROUNDABOUT, TAKE THE 2ND EXIT TO CONTINUE ON MORRO BAY BLVD. TURN LEFT ONTO SHASTA AVE. AFTER 0.2 MILES THE SITE WILL BE ON YOUR RIGHT.

HEIGHT	
TOP OF AVERAGE NATURAL GRADE	100.14'
AVERAGE NATURAL GRADE	99.81'
BOTTOM OF AVERAGE NATURAL GRADE	99.49'

CHURCH SETBACK				LOT COVERAGE (SQ.FT) (EXISTING & NEW BLDNG)		
SOUTH	NORTH	WEST	EAST	BLDNG No.1	BLDNG No.2	CHURCH
108'-7"	107'-5"	30'-10"	95'-4"	2655.6	3186.5	36.0

CONFIGURATION = 67E5A998E 6160

### PROJECT DESCRIPTION

T-MOBILE PROPOSES TO MODIFY (E) WIRELESS TELECOMMUNICATION SITE BY:

**\*\*NO MICROWAVE**  
**\*\*DROP AND SWAP FROM STEEPLE TO BELL TOWER NEAR EQUIPMENT AREA**

- ADD (3) RFS - FFVV-65A-R2-V1 (4 FT) OCTOPORT ANTENNA, 1 PER SECTOR
- ADD (3) AIR6449, 1 PER SECTOR
- ADD (3) RADIO 4460, (1) PER SECTOR, CONNECT TO OCTOPORT
- ADD (3) RADIO 4480, (1) PER SECTOR, CONNECT TO OCTOPORT
- ADD (1) ENCLOSURE 6160 SITE SUPPORT CABINET & (1) B160 BATTERY CABINET
- ADD (1) DUG20 (GSM)/RBS 6601 INSIDE 6160
- ADD (3) BB6648 IN 6160 CABINET, (1) FOR L21/L1 9, (1) FOR L700/L600/NR600 AND (1) FOR L2500/NR2500.
- ADD (3) 6X24 HCS (30M 4AWG) FOR AIR6449,RADIO 4460 AND RADIO 4480.
- ADD (2) PSU 4813 VOLTAGE BOOSTER FOR AIR6449 AND RADIO 4480.
- ADD (1) NEW IXRE ROUTER

EXISTING LOADING:	FINAL LOADING:
(1) SPRINT ANTENNAS	(3) FFVV-65A-R2-V1 (4') ANTENNAS
(3) SPRINT RADIOS	(3) AIR6449 B41 ANTENNAS
	(3) RADIO 4480 B71+B85
	(3) RADIO 4460 B25+B66

**OPERATIONS**  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**RF ENGINEER**  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**CONSTRUCTION MANAGER**  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**SITE ACQUISITION AGENT**  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**LANDOWNER**  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**PROGRAM MANAGER**  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**ZONING/PERMITTING**  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

### SITE SUMMARY

PROJECT TYPE:	SPRINT RETAIN
RFDS VERSION:	1
RFDS APPROVED:	12/03/21
STRUCTURE TYPE:	BUILDING
LATITUDE:	35.36271600 (NAD 83)
LONGITUDE:	-120.84704500 (NAD 83)
COUNTY:	SAN LUIS OBISPO COUNTY
PARCEL APN:	066-144-011
RAD CENTER:	23'-0" AGL
TOP OF ANTENNAS:	24'-4" & 25'-0" AGL
TOP OF BELL TOWER:	25'-0" AGL
JURISDICTION:	CITY OF MORRO BAY
ZONING CLASSIFICATION:	CR
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY CATEGORY:	U

**CONTRACTOR NOTE:**  
 CONTRACTOR TO VERIFY CONDITIONS OF THE EXISTING WIRELESS INSTALLATION PRIOR TO MODIFICATION. IF THE CONDITIONS ARE NOT AS PER THE ORIGINAL INSTALLATION OR THE SUPPORTING STRUCTURE HAS BEEN MODIFIED OR DETERIORATED, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY.

### PROJECT DIRECTORY

SITE ADDRESS:	545 SHASTA AVENUE MORRO BAY, CA 93442
APPLICANT:	T-MOBILE 4100 GUARDIAN ST, STE 101 SIMI VALLEY, CA 93063
OWNER:	EPISCOPAL CHURCH 545 SHASTA AVENUE MORRO BAY, CA 93442
A&E DESIGN:	JACOBS TELECOMMUNICATIONS, INC. 2600 MICHELSON DRIVE, SUITE 500 IRVINE, CA 92612 CONTACT: SEAN O'SULLIVAN (949) 501-8705
SITE ACQUISITION:	JACOBS TELECOMMUNICATIONS, INC. 2600 MICHELSON DRIVE, SUITE 500 IRVINE, CA 92612 CONTACT: MICHELLE THOMPSON (916) 710-5837
CONSTRUCTION MANAGER:	T.B.D.

**ACCESSIBILITY REQUIREMENTS:**  
 THE FACILITY IS UNMANNED AND NOT FOR CONTINUOUS HUMAN HABITATION. HANDICAPPED ACCESS IS NOT REQUIRED PER CBC 2019, SECTION 11B-203.4 (LIMITED ACCESS SPACES) SECTION 11B-203.5 (MACHINERY SPACES)

**LEGAL DESCRIPTION:**  
 SEE SURVEY

**"CALL BEFORE YOU DIG"**  
**WWW.SC811.ORG**  
 CALL 811  
 CALL TOLL FREE  
**1-800-227-2600**  
 TWO WORKING DAYS BEFORE YOU DIG

### SHEET INDEX

SITE SPECIFIC SHEETS		REV.	DATE
T-1	TITLE SHEET	9	10/18/22
T-2	WATER-PROOFING, PENETRATION AND GENERAL NOTES	3	07/06/21
T-3	ABBREVIATIONS, SPECIFICATIONS & SYMBOLS	3	07/06/21
T-4	GENERAL STRUCTURAL NOTES	3	07/06/21
C-1	TOPOGRAPHIC SURVEY	9	10/18/22
A-1	OVERALL SITE PLAN	9	10/18/22
A-2	GROUND EQUIPMENT LAYOUT PLAN	7	01/25/23
A-3	ANTENNA LAYOUT PLAN	6	01/25/23
A-4	ELEVATIONS	9	10/18/22
A-5	ELEVATIONS	9	10/18/22
A-6	ELEVATIONS	9	10/18/22
A-7	ELEVATIONS	9	10/18/22
A-8	PLUMBING DIAGRAM AND ANTENNA SCHEDULE	5	12/15/21
D-1	DETAILS AND SPECS	5	12/15/21
D-2	DETAILS AND SPECS	3	07/06/21
D-3	DETAILS AND SPECS	3	07/06/21
D-4	DETAILS AND SPECS	5	12/15/21
D-5	DETAILS AND SPECS	1	01/25/23
D-6	BATTERY SPECS	5	12/15/21
D-7	TOWER DETAIL	6	01/25/23
G-1	GROUNDING NOTES & DIAGRAMS	5	12/15/21
E-1	PANEL SCHEDULE & SINGLE LINE DIAGRAM	1	01/25/23
T-1	TITLE SHEET	1	01/25/23
N1	NOTES & SPECIFICATIONS	1	01/25/23
S1	ELEVATION VIEW	1	01/25/23
S2-S4	DETAILS	1	01/25/23
S5	FOUNDATION	1	01/25/23

**CODE COMPLIANCE:**

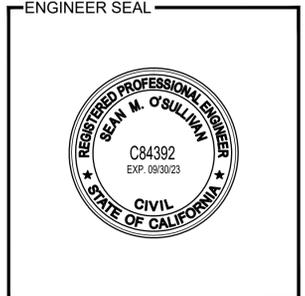
- CALIFORNIA ADMINISTRATIVE CODE (INCL. TITLES 24 & 25) 2019
- CALIFORNIA BUILDING CODE 2019
- CALIFORNIA ELECTRICAL CODE 2019
- CALIFORNIA MECHANICAL CODE 2019
- CALIFORNIA PLUMBING CODE 2019
- ANSI/TIA-222 H
- LOCAL BUILDING CODES
- CITY / COUNTY ORDINANCES
- CALIFORNIA FIRE CODE 2019 EDITION
- ASCE 7-16
- ACI 318-2014

PREPARED BY  
**JACOBS**  
 Challenging today.  
 Reinventing tomorrow.  
 Jacobs Telecommunications, Inc.  
 2600 MICHELSON DRIVE #500  
 IRVINE, CALIFORNIA 92612  
 PHONE: 949-224-7500  
 FAX: 949-224-7501

### DESIGN REVISIONS

NO.	DATE	REVISIONS	BY
11	04/03/23	CITY COMMENTS	SL
10	01/25/23	CITY COMMENTS	SL
9	11/17/22	CITY COMMENTS	NS
8	08/10/22	CITY COMMENTS	MW
7	04/13/22	REVISED CDS	NS
6	12/22/21	REVISED CDS	MW
5	12/15/21	REVISED PER NEW RFDS	MW

NOT VALID WITHOUT SIGNATURE AND DATE



PREPARED FOR  
**Sprint** | **T-Mobile**  
 4100 GUARDIAN ST.  
 SUITE # 101  
 SIMI VALLEY, CA 93063

SITE NUMBER: SV89037A  
 SITE NAME: SN60XC182 - ST. PETER'S EPISCOPAL CHURCH  
 SITE ADDRESS: 545 SHASTA AVENUE MORRO BAY, CA 93442  
 PREPARED BY: SMO  
 APPROVED BY: W. PRUITT  
 DESIGNED BY: W. PRUITT  
 PROJECT NO: EUTM0401  
 DATE: 06/14/2021  
 SHEET NAME: TITLE SHEET  
 SHEET NUMBER: T-1

**ROOFING & WATERPROOFING NOTES**

- CONTRACTOR SHALL CONTACT THE BUILDING OWNER TO DETERMINE IF ROOF IS UNDER WARRANTY. CONTRACTOR SHALL GUARANTEE THAT ANY AND ALL NEW ROOFING WORK MEETS THE SPECIFICATION OF ANY EXISTING ROOFING WARRANTIES SUCH THAT THE WARRANTY IS NOT MADE INVALID AS A RESULT OF THIS WORK. IF IT IS DETERMINED THAT THE ARCHITECT'S DETAILING IS INADEQUATE OR IMPROPER OR IF ANY OTHER DISCREPANCY IS FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE CLIENT PROJECT MANAGER IN WRITING. ULTIMATELY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE ORIGINAL ROOF MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL USE METHODS AND MATERIALS SIMILAR AND COMPATIBLE WITH EXISTING MATERIALS & CONDITIONS FOR ROOF PATCHING, NEW PENETRATIONS, ETC.
- THE CONTRACTOR SHALL PROPERLY SEAL ALL NEW ROOF & BUILDING ENVELOPE PENETRATIONS SUCH THAT THE INTEGRITY OF THE ORIGINAL BUILDING ASSEMBLY AND ALL APPLICABLE WARRANTIES ARE MAINTAINED.
- IF IT DEEMED NECESSARY TO REMOVE EXISTING FINISHED AND/OR MATERIALS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING FINISHES AND MATERIALS TO LINE-NEW CONDITIONS. CONTRACTOR SHALL MAINTAIN THE ORIGINAL COLORS, TEXTURES & FINISHES UNLESS SPECIFICALLY NOTED TO THE CONTRARY OR APPROVED T-MOBILE CONSTRUCTION MANAGER IN ADVANCE.
- AT THE CLIENT CONSTRUCTION MANAGER'S DISCRETION, THE CONTRACTOR SHALL PROVIDE ROOFTOP WALKPADS TO ALL NEW EQUIPMENT INCLUDING ANTENNAS AND BTS UNITS AND ALONG COAX CABLE ROUTING, ON CONVENTIONAL ROOFING, THE WALK PADS SHALL BE "DUCK BOARDS" AS MANUFACTURED BY APC OR EQUAL. ON SPECIAL ROOFING SYSTEMS SUCH AS SINGLE MEMBRANE ROOFS WILL REQUIRE A SPECIFIC PRODUCT AS NOTED ON PLANS OR AS REQUIRED BY NOTES 1 & 2 ABOVE.

**PENETRATION AT FIRE RATED ASSEMBLIES NOTES**

- AT THE CLIENT PROJECT MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE "HILTI" HIGH PERFORMANCE FIRESTOP SYSTEM #FS601 AT ALL FIRE RATED PENETRATIONS INSTALLED PER MANUFACTURER'S LATEST INSTALLATION SPECIFICATIONS.
- ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED SO AS TO MAINTAIN AN EQUAL OR GREATER FIRE RATING.

**GENERAL NOTES**

- THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
- THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATION.
- THIS FACILITY IS AN UNOCCUPIED T-MOBILE TELECOMMUNICATIONS SITE AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL FIELD CONDITIONS AFFECTING THE PROPOSED PROJECT INCLUDING DEMOLITION, ELECTRICAL, MECHANICAL AND STRUCTURAL INSTALLATIONS, AS WELL AS WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS AND SHALL CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH THE CONSTRUCTION. SHOULD ANY ERRORS, OMISSION, OR DISCREPANCIES BE FOUND, THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY JACOBS AND THE PROJECT ENGINEER IN WRITING. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR, OMISSION, OR INCONSISTENCY AFTER THE START OF THE CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE APPROVED BY THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL INCLUDE IN HIS OR HER BID ALL MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE THE WORK AS INDICATED OR IMPLIED BY THESE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE ANY SUBCONTRACTORS OR WORKMEN ARE IN THE SITE AND SHALL SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:
 

NCRA	NATIONAL ROOFING CONTRACTORS ASSOCIATION O'HARE INTERNATIONAL CENTER 10255 W. HIGGINS ROAD, SUITE 600 ROSEMONT, IL 60018
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION 4201 LAFAYETTE CENTER DRIVE CHATILLY, VA 22021-1209
ITLP	INTERNATIONAL INSTITUTE FOR LATH AND PLASTER 820 TRANSFER ROAD ST. PAUL, MN 55114-1406
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS PRECEDENCE.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL GIVE ALL NOTICES AND SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY ALL FAULTY, INFERIOR, AND/OR IMPROPER MATERIALS, DAMAGED GOODS, AND/OR FAULTY WORKMANSHIP FOR ONE (1) YEAR AFTER THE PROJECT IS COMPLETE AND ACCEPTED UNDER THIS CONTRACT, UNLESS NOTED OTHERWISE IN THE

- CONTRACT BETWEEN THE OWNER AND CONTRACTOR. (EXCEPTION) THE ROOFING SUBCONTRACTOR SHALL FURNISH A MAINTENANCE AGREEMENT FOR ALL WORK DONE, COSIGNED BY THE GENERAL CONTRACTOR, TO MAINTAIN THE ROOFING IN A WATER TIGHT CONDITION FOR A PERIOD OF TWO (2) YEARS STARTING AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT, UNLESS OTHERWISE WRITTEN IN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR.
- THE GENERAL CONTRACTOR MUST PERFORM WORK DURING PROPERTY OWNER'S PREFERRED HOURS TO AVOID DISRUPTION OF NORMAL ACTIVITY.
  - ALL EXPOSED METAL SHEET SHALL BE HOT-DIPPED GALVANIZED.
  - PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA CONSTRUCTION.
  - THE GOVERNING AGENCIES, CODE AUTHORITIES, AND BUILDING INSPECTORS SHALL PROVIDE THE MINIMUM STANDARDS FOR CONSTRUCTION TECHNIQUES, MATERIALS, AND FINISHES USED THROUGHOUT THE PROJECT TRADE STANDARDS AND/OR PUBLISHED MANUFACTURERS SPECIFICATIONS MEETING OR EXCEEDING DESIGN REQUIREMENTS SHALL BE USED FOR INSTALLATION.
  - PRIOR TO STARTING CONSTRUCTION OF THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK.
  - A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES.
  - IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDUMS, OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT DRAWINGS TO THE ENGINEER AND THE LANDLORD/LESSOR AT THE CONCLUSION OF THE PROJECT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE FROM THE START TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE AT ALL TIMES FOR THE LANDLORD/LESSOR PERSONNEL.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY POWER, WATER AND TOILET FACILITIES.
  - ALL CONSTRUCTION PHASES OF THE PROJECT SHALL CONFORM TO THE CURRENT CBC-2019, I.B.C.-2018 AND ALL OTHER GOVERNING CODES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. THE ENGINEER WILL NOT ADVISE OR PROVIDE DIRECTION AS TO SAFETY PRECAUTIONS AND PROGRAMS.
  - THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND/OR INSPECTIONS TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF THE SAID DOCUMENT.
  - ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHALL APPROVED MATERIALS TO FILL/SEAL PENETRATIONS THROUGH THE FIRE RATE ASSEMBLIES.
  - (N) CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.
  - WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
  - ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
  - ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT DAILY. PREMISES SHALL BE LEFT IN A CLEAN/SWEPT CONDITION AT ALL TIMES.
  - ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS.
  - THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES AND SEQUENCES OF PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTORS SHALL BID WALK THE PROJECT TO ASCERTAIN CONDITIONS WHICH MAY ADVERSELY AFFECT THE WORK OR COST THEREOF.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE (N) WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR THE FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUBCONTRACTOR(S).
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK. GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY

- OF ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS, PRIOR TO STARTING WORK.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES.
  - ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF WORK, SHALL BE REMOVED AND SHALL BE CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
  - NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ENGINEER. UNAUTHORIZED CHANGES RENDER THESE DRAWINGS VOID.
  - ANY REFERENCES TO THE WORDS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUBCONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED.
  - A PRE-CONSTRUCTION CONFERENCE OF REPRESENTATIVES FROM AFFECTED AGENCIES SHALL BE HELD ON THE JOB AT LEAST ONE (1) WEEK PRIOR TO BEGINNING CONSTRUCTION.
  - DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCES, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE, AND THIS SET OF PLANS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY, UNLESS NOTED OTHERWISE. CONTRACTOR SHALL PROVIDE FIELD MEASUREMENTS AS NECESSARY TO COMPLETE ALL WORKS AND THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ANYTHING ELSE DEEMED NECESSARY TO COMPLETE INSTALLATIONS AS DESCRIBED HEREIN. JACOBS IS NOT RESPONSIBLE FOR ANY ERRORS RESULTING FROM THIS PRACTICE WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS.
  - DETAILS INCLUDED HEREIN ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS OR SITUATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.
- SITE PREPARATION**
- THE PREPARATION OF THE SITE FOR CONSTRUCTION SHALL INCLUDE THE REMOVAL OF ALL BROKEN CONCRETE, TREE TRUNKS AND ANY OTHER DEBRIS THAT MIGHT DAMAGE THE FOOTINGS OF THE (N) STRUCTURE.
  - BACKFILL ALL TRENCHES WITH CLEAN, STERILE SOIL HAVING A SAND EQUIVALENT OF 30% OR GREATER. BACKFILL IN 8 INCH LAYERS, MOISTURE CONDITIONED AND PROPERLY COMPACTED. ADEQUATE DRAINAGE SHALL BE PROVIDED SUCH THAT NO PONDING OCCURS.
  - ALL FOUNDATION FOOTINGS SHALL EXTEND INTO AND BEAR AGAINST NATURAL UNDISTURBED SOIL OR APPROVED COMPACTED FILL. FOOTINGS SHALL EXTEND INTO SOIL DEPTH AS INDICATED IN PLANS.
  - SHOULD ANY LOOSE FILL, EXPANSIVE SOIL, GROUND WATER OR ANY OTHER UNEXPECTED CONDITIONS BE ENCOUNTERED DURING THE EXCAVATION FOR THE (N) FOUNDATION, THE ENGINEER SHALL BE NOTIFIED AND ALL FOUNDATION WORK SHALL CEASE IMMEDIATELY.
  - WITHIN AN AREA A MINIMUM OF 5 FEET BEYOND THE BUILDING LIMITS, EXCAVATE A MINIMUM OF 4" OF EXISTING SOIL REMOVE ALL ORGANICS, PAVEMENT, ROOTS, DEBRIS AND OTHERWISE UNSUITABLE MATERIAL.
  - THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED BY PROBING OR TESTING TO CHECK FOR POCKETS OF SOFT OR UNSUITABLE MATERIAL. EXCAVATE UNSUITABLE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
  - PROOF ROLL THE SURFACE OF THE EXPOSED SUBGRADE WITH A LOADED TANDEM AXLE DUMP TRUCK. REMOVE ALL SOILS WHICH PUMP OR DO NOT COMPACT PROPERLY AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
  - FILL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL. PLACE IN 8" LOOSE LIFTS AND THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-698. COMPACT TO A MINIMUM OF 90% RELATIVE COMPACTION
  - ANY STRUCTURAL DRAWINGS HERE IN REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY AND INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - THE ENGINEER IS NOT RESPONSIBLE FOR COMPLICATIONS, DAMAGES, INJURY, OR DEATH ARISING OUT OF ANY KIND OF NEGLIGENCE PRIOR TO COMPLETION OF THE FINISHED STRUCTURE.
  - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO (N) OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.
  - WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.
  - PRIOR TO PROCEEDING WITH ANY WORK WITHIN AN EXISTING FACILITY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.

**SHOP DRAWING REVIEW**

- REVIEW BY THE ENGINEER IS FOR GENERAL COMPLIANCE WITH THE DESIGN CONCEPT AND THE CONTRACT DOCUMENTS. MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, NOR DEPARTURES THERE FROM. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTION FABRICATION PROCESSES.

**LANDLORD/LESSOR NOTES**

- A PRECONSTRUCTION CONFERENCE OF REPRESENTATIVES FROM APPLICABLE AGENCIES SHALL BE HELD ON SITE AT LEAST ONCE PRIOR TO BEGINNING CONSTRUCTION AT WHICH TIME A CONSTRUCTION SCHEDULE AND 24-HOUR CONTACT INFORMATION SHALL BE PROVIDED TO LANDLORD/LESSOR.
- CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE AT ALL TIMES FOR LANDLORD/LESSOR PERSONNEL. OPEN TRENCHES SHALL BE PROPERLY PLATED AT THE END OF EACH WORKING DAY TO ALLOW FOR 24-HOUR LANDLORD/LESSOR ACCESS TO THE SITE.
- THE CONTRACTOR AND CELL CARRIER SHALL BE RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES TO THE EXISTING SITE AND SHALL RETURN DAMAGED FACILITIES TO EXISTING CONDITION OR BETTER AT NO COST TO THE LANDLORD/LESSOR.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (DIG ALERT) AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION AT 1-800-422-4133.
- ALL (N) AND EXISTING FACILITIES OWNED BY THE REPRESENTED CELLULAR CARRIER SHALL BE PROPERLY TAGGED IDENTIFYING THE OWNER'S NAME AND 24-HOUR PHONE NUMBER.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE SITE IS SECURE DURING BOTH WORKING AND NON-WORKING HOURS.

**ACCESSIBILITY EXCEPTION NOTES**

- SECTION 11B-203.4: LIMITED ACCESS SPACES - SPACES NOT CUSTOMARILY OCCUPIED AND ACCESSED ONLY BY LADDERS, CATWALKS, CRAWL SPACES OR VERY NARROW PASSAGEWAYS SHALL NOT BE REQUIRED TO COMPLY WITH THESE REQUIREMENTS OR TO BE ON AN ACCESSIBLE ROUTE.
- SECTION 11B-203.5: MACHINERY SPACES - SPACES FREQUENTED ONLY BY SERVICE PERSONNEL FOR MAINTENANCE, REPAIR OR OCCASIONAL MONITORING OF EQUIPMENT SHALL NOT BE REQUIRED TO COMPLY WITH THIS REQUIREMENT OR TO BE ON AN ACCESSIBLE ROUTE. MACHINERY SPACES INCLUDE, BUT ARE NOT LIMITED TO, ELEVATOR PITS OR ELEVATOR PENTHOUSES; MECHANICAL, ELECTRICAL OR COMMUNICATIONS EQUIPMENT ROOMS; PIPING OR EQUIPMENT CATWALKS; WATER OR SEWAGE TREATMENT PUMP ROOMS AND STATIONS; ELECTRIC SUBSTATIONS AND TRANSFORMER VAULTS; AND HIGHWAY AND TUNNEL FACILITIES.

**GENERAL RF NOTES**

- ALL ANTENNAS AND ANTENNA CABLE SHALL BE FURNISHED BY T-MOBILE WIRELESS AND INSTALLED BY ANTENNA INSTALLATION CONTRACTOR.
- PRIOR TO INSTALLATION OF ANTENNAS THE CONTRACTOR SHALL VERIFY THAT THE AZIMUTH AND DIMENSIONS SHOWN ON THE PLANS MATCH ACTUAL FIELD CONDITIONS.
- ANTENNA INSTALLATION CONTRACTOR SHALL PROVIDE ALL CONDUIT, CABLE TRAYS, GROUND KITS, CLAMPS, GROUNDS, ETC., FOR COMPLETE INSTALLATION OF ANTENNAS AND CABLES SHOWN AND INTENDED AS REQUIRED FOR A COMPLETE OPERATING SYSTEM IN ACCORDANCE WITH T-MOBILE WIRELESS STANDARDS.
- ANTENNA CONDUIT SHALL INCLUDE FACTORY-MADE LARGE RADIUS SWEEPS AT ALL CHANGES IN DIRECTION. SWEEP RADIUS SHALL BE AS REQUIRED TO MEET COAX MANUFACTURER'S MINIMUM BENDING RADIUS.
- ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC WITH STEEL BENDS. ALL EXPOSED CONDUIT ABOVE GRADE LEVEL SHALL BE IMC OR RIGID GALVANIZED. ALL EXPOSED CONDUIT PROTECTED IN A BUILDING OR ON A ROOF SHALL BE EMT OR UV STABILIZED, PAINTED, SCHEDULE 80 PVC.
- IN HIGH TRAFFIC AREAS OR WHERE SUSCEPTIBLE TO DAMAGE CONTRACTOR SHALL PROVIDE FORMED 14 GA GALVANIZED SHEET METAL COVER OVER COAXIAL CABLE ROUTES. WHERE CABLE IS RUN ON THE WALL, ATTACH UNISTRUT TO WALL AND COVER WITH 14 GA GALVANIZED FORMED SHEET METAL COVER OR MATERIAL AS DIRECTED BY T-MOBILE WIRELESS PROJECT MANAGER.
- VERIFY ROUTE AND LENGTH OF CABLE PRIOR TO CUTTING. ADJUST INDICATED ROUTE AS REQUIRED TO CLEAR EXISTING OBSTRUCTIONS AND MAINTAIN REQUIRED CLEARANCE FROM EXISTING EQUIPMENT AND FACILITIES.
- MAXIMUM LENGTH OF 7/8" COAXIAL CABLE SHALL BE 140'-0". MAXIMUM LENGTH OF 1-5/8" COAXIAL CABLE SHALL BE 240'-0".
- VERIFY MODEL NUMBERS OF ANTENNAS WITH T-MOBILE WIRELESS SERVICES.
- THE CONTRACTOR SHALL PROVIDE TESTING OF ANTENNAS AND SHALL PROVIDE DOCUMENTATION TO THE T-MOBILE WIRELESS PROJECT MANAGER.
- INSTALL EMBOSSED ALUMINUM IDENTIFICATION TAGS AT THE END OF THE MAIN COAXIAL CABLE RUNS, ALONG WITH THE END OF THE JUMPER CABLE LOCATED WITHIN THE PLINTH SECTION OF THE BTS UNIT.

**WATER-PROOFING, PENETRATION AND GENERAL NOTES**

SCALE: N/A

1

PREPARED BY \_\_\_\_\_



Challenging today.  
Reinventing tomorrow.

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DESIGN REVISIONS

NO.	DATE	REVISIONS	BY
11	04/03/23	CITY COMMENTS	SL
10	01/25/23	CITY COMMENTS	SL
9	11/17/22	CITY COMMENTS	NS
8	08/10/22	CITY COMMENTS	MW
7	04/13/22	REVISED CDs	NS
6	12/22/21	REVISED CDs	MW
5	12/15/21	REVISED PER NEW RFDS	MW

NOT VALID WITHOUT SIGNATURE AND DATE

ENGINEER SEAL



PREPARED FOR



4100 GUARDIAN ST.  
SUITE # 101  
SIMI VALLEY, CA 93063

SITE NUMBER: SV89037A

SITE NAME: SN60XC182 - ST. PETER'S EPISCOPAL CHURCH

SITE ADDRESS: 545 SHASTA AVENUE MORRO BAY, CA 93442

PREPARED BY: \_\_\_\_\_  
APPROVED BY: SMO  
DESIGNED BY: W. PRUITT  
PROJECT NO: EUTM0401  
DATE: 06/14/2021

SHEET NAME: WATER-PROOFING, PENETRATION AND GENERAL NOTES

SHEET NUMBER: T-2



**GENERAL NOTES**

- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND CBC-2019 SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND CONDITIONS OF ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE STRUCTURAL ENGINEER IMMEDIATELY AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
- STRUCTURAL DRAWINGS SHALL WORK IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- DESIGN, MATERIALS, EQUIPMENT, AND PRODUCTS OTHER THAN THOSE DESCRIBED OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.
- ALL CONDITIONS SHOWN OR NOTED AS EXISTING ARE BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS. NO WARRANTY IS IMPLIED TO THEIR ACCURACY. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS. SHOULD CONDITIONS BECOME APPARENT THAT DIFFER FROM THE CONDITIONS SHOWN, THEY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PROFESSIONAL ENGINEER. PROFESSIONAL ENGINEER WILL THEN PREPARE ADDITIONAL DRAWINGS AS MAY BE NEEDED TO ACCOMMODATE THE CONDITIONS AS BROUGHT TO THEIR ATTENTION.
- MECHANICAL EQUIPMENT MUST BE FIRMLY ATTACHED TO THE STRUCTURE. ISOLATORS, FASTENERS, AND OTHER ELEMENTS PROVIDING STABILITY FOR MECHANICAL EQUIPMENT SHALL BE CAPABLE OF TRANSMITTING CODE REQUIRED LOADS, BUT IN NO EVENT LESS THAN A SHEAR LOAD EQUIVALENT TO 0.45 TIMES THE OPERATING WEIGHT OF THE EQUIPMENT.
- WATERPROOFING: SEE ARCHITECTURAL DRAWINGS.
- THE FOUNDATION DESIGN IS BASED ON CBC-2019 TABLE 1806.2. ALLOWABLE SOIL BEARING VALUE IS 1500.
- THE NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
- TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.

**CONCRETE**

- ALL POURED-IN-PLACE CONCRETE SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. UNLESS OTHERWISE NOTED, CEMENT TO BE TYPE-8 FROM TESTED STOCK PER ASTM C-150.
- CONCRETE FORM TOLERANCES SHALL BE WITHIN THE STANDARDS SET BY THE AMERICAN CONCRETE INSTITUTE.
- ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS OR OTHER INSERTS SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR PRIOR TO THE POURING OF ANY CONCRETE.
- NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATIONS.
- FORM EXPOSED CORNERS OF COLUMNS, BEAMS, WALLS, ETC. WITH 3/4" CHAMFERS UNLESS DETAILED OTHERWISE.
- PROVIDE LIGHT BROOM FINISH ON ALL EXPOSED CONCRETE UNLESS NOTED OTHERWISE.

**REINFORCING STEEL**

- REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60 U.N.O.
- BARS SHALL BE CLEAN OF MUD, OIL, OR OTHER COATINGS LIKELY TO IMPAIR BONDING.
- ALL REINFORCING SHALL BE SECURED IN PLACE PRIOR TO PLACING CONCRETE OR GROUTING MASONRY. ALL REINFORCING SHALL BE CHAIRED TO ENSURE PROPER CLEARANCES. SUPPORT OF FOUNDATION REINFORCING MUST PROVIDE ISOLATION FROM MOISTURE/CORROSION BY USE OF A PLASTIC OR CONCRETE CHAIR. DUCT-TAPE IS NOT AN ACCEPTABLE MOISTURE/CORROSION PROTECTION.
- REINFORCING STEEL SHALL BE SPLICED AS SHOWN OR NOTED. SPLICES AT OTHER LOCATIONS SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER. ALL VERTICAL WALL REINFORCEMENT SHALL BE CONTINUOUS BETWEEN SPLICE LOCATIONS SHOWN IN THE DRAWINGS.
- ALL GRADE 60 REINFORCING TO BE WELDED SHALL BE ASTM A706.
- CLEAR CONCRETE COVERAGE IS AS FOLLOWS:  

CLEAR AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
EXPOSED TO EARTH OR WEATHER	
#6 OR LARGER	2"
#5 AND SMALLER	1-1/2"
COLUMNS (TO TIES)	1-1/2"
BEAMS (TO STIRRUPS)	1-1/2"
FLAT SLABS	3/4"
WALLS	SEE SCHEDULE AND OR DETAILS
ALL OTHER PER LATEST EDITION OF ACI 318	

**STRUCTURAL STEEL**

- THE LABOR, MATERIALS AND EXECUTION REQUIRED FOR ALL CONCRETE WORK AS INDICATED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THOSE APPLICABLE PORTIONS OF CHAPTER 22 OF THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE.
- STRUCTURAL STEEL NOT ENCASED IN CONCRETE SHALL BE SHOP PAINTED WITH TNEMEC99 METAL PRIMER OR APPROVED EQUIVALENT.
- UNLESS NOTED OTHERWISE, ALL BOLTS SHALL BE ASTM A307. THIS INCLUDES EXPANSION/ADHESIVE ANCHORS. BOLTED CONNECTIONS SHALL CONFORM TO AISC SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- UNLESS NOTED OTHERWISE ALL WELDS PER THE LATEST EDITIONS OF THE AWS STANDARDS SHALL CONFORM TO AISC SPECIFICATIONS. WELDING SHALL BE PERFORMED BY WELDERS HOLDING VALID CERTIFICATES AND HAVING CURRENT EXPERIENCE IN THE TYPE OF WELD SHOWN ON THE DRAWINGS OR NOTES. THESE DRAWINGS DO NOT DISTINGUISH BETWEEN SHOP AND FIELD WELDS.
- CONTRACTOR IS PERMITTED TO CUT AND WELD ANTENNA SUPPORT ASSEMBLY ARMS AS NECESSARY TO MEET THE LENGTH REQUIREMENTS IN THE FIELD. WELDS SHALL CONSIST OF A 3/16" FILLET ALL THE WAY AROUND FOR 1/4" THICK STEEL OR LESS AND 3/8" FILLET WELD FOR STEEL 1/2" THICK OR LESS. CONTRACTOR SHALL RESTORE CORROSION BARRIER WITH AN APPROVED PAINT IN ACCORDANCE WITH BS 729-1971 AND PREN 1029."
- MATERIAL CONFORMANCE:  

A. WIDE FLANGE STEEL SECTIONS PER ASTM A572 OR A992 WITH Fy = 50 KSI
B. PIPES SECTIONS PER ASTM A501 WITH Fy = 36 KSI
C. TUBE STEEL SECTIONS PER ASTM A500 WITH Fy = 46 KSI
D. COLD FORMED STEEL PER ASTM A653 WITH Fy = 50 KSI
E. WELDING ELECTRODES PER AWS CODE, E70XX UNLESS NOTED OTHERWISE ON PLANS
F. ALL OTHER MISCELLANEOUS STEEL SHALL BE ASTM A36 WITH Fy = 36 KSI UNLESS NOTED OTHERWISE ON THE PLANS

**ADHESIVE / MECHANICAL ANCHORS**

- ALL POST-INSTALLED ANCHORS SHALL BE PER SIMPSON OR HILTI MANUFACTURING AS INDICATED ON THE PLANS.
- MECHANICAL ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING APPROVAL CODES:  
 FOR SIMPSON STRONG BOLT 2 ANCHORS. INSTALLATION SHALL COMPLY WITH ICC-ES ESR-3037 AND LARR 25891 FOR ANCHORAGE TO CONCRETE, IAPMO ER-240 AND LARR 25936 FOR ANCHORAGE TO MASONRY.  
 FOR HILTI KWIK BOLT ANCHORS, INSTALLATION SHALL COMPLY WITH ICC-ES ESR-1917 AND LARR 25701 FOR ANCHORAGE TO CONCRETE.  
 ADHESIVE ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING APPROVAL CODES:  
 FOR SIMPSON SET-XP EPOXY ANCHORS, INSTALLATION SHALL BE IN ACCORDANCE WITH ICC-ES ESR-2508 AND LARR 25744 FOR ANCHORAGE TO CONCRETE, IAPMO UES ER-265 AND LARR 25965 FOR ANCHORAGE TO MASONRY.  
 FOR HILTI HIT-HY 200 EPOXY ANCHORS, INSTALLATION SHALL BE IN ACCORDANCE WITH ICC ESR-3187 AND LARR 25964 FOR ANCHORAGE TO CONCRETE.
- ALLOW A MINIMUM OF 72 HOURS AFTER NEW CONCRETE IS PLACED PRIOR TO LOCATING MECHANICAL OR ADHESIVE ANCHORS. ALL MECHANICAL/ADHESIVE ANCHORS REQUIRE SPECIAL STRUCTURAL INSPECTION PER THE BUILDING CODE.

**MASONRY**

- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, MEDIUM WEIGHT, GRADE N WITH Fm = 1500 PSI.
- MORTAR TYPE S, Fm = 1800 PSI
- PROVIDE EXPANSION JOINTS IN MASONRY WALLS EVERY 24'-0" O.C.
- VERTICAL REINFORCING SHALL BE 1 #5 VERTICAL IN CENTER OF GROUTED CELL CONTINUOUS FULL HEIGHT OF WALL AT ALL CORNERS, INTERSECTIONS, WALL ENDS, BEAM BEARINGS, JAMBS, EACH SIDE OF CONTROL JOINTS AND AT INTERVALS NOT TO EXCEED 48" O.C. UNLESS NOTED OTHERWISE ON THE PLANS. TIE AT 8'-0" O.C. VERTICALLY WITH SINGLE WIRE LOOP TIE BY AA WIRE PRODUCTS COMPANY OR EQUIVALENT. DOWEL VERTICAL REINFORCING TO FOUNDATION WITH DOWELS TO MATCH VERTICAL REINFORCING.
- HORIZONTAL REINFORCING SHALL CONSIST OF 2 #5 CONTINUOUS AT ELEVATED FRAMING ASSEMBLIES. 1 #5 CONTINUOUS AT TOP OF PARAPETS AND FREESTANDING WALLS. PLACE THESE BARS CONTINUOUS THROUGH CONTROL JOINTS. INSTALL BENT BARS TO MATCH HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS TO MAINTAIN BOND BEAM CONTINUITY. STANDARD WEIGHT (NO. 9 GAGE WIRE) DUR-O-WALL OR DUR-O-WIRE (OR EQUIVALENT) LADDER TYPE JOINT REINFORCING AT 16" O.C. LAP LADDER TYPE JOINT REINFORCING 12" MINIMUM.
- LAP SPLICES FOR VERTICAL AND HORIZONTAL REINFORCING SHALL BE PER TYPICAL DETAILS. DO NOT SPLICE WITHIN 8'-0" OF CONTROL JOINTS.

**WOOD**

- IN STUD WALLS, UNLESS NOTED OTHERWISE, INSTALL DOUBLE STUDS AT ALL JAMBS, CORNERS, INTERSECTIONS AND AT ISOLATED BEARING POINTS OF FRAMING MEMBERS ABOVE. EVERY OTHER STUD OF WOOD FRAME BEARING WALL SHALL HAVE A SIMPSON H3 ANCHOR TOP AND BOTTOM, EXCEPT AT THOSE WALLS WHERE PLYWOOD SHEATHING IS NAILED DIRECTLY TO THE TOP AND BOTTOM PLATES. PROVIDE 2X SOLID BLOCKING AT MID-HEIGHT OF BEARING STUD WALLS.
- SAWN LUMBER FRAMING SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WWPFA OR THE WCLIB. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE MINIMUM PROPERTIES WHICH MEET OR EXCEED THE FOLLOWING WOOD TYPES:

MEMBER	WOOD TYPE
JOISTS	
2X4 (PANELIZED)	D.F. SELECT
2X4	D.F. #2
2X6 OR LARGER	D.F. #2
BEAMS	
WIDTH OF 4" OR LESS	D.F. #1
WIDTH GREATER THAN 4"	D.F. SELECT
LEDGERS AND TOP PLATES	D.F.#2
STUDS	
2X4	D.F. STD
2X6 OR LARGER	D.F. #2
POSTS	
4X4	D.F. #2
6X6 OR LARGER	D.F. SELECT

- GLU-LAMINATED BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,400 PSI, Fy = 240 PSI, E = 1,800,000 PSI. BEAMS CANTILEVERING OVER SUPPORTS SHALL HAVE THE SPECIFIED MINIMUM PROPERTIES TOP AND BOTTOM. ALL BEAMS SHALL BE FABRICATED USING WATERPROOF GLUE. FABRICATION AND HANDLING PER LATEST AITC AND WCLA STANDARDS. BEAMS TO BEAR GRADE STAMP AND AITO STAMP AND CERTIFICATE. CAMBER AS SHOWN ON DRAWINGS. IN THE ABSENCE OF CAMBER SHOWN ON THE PLAN, PROVIDE STANDARD CAMBER. STANDARD CAMBER IS DEFINED AS A RADIUS OF CURVATURE EQUAL TO 2500 FEET.
- PLYWOOD SHALL BE APA "CDX" RATED SHEATHING OR BETTER AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY. LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. (ON ROOFS WHERE PLYWOOD IS LAYED UP WITH FACE GRAIN PARALLEL TO SUPPORTS, USE A MINIMUM OF 5-PLY PLYWOOD). STAGGER JOINTS. ALL NAILING SHALL BE COMMON NAILS UNLESS NOTED OTHERWISE. WHERE SCREWS ARE INDICATED FOR WOOD TO WOOD ATTACHMENTS, USE WOOD SCREWS. ALL PLYWOOD SHALL BE OF THE FOLLOWING NOMINAL THICKNESS, SPAN/INDEX RATIO AND SHALL BE ATTACHED AS FOLLOWS UNLESS NOTED OTHERWISE.

USE	THICKNESS	SPAN/INDEX RATIO	ATTACHMENT EDGE	INTERMEDIATE
ROOF	5/8"	32/16	10d@6" O.C.	10d@12" O.C.
ROOF	3/4"	40/20	10d@6" O.C.	10d@12" O.C.
FLOOR	3/4"	40/20	SCREWS@6" O.C.	SCREWS@12" O.C.
SHEAR WALL	3/8"	24/0	8d@6" O.C.	8d@12" O.C.

**FIBER REINFORCED PLASTIC (FRP)**

- ALL CONNECTIONS SHALL BE 5/8" DIAMETER FIBER BOLTS, U.N.O. (PULTEX 1625 OR EQUIVALENT) AND ALL HOLES UNLESS NOTED OTHERWISE SHALL BE PUNCHED OR DRILLED 1/16" LARGER IN DIAMETER THAN THE BOLTS THEY RECEIVE.
- ALL CONTACT SURFACES OF FRP STRUCTURAL SHAPES AND/OR HYBRID POLYMER COMPOSITE ARCHITECTURAL PANELS SHALL BE BONDED PER MANUFACTURER'S RECOMMENDATIONS. USE 1/4" FRP SCREEN SKIN AND EPOXY GLUE SKIN TO FRAMING MEMBERS WITH 3/8" DIAMETER FIBER BOLTS AT 24" O.C. EIFS SHALL MATCH BUILDING AND BE ATTACHED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL LIQUID NAILS MULTI-PURPOSE CONSTRUCTION ADHESIVE SHALL BE PER MACCO OR APPROVED EQUIVALENT. BONDING SURFACE SHALL BE CAREFULLY PREPARED TO ENSURE A GOOD ADHESIVE BOND BY WIPING THE SURFACE WITH A STERILIZING SOLVENT, REMOVING SURFACE GLOSS BY LIGHT SANDING, APPLY ADHESIVE, AND FASTEN OR CLAMP BONDING SURFACES UNTIL CURED.
- ALL EXPOSED JOINTS AT ARCHITECTURAL PANELS AND SHAPES (EDGES, CORNERS, ETC.) SHALL BE CAULKED WITH AN APPROVED FLEXIBLE POLYURETHANE SEALANT/CAULK.
- ALL OPEN ENDS OR GAPS OF SCREEN FRAMING WHERE WATER SUSCEPTIBLE TO WATER INFILTRATION SHALL BE WEATHER CAPPED OR SEALED BY THE GENERAL CONTRACTOR.
- ALL FRP MATERIAL TO BE LOCATED IN THE CITY OF LOS ANGELES SHALL CONFORM TO LARR 25536.
- ALL FRP MATERIAL SHALL CONFORM TO ASTM D-638, 695, 790, 2344, 732, ADDITIONALLY WITH BOLTS CONFORMING TO ASTM B-565. ALL FRP MATERIAL SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES FOR ALLOWABLE STRESS DESIGN (BASED ON A SAFETY FACTOR OF 7). VALUES ARE REPRESENTED IN KSI.

MECHANICAL PROPERTY	LENGTHWISE	CROSSWISE
TENSILE STRESS Ft	4.3	1.0
COMPRESSIVE STRESS Fc	4.3	2.1
FLEXURAL STRESS Fy	4.3	1.4
MODULUS OF ELASTICITY E	2.8X10 <sup>6</sup>	--
SHEAR Fv	0.6	--
BOLT SHEAR	1.2	--

**SPECIAL STRUCTURAL INSPECTION - STRUCTURAL ONLY**

- SPECIAL STRUCTURAL INSPECTION IS TO BE PROVIDED FOR THE ITEMS LISTED BELOW IN ADDITION TO THE INSPECTIONS CONDUCTED BY THE BUILDING JURISDICTION. SPECIAL STRUCTURAL INSPECTION IS REQUIRED FOR THE FOLLOWING:

VERIFICATION AND INSPECTION	INSPECTION TYPE	PERIODIC	REFERENCE STANDARD
STEEL CONSTRUCTION			
WELDING			
AT FLOOR AND ROOF DECK WELDS	X		AWS D1.3
FOR REINFORCING STEEL	X		AWS D1.4, ACI 318
FOR STRUCTURAL STEEL	X		
CONCRETE CONSTRUCTION			
REINFORCING STEEL	X		ACI 318: 3.5, 7.1-7.7
POST-INSTALLED ANCHORS	X		ACI 318: 3.8.6, 8.1.3, 21.2.8
USE OF REQUIRED DESIGN MIX	X		ACI 318: CHAPER 4, 5.2-5.4
MASONRY CONSTRUCTION			TMS 402 AND 602/ ACI 530/ASCE 5, 6
REINFORCING STEEL		X	
GROUT PLACEMENT	X		
CLEANOUTS PRIOR TO CLOSURE	X		
POST-INSTALLED ANCHORS	X		LARR 25891, LARR 25701 LARR 25965, LARR 25964

- THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED TO BE CERTAIN THAT IT CONFORMS TO THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS. THE SPECIAL INSPECTOR IS NOT AUTHORIZED TO APPROVE DEVIATIONS FROM THE DESIGN DRAWINGS OR SPECIFICATIONS AND ALL DEVIATIONS MUST BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO PROCEEDING WITH THE WORK. ALL REQUESTS FOR DEVIATIONS SHALL BE INITIATED BY THE CONTRACTOR VIA A WRITTEN REQUEST FOR INFORMATION.
- THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL AND TO THE ENGINEER OF RECORD. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED TO THE DESIGN AUTHORITY AND THE BUILDING OFFICIAL.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE SPECIAL INSPECTOR ACCESS TO ALL ITEMS REQUIRING SPECIAL INSPECTION. INSPECTOR IS NOT AUTHORIZED TO OPERATE CONTRACTOR'S EQUIPMENT.
- FOR ADDITIONAL INFORMATION ON SPECIAL STRUCTURAL INSPECTIONS, CONTACT THE ENGINEER OF RECORD PRIOR TO START OF CONSTRUCTION.

PREPARED BY \_\_\_\_\_



Challenging today.  
Reinventing tomorrow.

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IRVINE, CALIFORNIA 92612  
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FAX: 949-224-7501

DESIGN REVISIONS

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9	11/17/22	CITY COMMENTS	NS
8	08/10/22	CITY COMMENTS	MW
7	04/13/22	REVISED CDs	NS
6	12/22/21	REVISED CDs	MW
5	12/15/21	REVISED PER NEW RFDS	MW

NOT VALID WITHOUT SIGNATURE AND DATE

ENGINEER SEAL



PREPARED FOR



4100 GUARDIAN ST.  
SUITE # 101  
SIMI VALLEY, CA 93063

SITE NUMBER

SV89037A

SITE NAME

SN60XC182 - ST. PETER'S EPISCOPAL CHURCH

SITE ADDRESS

545 SHASTA AVENUE  
MORRO BAY, CA 93442

PREPARED BY

APPROVED BY: SMO  
DESIGNED BY: W. PRUITT  
PROJECT NO: EUTM0401  
DATE: 06/14/2021

SHEET NAME

GENERAL STRUCTURAL NOTES

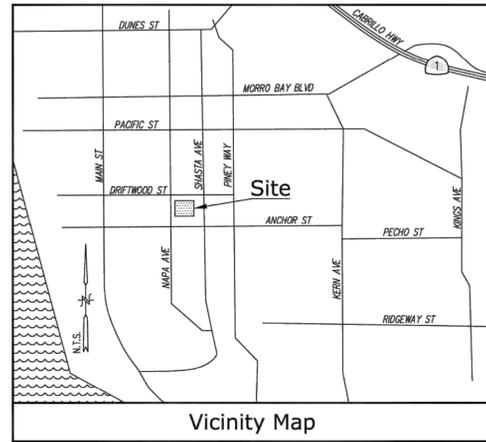
SHEET NUMBER

T-4

**GENERAL STRUCTURAL NOTES**

SCALE: N/A

1



Vicinity Map

**Title Report**

PREPARED BY: FIRST AMERICAN TITLE  
 ORDER NO.: 6847452  
 DATED: JUNE 15, 2022

**Legal Description**

LOTS 1, 2, 3 AND A PORTION OF LOT 4, IN BLOCK 11 OF THE RESURVEY OF A PART OF THE TOWN OF MORRO, IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS CRISPO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF, RECORDED JULY 3, 1927 IN BOOK 2, PAGE 11 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 4, DISTANT THEREON NORTH 44 FEET, 4 INCHES FROM THE SOUTHEASTERLY CORNER OF SAID LOT, SAID POINT BEING THE NORTHEAST CORNER OF THE PROPERTY CONVEYED TO J. C. WATT, ET UX, BY DEED DATED JUNE 8, 1955 AND RECORDED AUGUST 10, 1955 IN BOOK 814, PAGE 224 OF OFFICIAL RECORDS; THENCE NORTH 0° 29' WEST ALONG THE EAST LINE OF SAID LOTS 4, 3, 2, AND 1, 221.7 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 88° 54' WEST, ALONG THE NORTHERLY LINE OF SAID LOT 1, 132 FEET TO THE NORTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 0° 29' EAST, ALONG THE WEST LINE OF SAID LOTS 1, 2, 3, AND 4, 221.7 FEET TO THE NORTHWEST CORNER OF THE PROPERTY CONVEYED TO J. C. WATT, ET UX, BY THE AFORESAID DEED; THENCE NORTH 88° 54' EAST, ALONG THE NORTH LINE OF THE PROPERTY SO CONVEYED, 132 FEET TO THE POINT OF BEGINNING.

**Assessor's Parcel No.**

066-144-011

**Easements**

NO EASEMENTS MENTIONED IN SAID TITLE REPORT

**Access Route/Lease Area**

TO BE DETERMINED

**Geographic Coordinates at Proposed Bell Tower**

1983 DATUM: LATITUDE 35° 21' 45.75" N LONGITUDE 120° 50' 49.30" W  
 ELEVATION = 99.8 FEET ABOVE MEAN SEA LEVEL

**CERTIFICATION:**  
 THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 15 FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATUM (GEOGRAPHIC COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DEGREES (°), MINUTES (') AND SECONDS (") TO THE NEAREST HUNDREDTH OF A SECOND. THE VERTICAL DATUM (ELEVATIONS) IS IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

**Basis of Bearings**

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 5, (2021.75) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING LEICA SMARTNET NORTH AMERICA (S.N.A.) CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.):

S.N.A. CAAT:  
 NORTHING = 2368339.76' EASTING = 5771466.85'

S.N.A. CADE:  
 NORTHING = 2465002.83' EASTING = 6192593.98'

**Benchmark**

THE SMARTNET NORTH AMERICA C.O.R.S. CAAT, ELEVATION 980.47 FEET (NAVD 88).

**Date of Survey**

MARCH 24, 2022

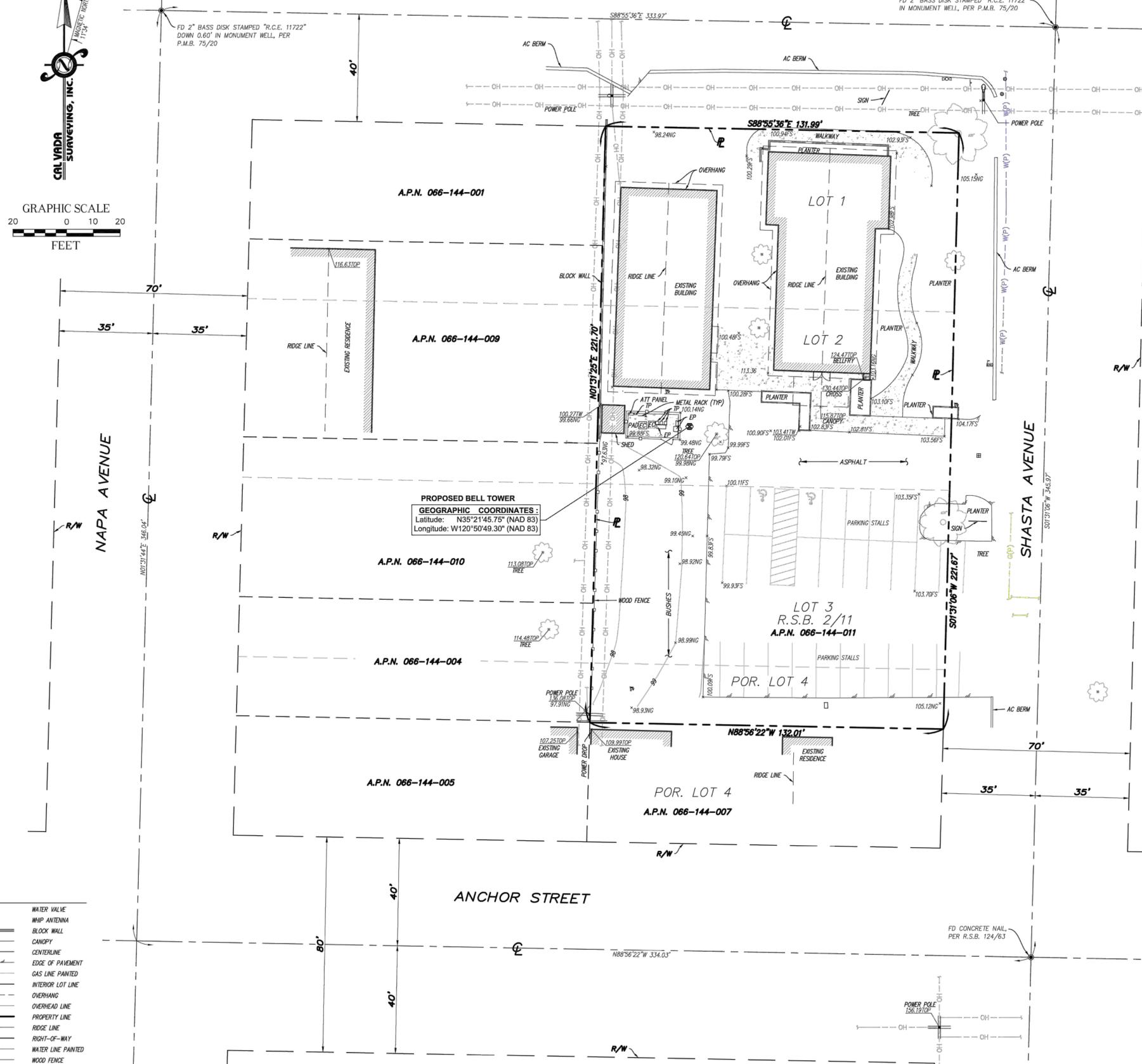
**Legend**

APN	ASSESSOR'S PARCEL NUMBER	CONCRETE PAVEMENT	WATER VALVE
CL	CENTERLINE	DOOR	WHIP ANTENNA
Ø	DIAMETER OF EXISTING TREE	FIRE HYDRANT	BLOCK WALL
EC	ELECTRIC CABINET	FOUND MONUMENT AS NOTED	CANOPY
EP	ELECTRIC PANEL	GATE	CENTERLINE
FS	FINISH SURFACE	HANDICAP	EDGE OF PAVEMENT
NG	NATURAL GROUND	LIGHT STANDARD	GAS LINE PAINTED
OT	OVERHANG TOP	MAIL BOX	INTERIOR LOT LINE
PL	PROPERTY LINE	POWER POLE	OVERHANG
R/W	RIGHT OF WAY	POWER POLE W/TRANSFORMER	OVERHEAD LINE
TP	TELCO PANEL	POWER POLE W/LIGHT	PROPERTY LINE
TB	TOP OF BERM	SIGN	RIDGE LINE
TOP	TOP OF STRUCTURE	TREE (TYPICAL)	RIGHT-OF-WAY
TW	TOP OF WALL	WATER FAUCET	WATER LINE PAINTED
TYP	TYPICAL	WATER METER	WOOD FENCE



**Boundary & Overall Site Detail**

SCALE: 1"=20'



PREPARED FOR:  
**Sprint**  
 Together with NEXTEL  
 310 COMMERCE, IRVINE, CA 92602  
 PHONE: (714) 368-3500 FAX: (714) 368-3501

A&E BY:  
**JACOBS**  
 Jacobs Engineering Group, Inc.  
 3161 MICHELSON DRIVE, SUITE 500  
 IRVINE, CALIFORNIA 92612  
 PHONE: 949-250-1816 FAX: 949-224-7501

PREPARED BY:  
**CAL VADA SURVEYING, INC.**  
 411 Jenks Cir., Suite 205, Corona, CA 92880  
 Phone: 951-280-9960 Fax: 951-280-9746  
 Toll Free: 800-CALVADA www.calvada.com  
 LICENSED LAND SURVEYOR  
 No. 10142  
 State of California  
 L.S. 7780  
 Date Signed: 10/14/2022  
 JOB NO. 22233

DESIGN REVISION:

NO.	DATE	REVISIONS	BY
1	07-19-22	TITLE/FINAL	NS
0	04-11-22	SUBMITTAL	GV

NOT VALID WITHOUT SIGNATURE AND DATE

VERIZON SITE ID:  
**SV89037A**  
 545 SHASTA AVE.  
 MORRO BAY, CA 93442  
 SAN LUIS OBISPO COUNTY

TOWER OWNER SITE ID:  
 PREPARED BY:  
 APPROVED BY: GBM  
 DESIGNED BY: GV  
 PROJECT NO: 22233  
 DATE: 04/11/22

DRAWING NAME:  
**TOPOGRAPHIC SURVEY**

DRAWING NUMBER:  
**C-1**

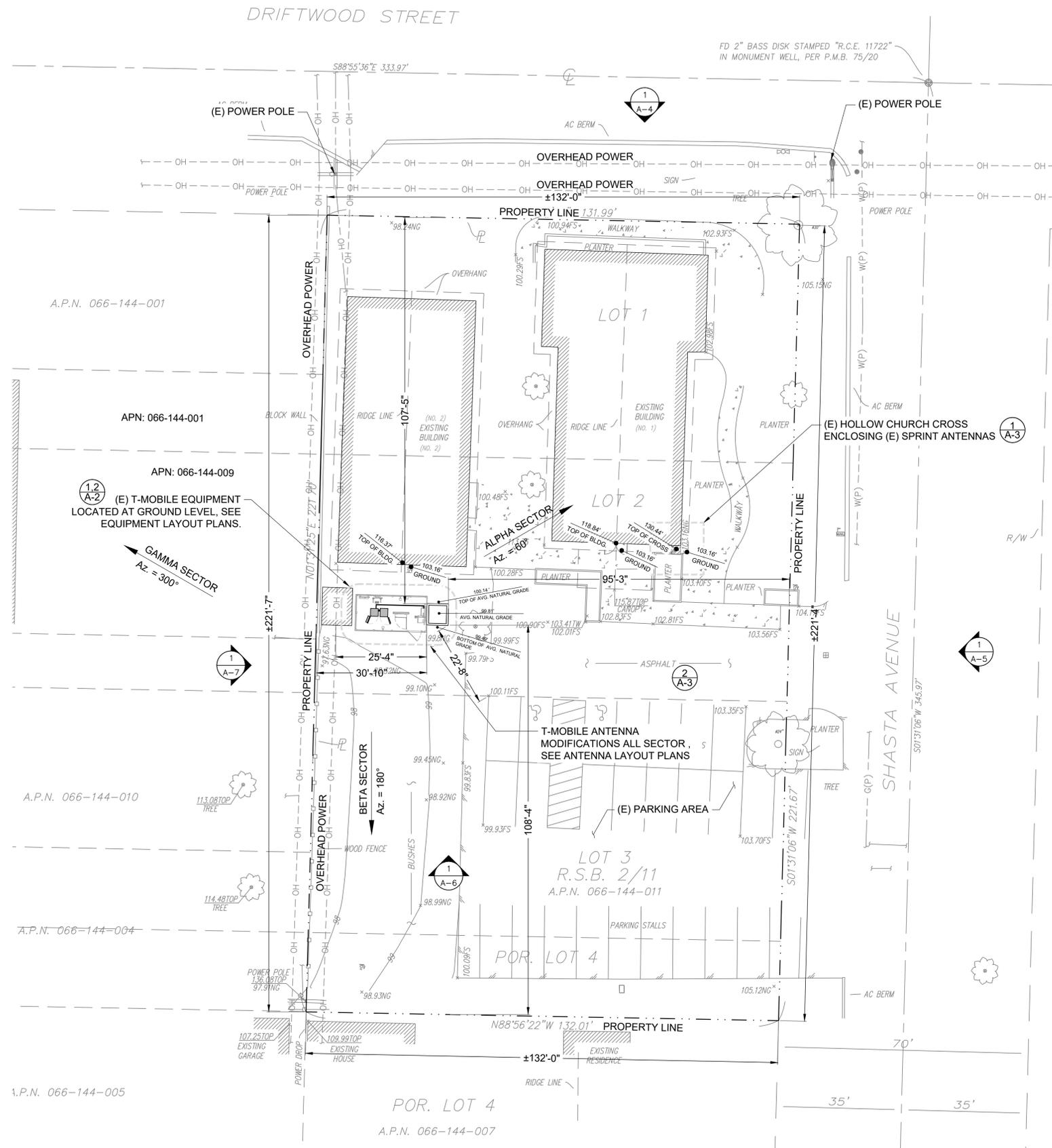
**GENERAL NOTES:**

1. SUBJECT PROPERTY IS KNOWN AS 066-144-011, AS SHOWN ON THE CITY OF MORRO BAY WEBSITE, AND IS SITUATED AT 545 SHASTA AVENUE MORRO BAY, CA.
2. THIS SITE DESIGN HAS BEEN PREPARED WITHOUT THE BENEFIT OF AN AS-BUILT SURVEY. SLIGHT VARIATIONS MAY EXIST BETWEEN THIS SITE PLAN AND TRUE DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
3. THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.

**SPRINT STANDARD SAFETY COMPLIANCE NOTES:**

AS OUTLINED BELOW, THE CONTRACTOR SHALL INSPECT THE SPRINT EQUIPMENT AREA AND ACCESS PATHS TO THE EQUIPMENT FOR OSHA VIOLATIONS. VIOLATIONS SHALL BE CORRECTED. DISCREPANCIES OR QUESTIONS REGARDING THE OSHA SCOPE OF WORK SHALL BE DIRECTED TO THE SPRINT CM.

1. RF RADIATION SIGNS SHALL BE INSTALLED AT ROOFTOP DOORS AND EACH SECTOR.
2. HOLES IN PLATFORM WALKING SURFACES SHALL BE COVERED AND SECURED WITH CARRIAGE BOLTS.
3. SECURE ALL NEW COAX AND CABLES WITH SNAP BLOCKS: 3' INCREMENTS FOR HORIZONTAL RUNS AND 4' INCREMENTS FOR VERTICAL RUNS.
4. INSTALL A NON-SLIP PATH LEADING TO THE SPRINT LEASE AREA.
5. HANDRAILS SHALL BE INSTALLED WITHIN 15' OF WORKING/WALKING SURFACES WHEN THE PARAPET OR THE EXPOSED WALKING EDGES RAILING IS LESS THAN 42" ABOVE WALKING EDGE.
6. TRIP HAZARDS NEAR WORKING/WALKING SURFACES SHALL BE MARKED WITH HIGH VISIBILITY AND PAINT OR TAPE.
7. INSTALL A CROSSOVER STAIR WHEN OBSTRUCTIONS PREVENT A DIRECT WALKING PATH TO THE SPRINT LEASE AREA.
8. PLATFORM LADDERS SHALL HAVE A CHAIN AT THE TOP WHICH CAN BE SECURED TO PREVENT ACCIDENTAL FALLS.
9. OVERHEAD OBSTRUCTIONS NEAR WORKING AND WALKING SURFACES THAT REQUIRE A PERSON TO DUCK NEED HIGH VISIBILITY PAINT OR TAPE.
10. LIGHTS NEAR THE ROOFTOP DOOR AND OR LEASE AREA SHALL BE VERIFIED AND MADE FUNCTIONAL FOR AFTER-HOURS WORK.
11. THERE SHOULD BE NO SCREWS THAT CAUSE A PENETRATIONS INTO ANY CABINETS THAT ARE NOT FACTORY PROVIDED.
12. THE CONTRACTOR SHALL PAINT ANTENNAS TO MATCH THE BUILDING ON ROOFTOP SITES.
13. VERIFY THAT THE BACK OF THE BATTERY CABINETS SHALL HAVE AT LEAST 24" CLEARANCE AND A LABEL THAT SAYS "TWO-PERSON LIFT".



PREPARED BY  
**Jacobs.**  
 Challenging today.  
 Reinventing tomorrow.  
 Jacobs Telecommunications, Inc.  
 2600 MICHELSON DRIVE #500  
 IRVINE, CALIFORNIA 92612  
 PHONE: 949-224-7500  
 FAX: 949-224-7501

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ENGINEER SEAL

PREPARED FOR

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 SUITE # 101  
 SIMI VALLEY, CA 93063

SITE NUMBER  
 SV89037A

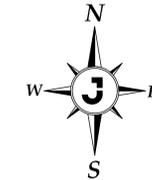
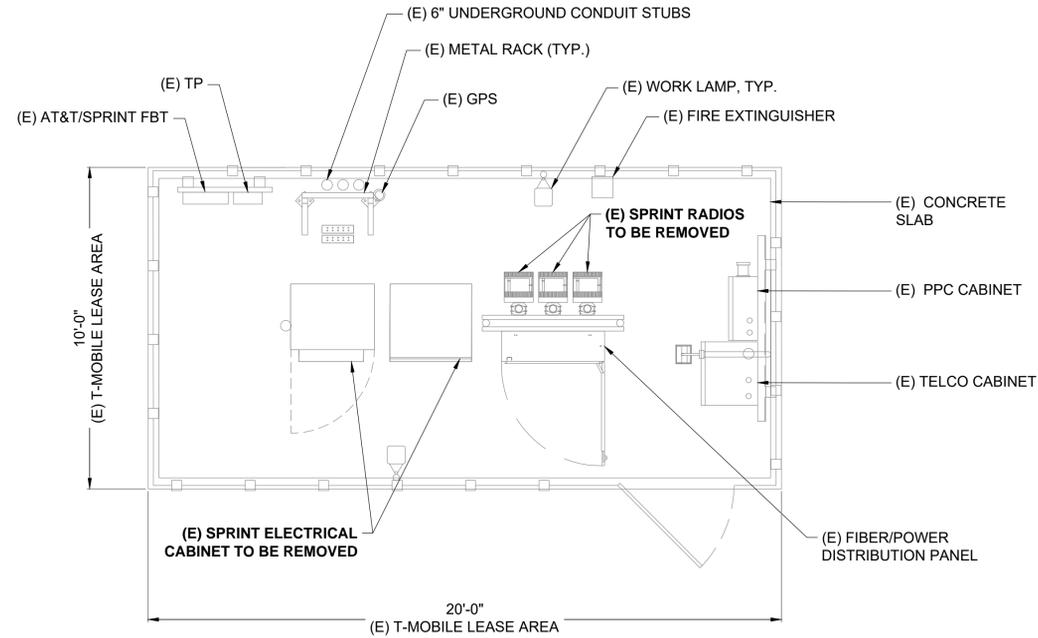
SITE NAME  
 SN60XC182 - ST. PETER'S EPISCOPAL CHURCH

SITE ADDRESS  
 545 SHASTA AVENUE  
 MORRO BAY, CA 93442

PREPARED BY: SMO  
 APPROVED BY: W. PRUITT  
 DESIGNED BY: W. PRUITT  
 PROJECT NO: EUTM0401  
 DATE: 06/14/2021

SHEET NAME  
 OVERALL SITE PLAN

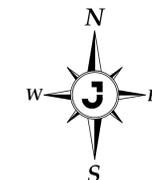
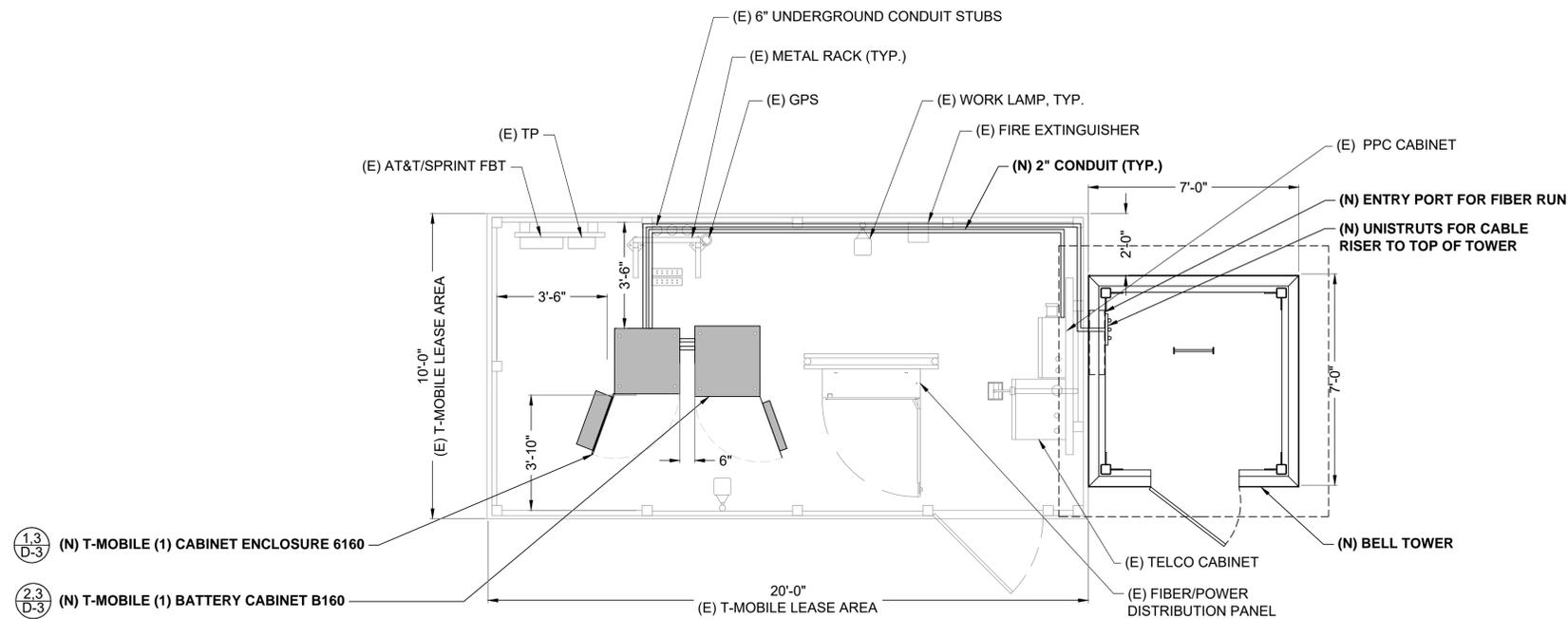
SHEET NUMBER  
**A-1**



(E) GROUND EQUIPMENT LAYOUT PLAN

3/8" = 1'-0"

2



(N) GROUND EQUIPMENT LAYOUT PLAN

3/8" = 1'-0"

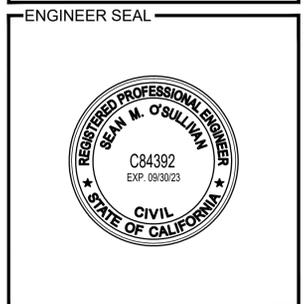
1

PREPARED BY  
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 2600 MICHELSON DRIVE #500  
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 MORRO BAY, CA 93442

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 APPROVED BY: SMO  
 DESIGNED BY: W. PRUITT  
 PROJECT NO: EUTM0401  
 DATE: 06/14/2021

SHEET NAME  
 GROUND EQUIPMENT LAYOUT PLAN

SHEET NUMBER  
**A-2**

PREPARED BY

# Jacobs.

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IRVINE, CALIFORNIA 92612  
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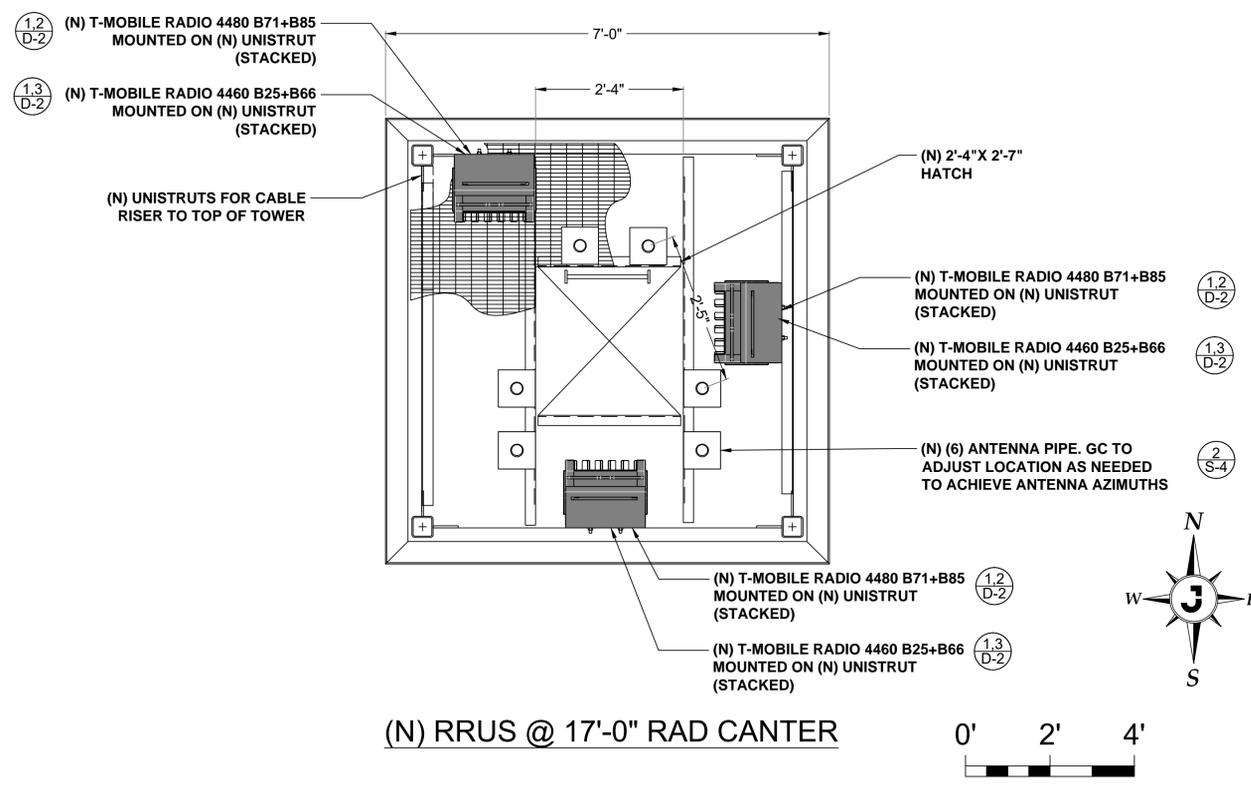
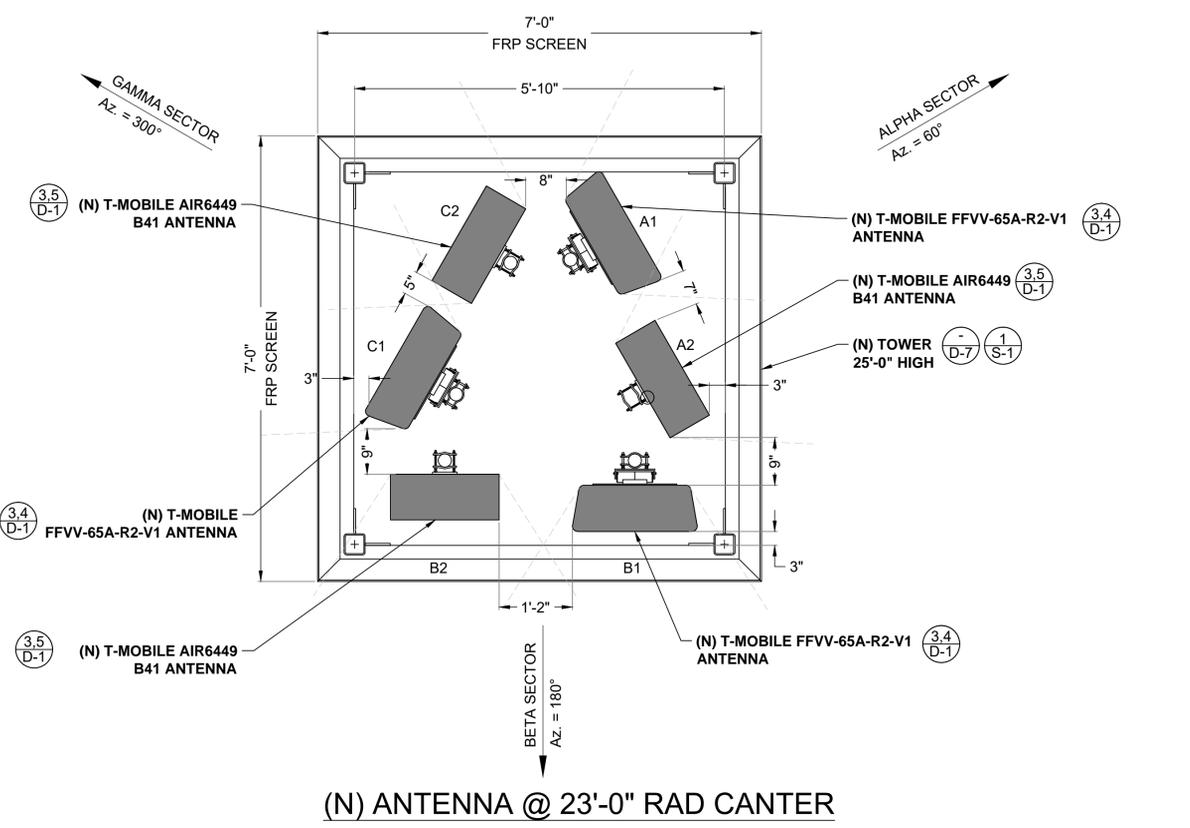
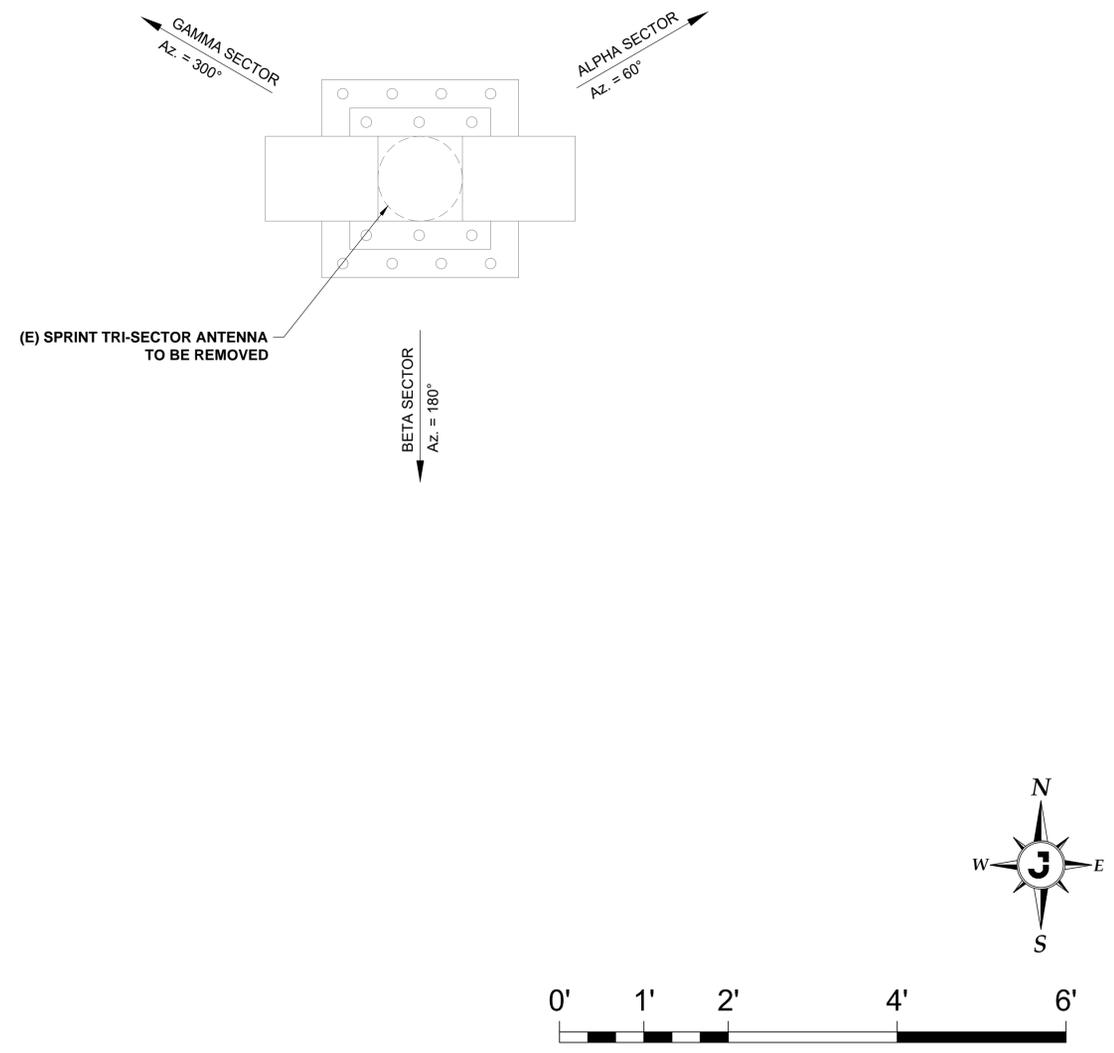
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PREPARED BY  
APPROVED BY: SMO  
DESIGNED BY: W. PRUITT  
PROJECT NO: EUTM0401  
DATE: 06/14/2021

SHEET NAME  
ANTENNA LAYOUT PLAN

SHEET NUMBER  
**A-3**

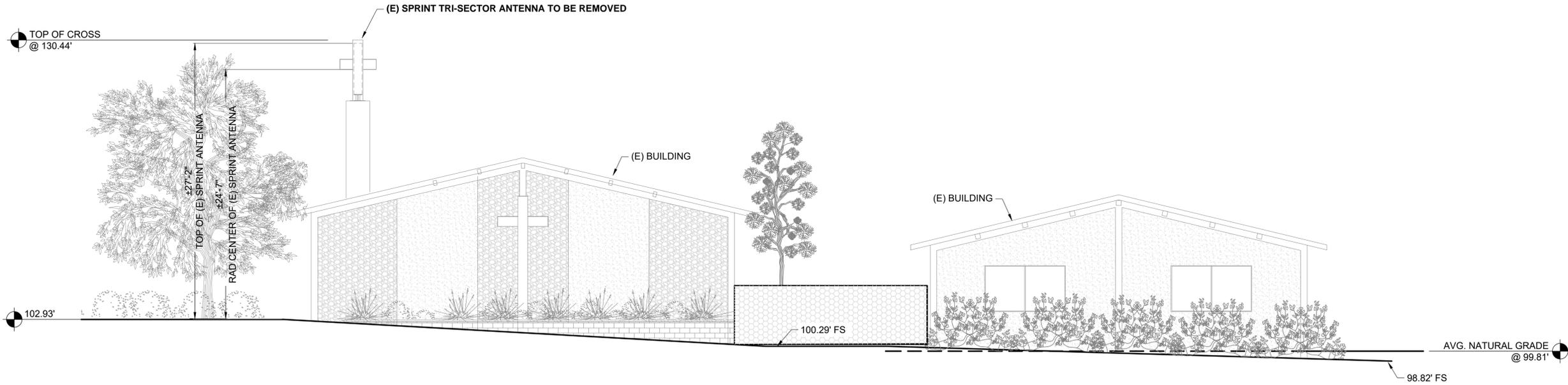


(E) ANTENNA LAYOUT PLAN

1" = 1'-0" 2

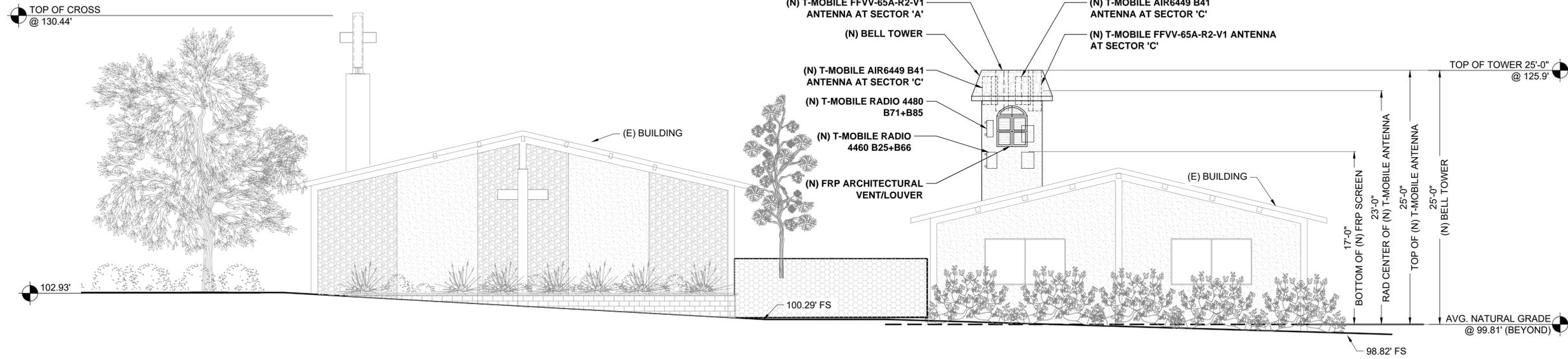
(N) ANTENNA & RRUS LAYOUT PLAN

3/4" = 1'-0" 1



(E) NORTH ELEVATION

3/16" = 1'-0" 2



(N) NORTH ELEVATION

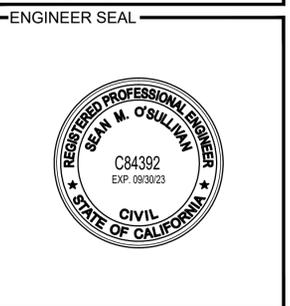
3/16" = 1'-0" 1

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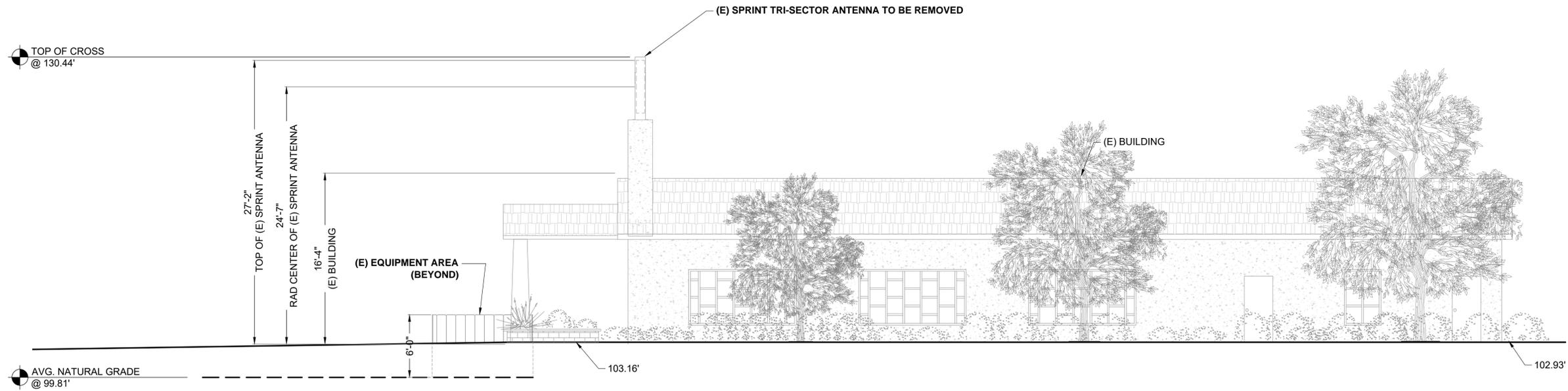
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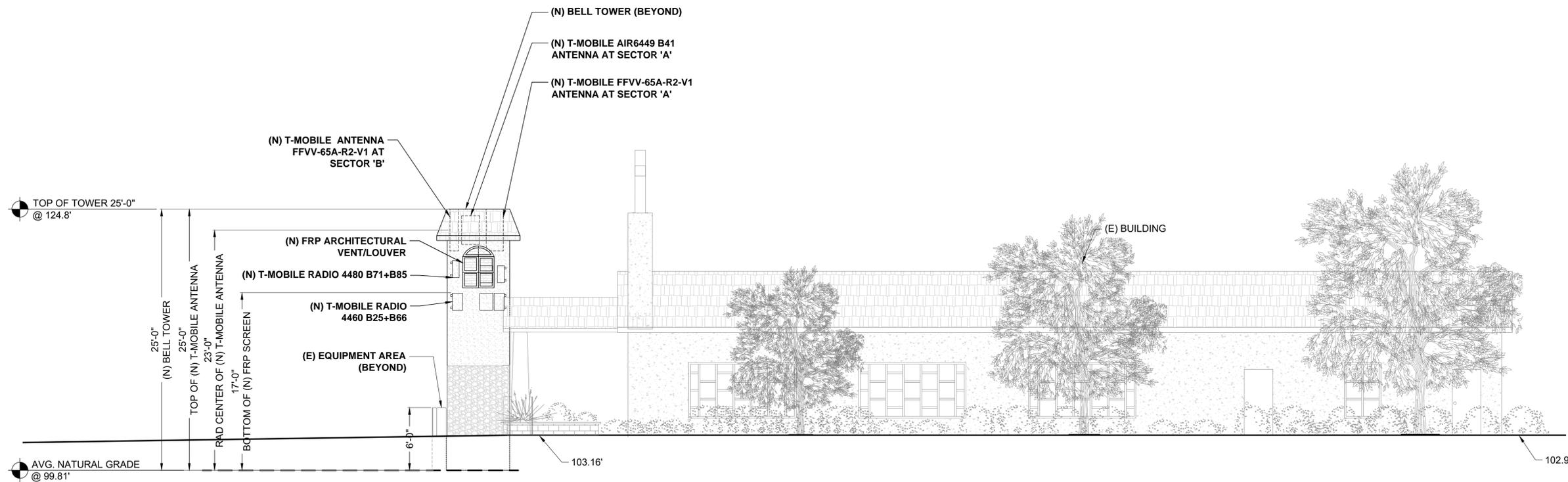
SHEET NAME  
 ELEVATIONS

SHEET NUMBER  
**A-4**



(E) EAST ELEVATION

2



(N) EAST ELEVATION

1

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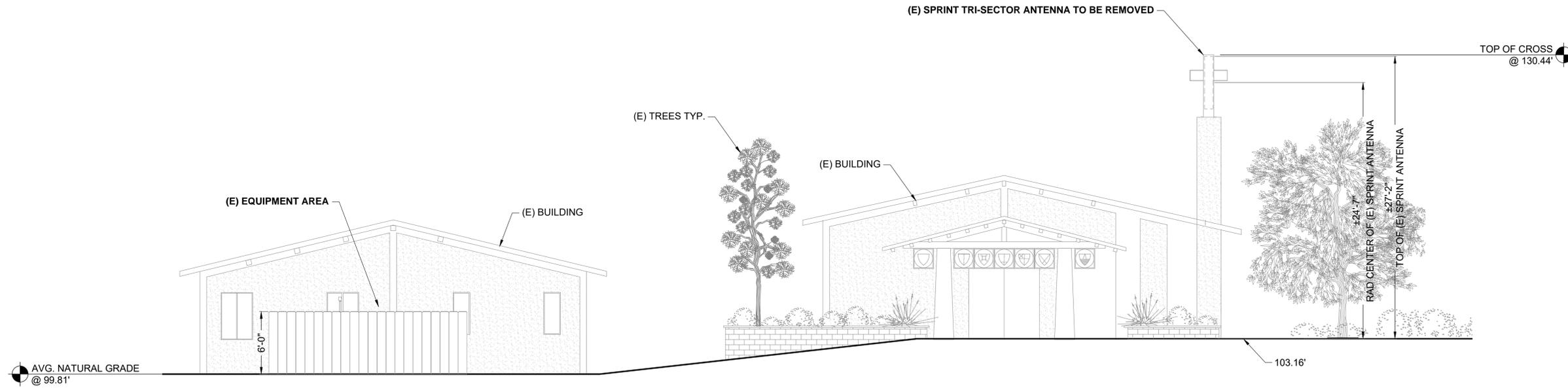
APPROVED BY: SMO  
DESIGNED BY: W. PRUITT  
PROJECT NO: EUTM0401  
DATE: 06/14/2021

SHEET NAME

ELEVATIONS

SHEET NUMBER

**A-5**



(E) SOUTH ELEVATION

NO SCALE

2

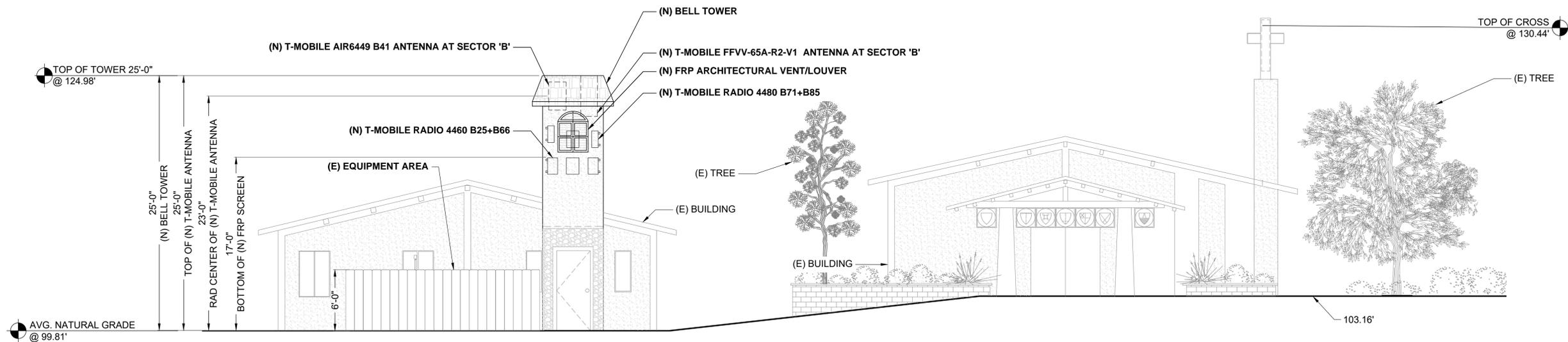
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(N) SOUTH ELEVATION

NO SCALE

1

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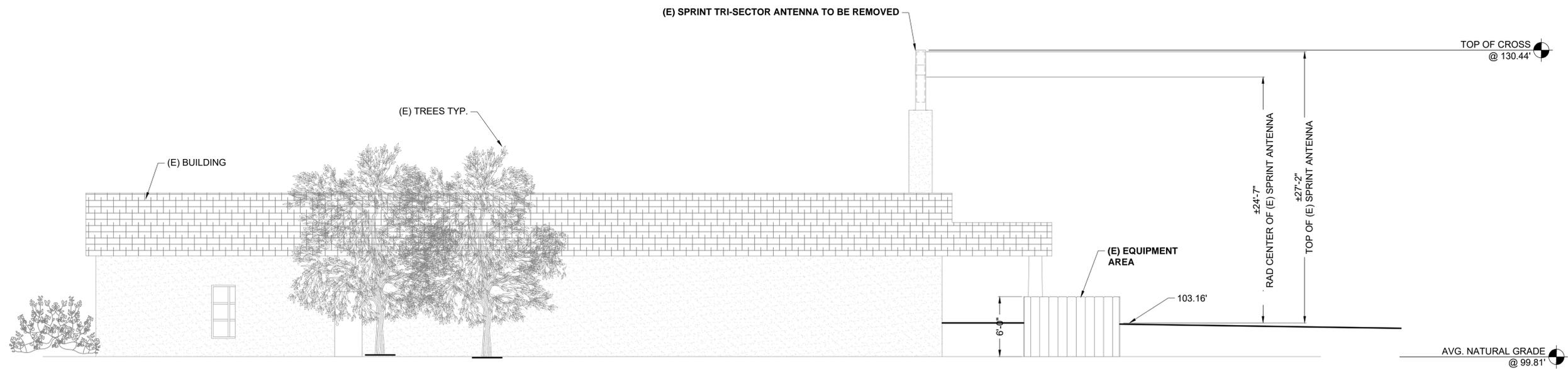
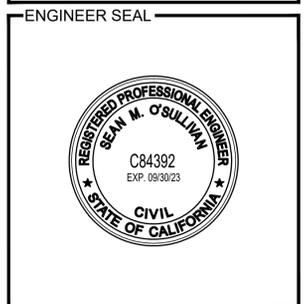
SHEET NUMBER  
**A-6**

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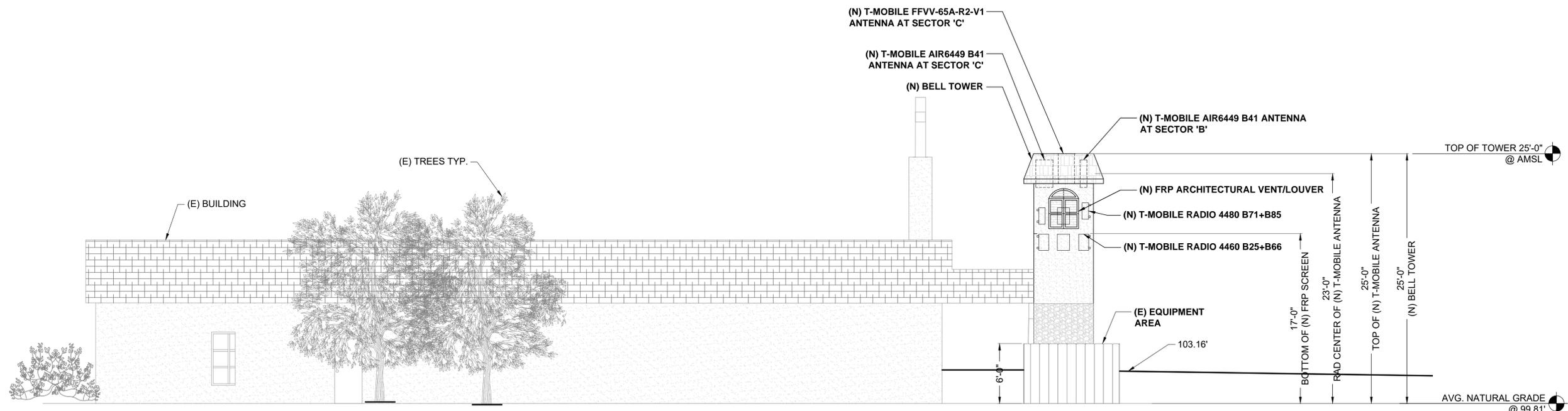
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(E) WEST ELEVATION

2

PREPARED FOR  
**Sprint** **T-Mobile**  
 4100 GUARDIAN ST.  
 SUITE # 101  
 SIMI VALLEY, CA 93063



(N) WEST ELEVATION

1

SITE NUMBER  
SV89037A

SITE NAME  
SN60XC182 - ST. PETER'S EPISCOPAL CHURCH

SITE ADDRESS  
545 SHASTA AVENUE  
MORRO BAY, CA 93442

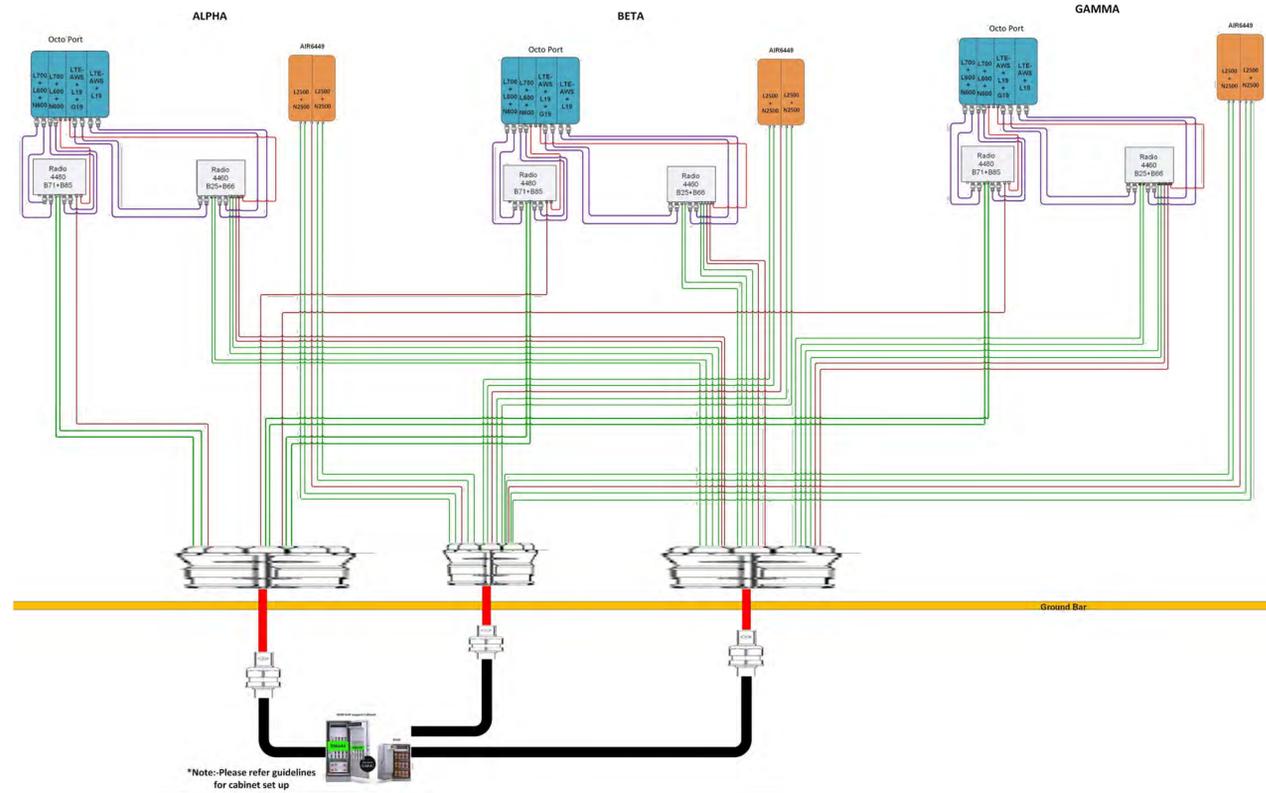
PREPARED BY  
APPROVED BY: SMO  
DESIGNED BY: W. PRUITT  
PROJECT NO: EUTM0401  
DATE: 06/14/2021

SHEET NAME  
ELEVATIONS

SHEET NUMBER

**A-7**

Site Configuration 67E5A998E



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2600 MICHELSON DRIVE #500  
IRVINE, CALIFORNIA 92612  
PHONE: 949-224-7500  
FAX: 949-224-7501

DESIGN REVISIONS

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6	12/22/21	REVISED CDs	MW
5	12/15/21	REVISED PER NEW RFDS	MW

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ENGINEER SEAL

(N) PLUMBING DIAGRAM

SCALE: N/A

2

PREPARED FOR

4100 GUARDIAN ST.  
SUITE # 101  
SIMI VALLEY, CA 93063

SITE NUMBER: SV89037A

SITE NAME: SN60XC182 - ST. PETER'S EPISCOPAL CHURCH

SITE ADDRESS: 545 SHASTA AVENUE MORRO BAY, CA 93442

PREPARED BY: SMO  
APPROVED BY: W. PRUITT  
DESIGNED BY: W. PRUITT  
PROJECT NO: EUTM0401  
DATE: 06/14/2021

SHEET NAME: PLUMBING DIAGRAM & ANTENNA SCHEDULE

SHEET NUMBER: A-8

NEW ANTENNA SCHEDULE

SECTOR	AZIMUTH	RAD CENTER	TECHNOLOGY	ANTENNA			RRU/TMA/SMART BIAS T		COAX JUMPER		FIBER JUMPER		HCS/COAX CABLE			POWER				
				MODEL NO.	SIZE	QTY.	TYPE	QTY.	LENGTH	QTY.	LENGTH	QTY.	SIZE & TYPE	LENGTH	QTY.	SIZE & TYPE	LENGTH	QTY.		
SECTOR "A"	A1	60°	23'-0"	L700, L600, N600, L1900, L2100, G1900	FFV-65A-R2-V1 (OCTO)	48.2"	1	RADIO 4480 B71+B85 & RADIO 4460 B25+B66	2	10FT	8	5M	6	HYBRID TRUNK 6/24 4AWG	30M	1	-	-	-	
	A2		23'-0"	L2500, N2500	AIR6449 B41 (MIMO)	33.1"	1										-	-	5M	4
SECTOR "B"	B1	180°	23'-0"	L700, L600, N600, L1900, L2100, G1900	FFV-65A-R2-V1 (OCTO)	48.2"	1	RADIO 4480 B71+B85 & RADIO 4460 B25+B66	2	10FT	8	5M	6	HYBRID TRUNK 6/24 4AWG	30M	1	-	-	-	
	B2		23'-0"	L2500, N2500	AIR6449 B41 (MIMO)	33.1"	1										-	-	5M	4
SECTOR "C"	C1	300°	23'-0"	L700, L600, N600, L1900, L2100, G1900	FFV-65A-R2-V1 (OCTO)	48.2"	1	RADIO 4480 B71+B85 & RADIO 4460 B25+B66	2	10FT	8	5M	6	HYBRID TRUNK 6/24 4AWG	30M	1	-	-	-	
	C2		23'-0"	L2500, N2500	AIR6449 B41 (MIMO)	33.1"	1										-	-	5M	4
SHARED	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
<b>TOTAL</b>							<b>6</b>		<b>6</b>		<b>24</b>		<b>30</b>		<b>3</b>					

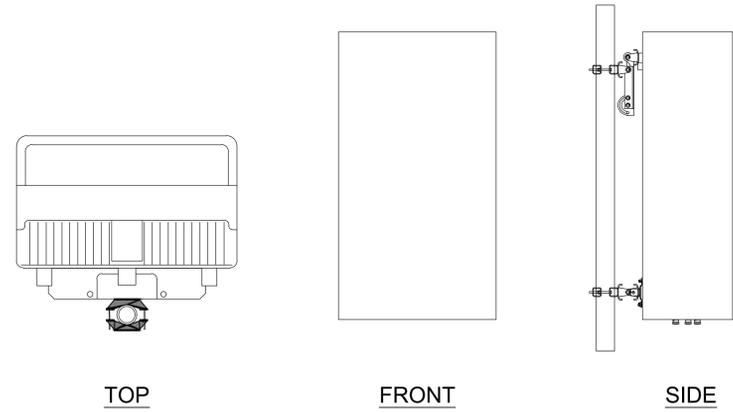
\* ALL COAX JUMPERS ARE SURFLEX 4.3-10 TO 4.3-10  
\* ALL FIBER JUMPERS ARE 2F-SM OUTDOORCON-LCD WITH COVER

(N) ANTENNA SCHEDULE

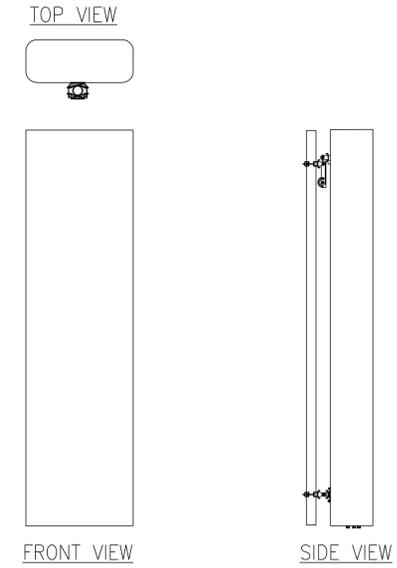
SCALE: N/A

1

MANUFACTURER: ERICSSON  
 MODEL NO.: AIR6449 B41  
 DIMENSIONS, (HxWxD): 33.1" x 20.6" x 8.6"  
 WEIGHT (lbs): 104.0



MANUFACTURER: COMMSCOPE  
 MODEL NO.: FFVV-65A-R2-V1  
 DIMENSIONS, HxWxD: 48.189" x 25.197" x 9.252"  
 WEIGHT: 73.193 lbs.

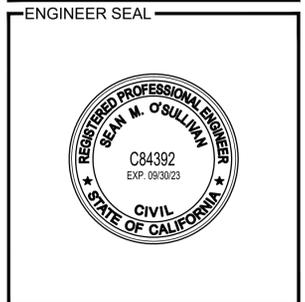


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N.T.S.

6

AIR6449 B41 SPECIFICATIONS

N.T.S.

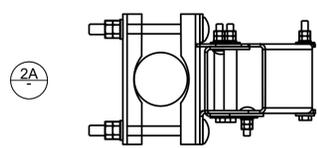
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FFVV-65A-R2-V1 SPECIFICATIONS

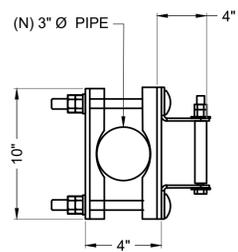
N.T.S.

4

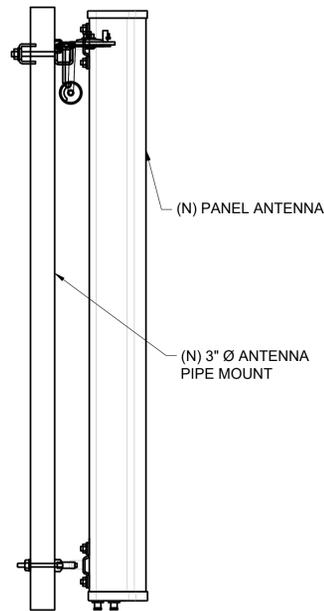
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 4100 GUARDIAN ST.  
 SUITE # 101  
 SIMI VALLEY, CA 93063



TOP MOUNT BRACKET

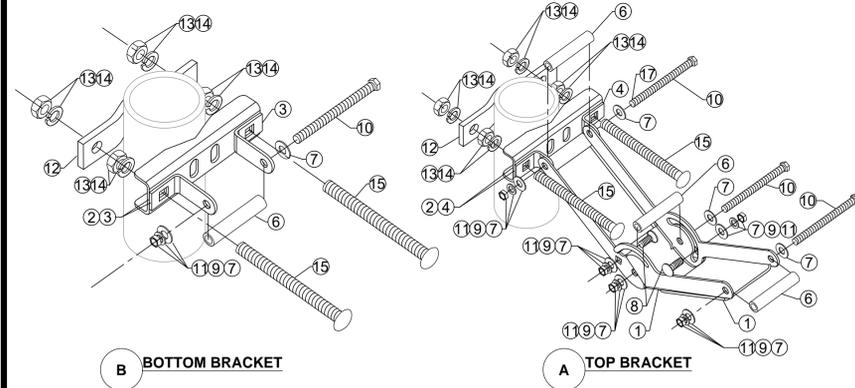


BOTTOM MOUNT BRACKET



PARTS LIST

ITEM #	QTY.	PART NUMBER	DESCRIPTION
1	2	601257	ANGLE ARM
2	2	601256	MOUNTING CLAMP
3	2	601235-1	BRACKET
4	2	601235-2	BRACKET
5	1	601258	LABEL, ANGLE
6	4	600679-3	SPACER TUBE
7	14	100525-24	ME FLAT WASHER (STAINLESS STEEL)
8	2	600419-8	M8x1.25x25mm LARGE CARRIAGE BOLT (STAINLESS STEEL)
9	6	6/17395	M8 LOCK WASHER (STAINLESS STEEL)
10	4	600419-10	M8x1.25x110mm LARGE HEX HEAD SCREW (STAINLESS STEEL)
11	6	204001-15	M8x1.25 HEX NUT (STAINLESS STEEL)
12	2	225244	CLAMP PLATE
13	8	600419-24	LARGE LOCK WASHER (STAINLESS STEEL)
14	8	204001-21	M12x1.75 HEX NUT (STAINLESS STEEL)
15	4	600419-12	M12x1.75x150mm LARGE CARRIAGE BOLT (STAINLESS STEEL)
17	1	601584	MOLYBDENUM DISULFIDE GREASE



**DESIGN CRITERIA:**

- WIND DESIGN DATA**
  - ULTIMATE WIND VELOCITY = 92 MPH
  - EXPOSURE = C
- SEISMIC DESIGN DATA**
  - SITE CLASS = D
  - RISK CATEGORY = II
  - SEISMIC IMPORTANCE FACTOR (I) = 1.0
  - MAPPED SPECTRAL RESPONSES SS = 0.957 S1 = 0.356 Sds = 0.765
  - SEISMIC DESIGN CATEGORY = D
  - RESPONSE MODIFICATION (Rp) = 2.5
  - AMPLIFICATION FACTOR (ap) = 1.0

N.T.S.

3

ANTENNA BRACKET DETAIL

N.T.S.

2

DESIGN CRITERIA

N.T.S.

1

SITE NUMBER: SV89037A  
 SITE NAME: SN60XC182 - ST. PETER'S EPISCOPAL CHURCH  
 SITE ADDRESS: 545 SHASTA AVENUE MORRO BAY, CA 93442

PREPARED BY: SMO  
 APPROVED BY: W. PRUITT  
 DESIGNED BY: W. PRUITT  
 PROJECT NO: EUTM0401  
 DATE: 06/14/2021

SHEET NAME: DETAILS AND SPECS

SHEET NUMBER

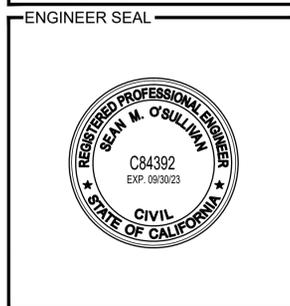
**D-1**

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5	12/15/21	REVISED PER NEW RFDS	MW

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N.T.S.

6

NOT USED

N.T.S.

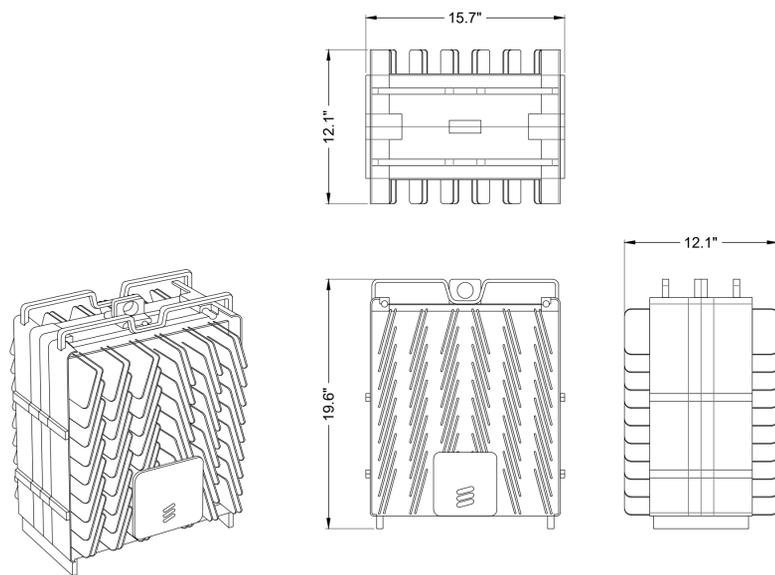
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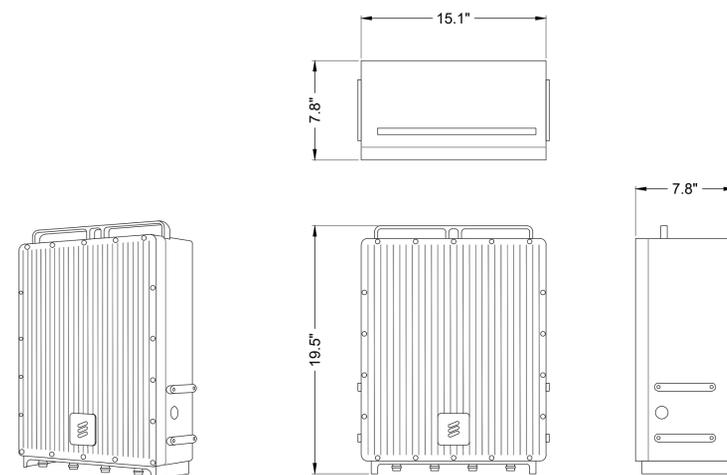
N.T.S.

4

MANUFACTURER: ERICSSON  
 MODEL NO.: RADIO 4460 B25+B66  
 DIMENSIONS, (HxWxD): 19.6" x 15.7" x 12.1"  
 WEIGHT (lbs): 109

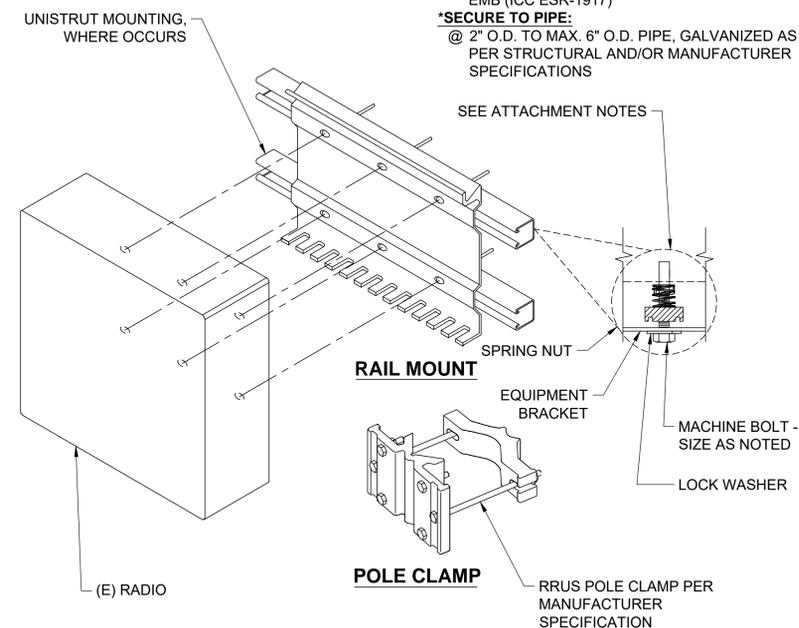


MANUFACTURER: ERICSSON  
 MODEL NO.: RADIO 4480 B71+B85A  
 DIMENSIONS, (HxWxD): 19.5" x 15.1" x 7.8"  
 WEIGHT (lbs): 87



NOTES:  
 RADIOS CAN ONLY BE PAINTED ON SOLAR SHIELD

- \* SECURE TO WALL USING:**
- @ WOOD STUDS: 1/4"Ø X 3-1/2" LAG BOLT
  - @ SOLID GROUTED CMU: 3/8"Ø HILTI HIT-HY 270 EPOXY W/ MIN. 3-3/8" EMB (ICC ESR-4143)
  - @ HOLLOW CMU: 3/8"Ø HILTI HIT-HY 270 EPOXY W/ MIN. 3-3/8" EMB (ICC ESR-4143)
  - @ CONCRETE WALL: 3/8"Ø HILTI KB-TZ W/ 3" EMB (ICC ESR-1917)
- \* SECURE TO PIPE:**
- @ 2" O.D. TO MAX. 6" O.D. PIPE, GALVANIZED AS PER STRUCTURAL AND/OR MANUFACTURER SPECIFICATIONS



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 4100 GUARDIAN ST.  
 SUITE # 101  
 SIMI VALLEY, CA 93063

SITE NUMBER  
 SV89037A

SITE NAME  
 SN60XC182 - ST. PETER'S EPISCOPAL CHURCH

SITE ADDRESS  
 545 SHASTA AVENUE  
 MORRO BAY, CA 93442

PREPARED BY: SMO  
 APPROVED BY: W. PRUITT  
 DESIGNED BY: W. PRUITT  
 PROJECT NO: EUTM0401  
 DATE: 06/14/2021

SHEET NAME  
 DETAILS AND SPECS

SHEET NUMBER  
**D-2**

ERICSSON RADIO 4460 B25+B66 SPECS

N.T.S.

3

ERICSSON RADIO 4480 B71+B85A SPECS

N.T.S.

2

RADIO - MOUNTING DETAIL

N.T.S.

1

MANUFACTURER: ERICSSON  
 MODEL NO.: RBS 6601  
 DC POWER SUPPLY: -48DVC  
 TEMPERATURE: +5 TO + 55 DEG C  
 DIMENSIONS: 19" W X 13.8" D X 2.6" H  
 WEIGHT (lbs): 23 lbs.



Product Description for RBS 6601



IRRU connectors  
 Transmission connectors  
 GPS connector  
 O&M and control connectors  
 Power distribution unit

ERICSSON RBS 6601

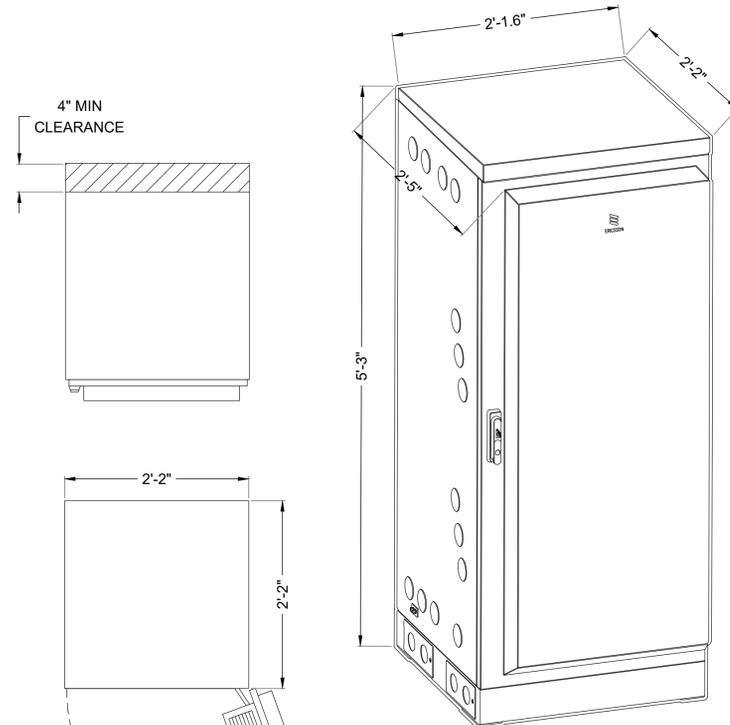
N.T.S.

4

MANUFACTURER: ERICSSON  
 MODEL NO.: B160  
 DIMENSIONS, (HxWxD): 63" x 25.6" x 29" (W/ 6" PLINTH)  
 EMPTY CABINET WEIGHT (lbs): 400  
 RACK SPACE: 19U  
 MAX WEIGHT (lbs): ±2100

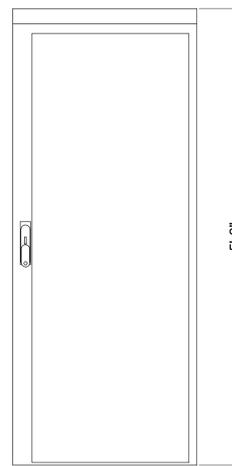
NOTES:

1. CORRECT KNOCKOUT TOOL REQUIRED FOR PUNCHING KNOCKOUTS. DO NOT DRILL KNOCKOUTS THROUGH.
2. CONDUIT MUST BE PROPERLY SECURED TO PREVENT DAMAGE TO CABINETS AND/OR CABLING.

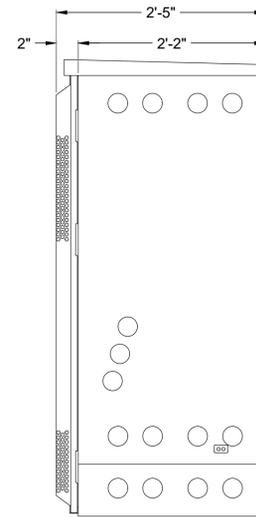


ISOMETRIC VIEW

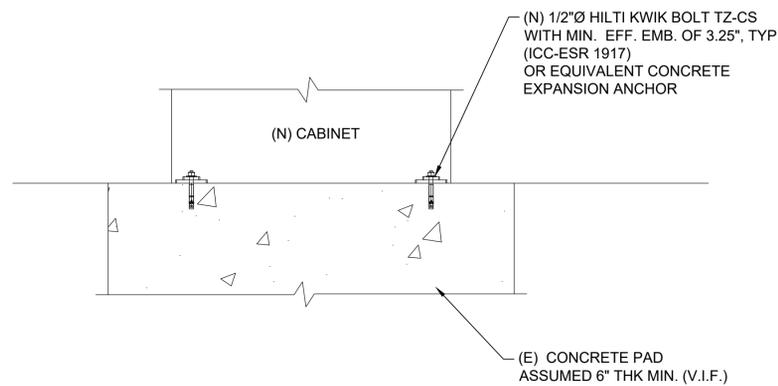
PLAN VIEW



FRONT VIEW



RIGHT SIDE VIEW



CABINET MOUNTING DETAILS

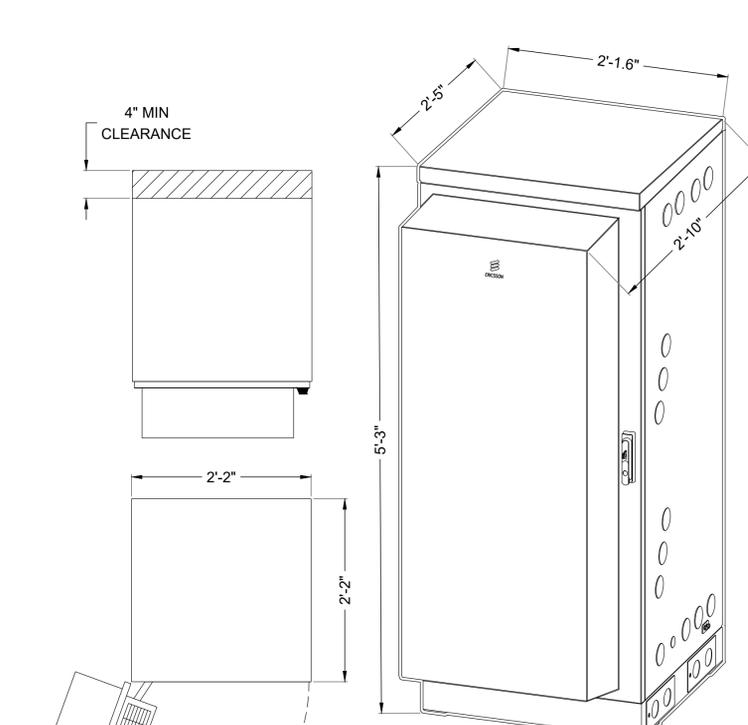
N.T.S.

3

MANUFACTURER: ERICSSON  
 MODEL NO.: 6160  
 DIMENSIONS, (HxWxD): 63" x 25.6" x 33.5" (W/ 6" PLINTH)  
 EMPTY CABINET WEIGHT (lbs): 353  
 RACK SPACE: 19U  
 MAX WEIGHT (lbs): ±770

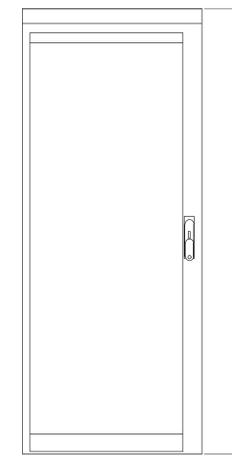
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2. CONDUIT MUST BE PROPERLY SECURED TO PREVENT DAMAGE TO CABINETS AND/OR CABLING.

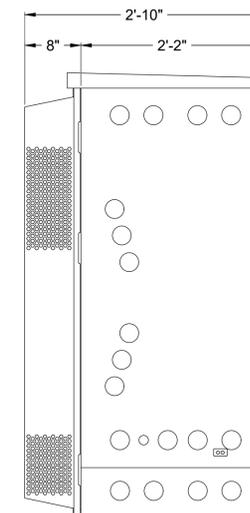


ISOMETRIC VIEW

PLAN VIEW



FRONT VIEW



RIGHT SIDE VIEW

ERICSSON 6160 CABINET DETAIL

N.T.S.

1

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5	12/15/21	REVISED PER NEW RFDS	MW

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ENGINEER SEAL



PREPARED FOR



4100 GUARDIAN ST.  
 SUITE # 101  
 SIMI VALLEY, CA 93063

SITE NUMBER

SV89037A

SITE NAME

SN60XC182 - ST. PETER'S EPISCOPAL CHURCH

SITE ADDRESS

545 SHASTA AVENUE  
 MORRO BAY, CA 93442

PREPARED BY

APPROVED BY: SMO  
 DESIGNED BY: W. PRUITT  
 PROJECT NO: EUTM0401  
 DATE: 06/14/2021

SHEET NAME

DETAILS AND SPECS

SHEET NUMBER

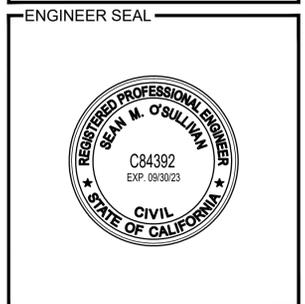
D-3

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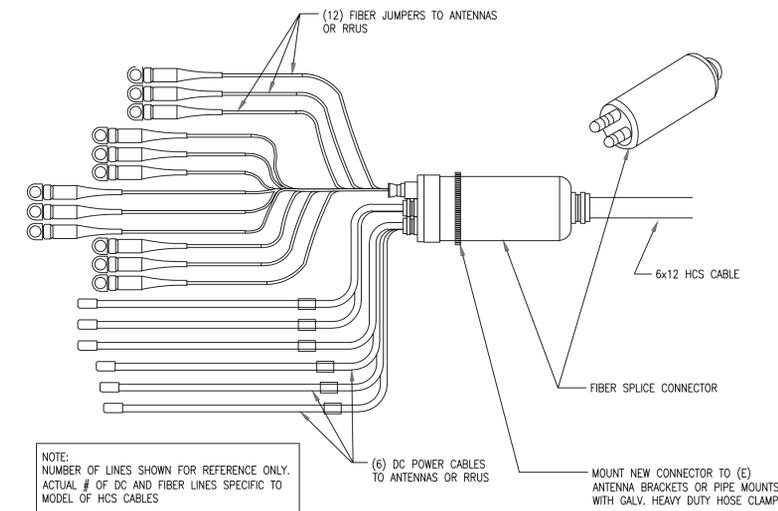
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 APPROVED BY: W. PRUITT  
 DESIGNED BY: W. PRUITT  
 PROJECT NO: EUTM0401  
 DATE: 06/14/2021

SHEET NAME  
 DETAILS AND SPECS

SHEET NUMBER  
**D-4**



NOT USED

N.T.S. 6

NOT USED

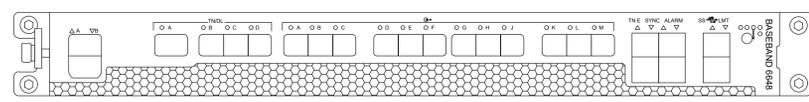
N.T.S. 5

6X24 HCS CABLE DETAIL

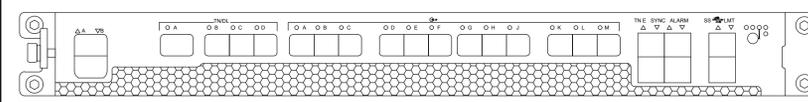
N.T.S. 4

ERICSSON BASEBAND UNIT 6648

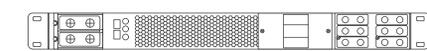
DC POWER SUPPLY  
 NOMINAL VOLTAGE: -48VDC  
 TEMPERATURE: 0 TO + 55 DEG C  
 DIMENSION: 19" W X 13.86"D  
 WEIGHT: 16.53 lbs



MANUFACTURER: NOKIA  
 MODEL NO: IXRE  
 DIMENSIONS, WxD: 19.0"x13.8"  
 WEIGHT: 20 lbs.



ERICSSON  
 PSU 4813 VOLTAGE BOOSTER



TO BE INSTALLED INTO 6160 CABINET

WEIGHT: 17.2 lbs.  
 DIMENSIONS (HxWxD): 1.7"x19"x14.3"

ERICSSON BASEBAND 6648 DETAIL

N.T.S. 3

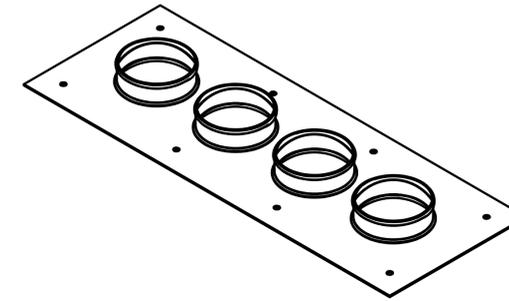
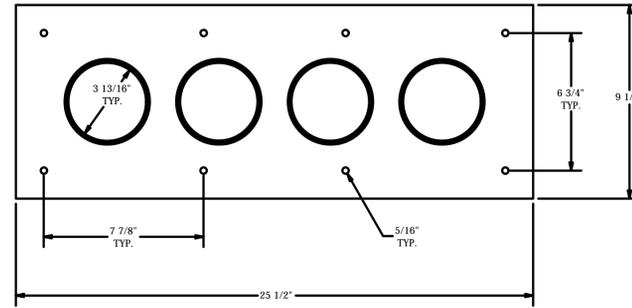
IXRE ROUTER

N.T.S. 2

VOLTAGE BOOSTER DETAIL

N.T.S. 1

PARTS LIST						
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	1	E575	1X4. 4' ENTRY PANEL		5.68	5.68



INCLUDES SEALING CAPS AND ALL NECESSARY MOUNTING HARDWARE

**TOLERANCE NOTES**

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:  
 SAWED, SHEARED AND GAS CUT EDGES ( $\pm 0.030''$ )  
 DRILLED AND GAS CUT HOLES ( $\pm 0.030''$ ) - NO CONING OF HOLES  
 LASER CUT EDGES AND HOLES ( $\pm 0.010''$ ) - NO CONING OF HOLES  
 BENDS ARE  $\pm 1/2$  DEGREE  
 ALL OTHER MACHINING ( $\pm 0.030''$ )  
 ALL OTHER ASSEMBLY ( $\pm 0.060''$ )

PROPRIETARY NOTE:  
 THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.

DESCRIPTION 1X4 4' ENTRY PANEL		Engineering Support Team: New York, NY Atlanta, GA Los Angeles, CA Plymouth, IN Salem, OR Dallas, TX 1-888-753-7446	
CPD NO.	DRAWN BY CEK 4/11/2012	ENG. APPROVAL	PART NO. E575
CLASS: FIB 81 01	DRAWING USAGE CUSTOMER	CHECKED BY KAC 4/24/2012	DWG. NO. E575

PAGE  
1 OF 1

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PHONE: 949-224-7500  
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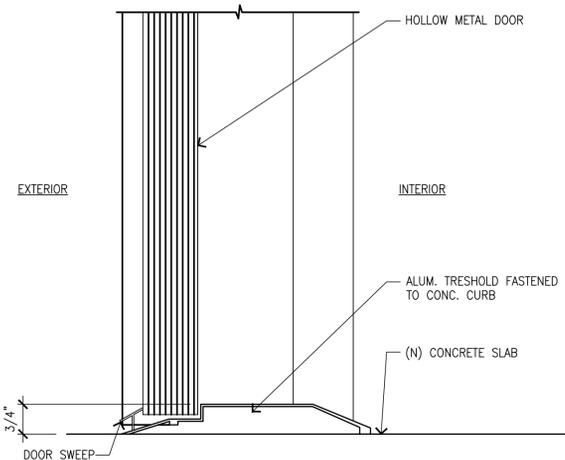
DESIGN REVISIONS

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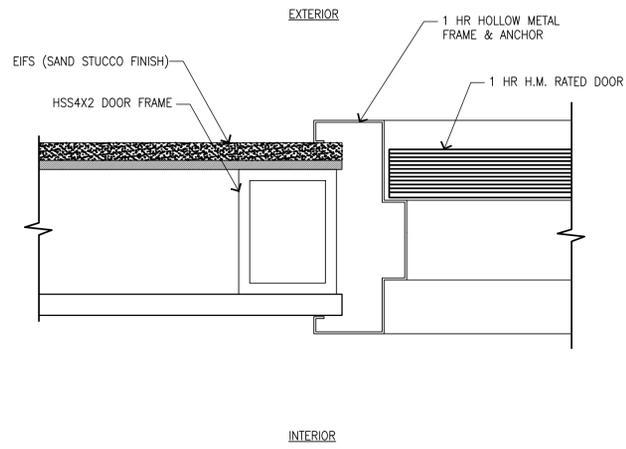
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ENGINEER SEAL

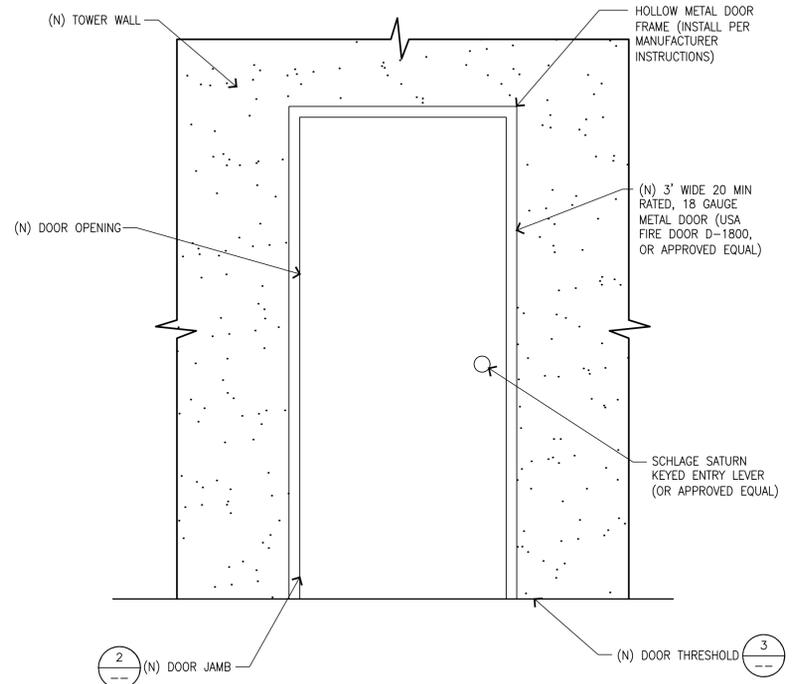
NOT USED	N.T.S.	5	CABLE PENETRATION PANEL DETAIL	N.T.S.	4
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DOOR THRESHOLD DETAIL



DOOR JAMB DETAIL



ACCESS DOOR DETAIL

PREPARED FOR

4100 GUARDIAN ST.  
SUITE # 101  
SIMI VALLEY, CA 93063

SITE NUMBER  
SV89037A

SITE NAME  
SN60XC182 - ST. PETER'S EPISCOPAL CHURCH

SITE ADDRESS  
545 SHASTA AVENUE  
MORRO BAY, CA 93442

PREPARED BY  
APPROVED BY: SMO  
DESIGNED BY: W. PRUITT  
PROJECT NO: EUTM0401  
DATE: 06/14/2021

SHEET NAME  
DETAILS AND SPECS

SHEET NUMBER

**D-5**

# NSB 190FT Red Battery®

Long float life at elevated temperatures



Red Star Technology® uses pure lead plates to deliver exceptionally long float life even at elevated temperatures.

- Pure lead AGM technology delivers long float life for telecom applications even at elevated temperatures
- 15 year float life at 20°C (68°F)
- EUROBAT design life definition: Long Life (12+ years)
- High energy density
- Operating temperature range: -40°C to +65°C (-40°F to 149°F)
- State-of-the-art automated manufacturing ensures consistency and reliability
- Advanced 3 stage terminal design to ensure leak-free operation - female MB brass terminals provide maximum performance
- 2 year shelf life at 25°C (77°F)
- High modulus Polyphenylene Oxide (PPO) plastic materials designed to withstand extended elevated operating temperatures and maintain high battery compression essential for reliable operation
  - Non-halogenated, thermally sealed plastic casing
  - Flame retardant (UL 94 V0) and LOI of at least 28%
- Integral handles and front access terminals ensure ease of installation and maintenance
- Approved as non-hazardous cargo for ground, sea, and air transport - DOT 49CFR173.159(d), (i) and (ii)

Visit our website to find out more [www.northstarbattery.com](http://www.northstarbattery.com)



# NSB 190FT Red Battery®

## Nominal Technical Specifications



### Electrical

	International Standard 20°C (68°F)	North American Standard 25°C (77°F)
8 hour capacity to 1.75 VPC	188 Ah	191 Ah
10 hour capacity to 1.80 VPC	190 Ah	192 Ah
Float Voltage	2.29 +/- 0.02 VPC	2.27 +/- 0.02 VPC
Nominal Voltage	12 V	
Impedance [1kHz]	2.2 mΩ @ 25°C (77°F)	
Conductance	2.400 S	
Short Circuit Current	6.000 A	

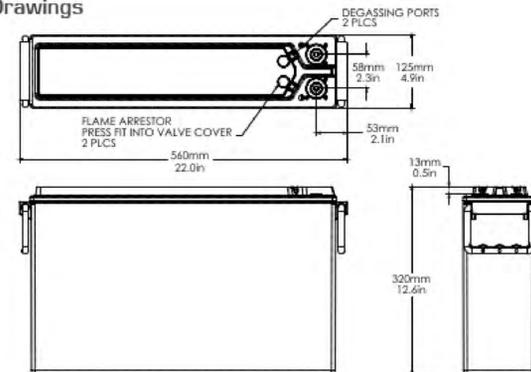
### Dimensions

Height	320 mm (12.6 in)	Weight	60 kg (132 lbs)
Width	125 mm (4.9 in)	Terminal	Female MB x 1.25
Depth	560 mm (22.0 in)	Terminal Torque	8.0 Nm (7.1 in-lbs)

### Ah Capacity Ratings @ 25°C (77°F)

Capacity Discharge / hours	1	2	4	8	10
Capacity @ 25°C / Ah	150	167	181	191	192
End of Discharge / VPC	1.70	1.75	1.75	1.75	1.80

### Drawings



All NorthStar batteries are compliant with: Telcordia SR4228, IEC 60896; Bellcore GR-63-Core, Issue 1; British, German, and Russian telecom standards; UL approved. NorthStar is registered to ISO 9001 and ISO 14001.

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Tel: +60 3 2117 5354

[www.northstarbattery.com](http://www.northstarbattery.com)



GENERAL CONTRACTOR TO CLEARLY INSTALL THE FOLLOWING NFPA 740 PLACARD SIGN ON ALL SIDES ON THE (N) BATTERY CABINETS



### NFPA HAZARD RATING

- FLAMMABILITY (RED) = 0
- HEALTH (BLUE) = 3
- REACTIVITY (YELLOW) = 2
- SULFURIC ACID IS WATER-REACTIVE IF CONCENTRATED

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### ENGINEER SEAL



### PREPARED FOR



### SITE NUMBER

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### SITE NAME

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### SITE ADDRESS

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### PREPARED BY

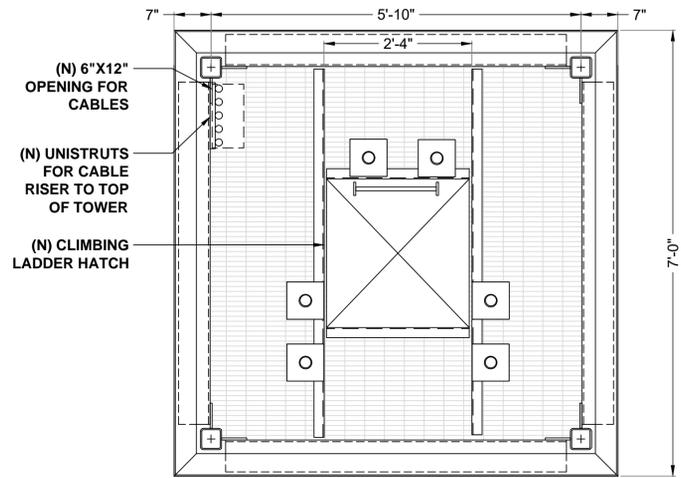
APPROVED BY: SMO  
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PROJECT NO: EUTM0401  
DATE: 06/14/2021

### SHEET NAME

BATTERY SPECS

### SHEET NUMBER

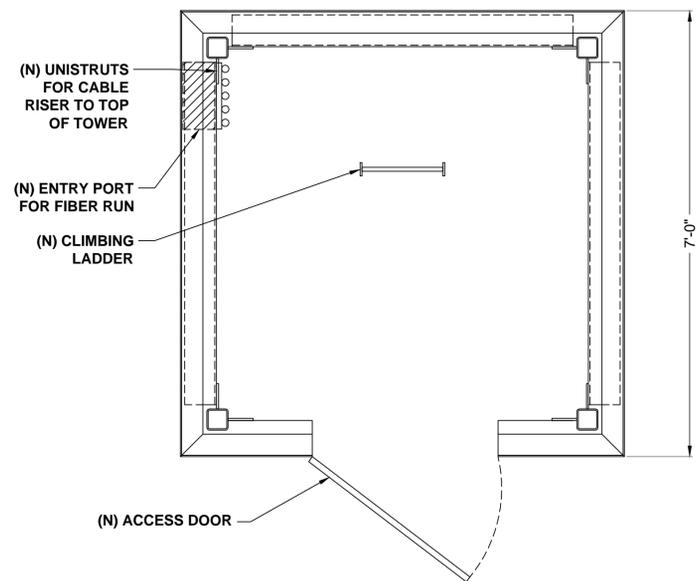
# D-6



SECOND LEVEL LAYOUT

N.T.S.

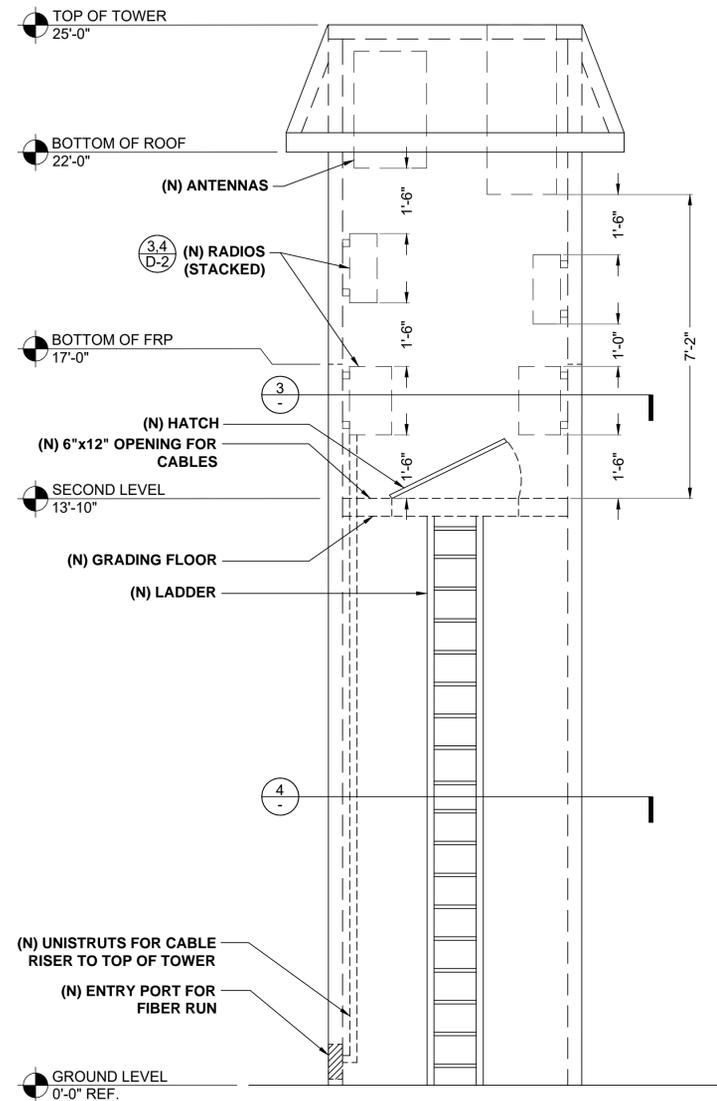
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GROUND LEVEL LAYOUT

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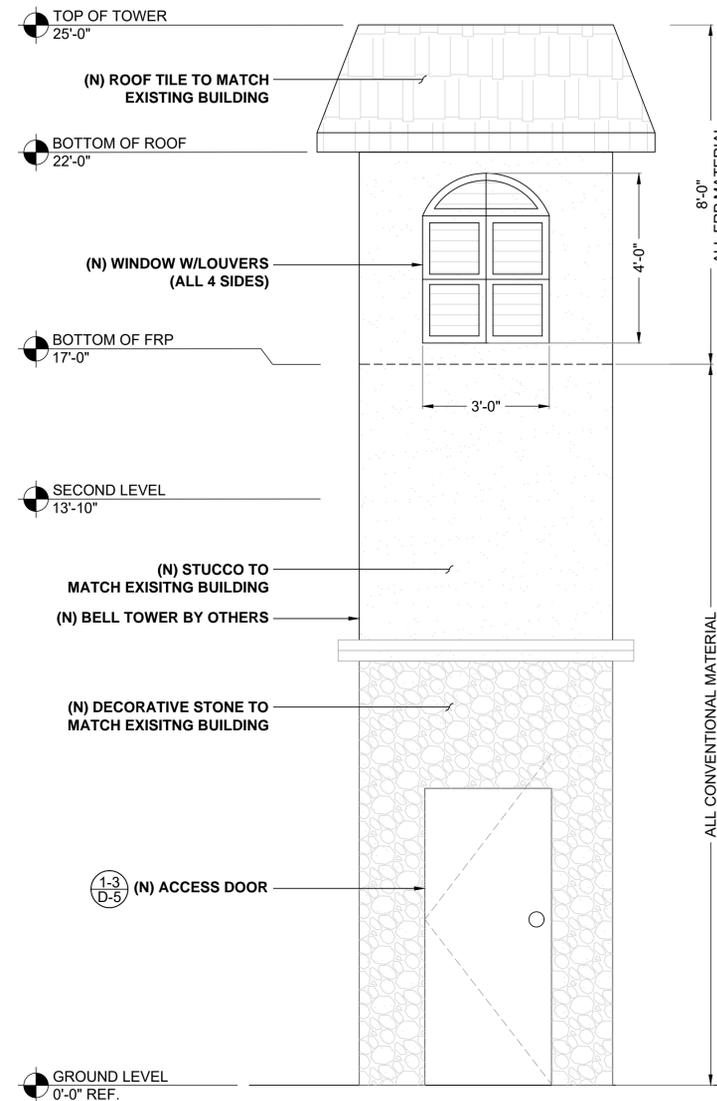
4



TOWER SECTION DETAIL

N.T.S.

2



TOWER ELEVATION DETAIL

N.T.S.

1

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PROJECT NO: EUTM0401  
DATE: 06/14/2021

SHEET NAME

TOWER DETAIL

SHEET NUMBER

**D-7**

NOT USED

N.T.S.

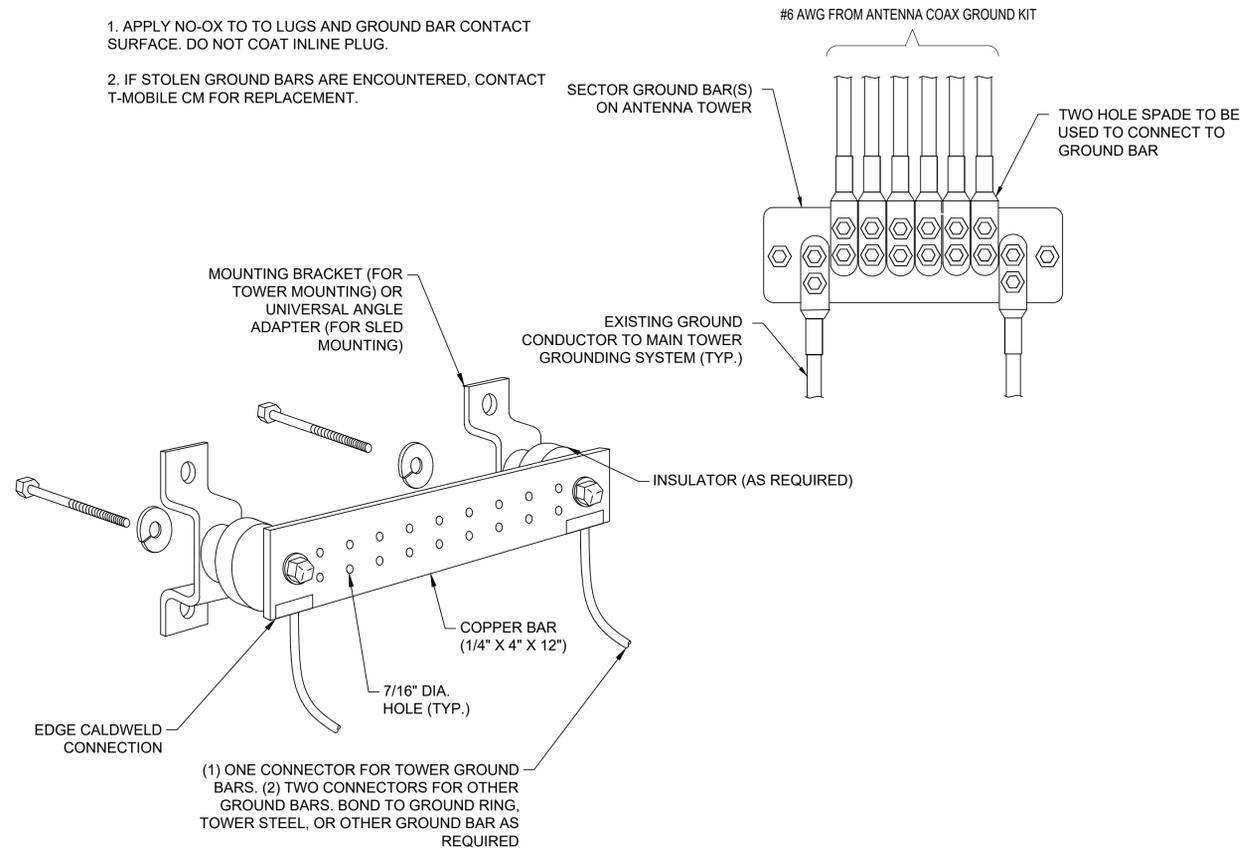
5

**GENERAL GROUNDING NOTES**

1. SITE GROUNDING SHALL COMPLY WITH T-MOBILE GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH T-MOBILE GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN.
2. GROUND RODS:
  - A. 5/8" x 10' LONG COPPER CLAD STEEL
  - B. STANDARD SPACING: 10'
  - C. TOP SHALL BE A MINIMUM OF 2'-6" BELOW BASE OF GRAVEL
3. GROUND CONDUCTORS:
  - A. #2 BARE TINNED SOLID COPPER UNLESS INDICATED OTHERWISE
  - B. WHEN DIRECTION OF CONDUCTOR CHANGES, IT SHALL BE DONE GRADUALLY
  - C. ALL GROUNDING CONDUCTORS SHALL RUN THROUGH PVC SLEEVES WHEREVER CONDUCTORS RUN THROUGH CONCRETE SLABS.
  - D. GROUND RINGS SHALL BE BURIED A MINIMUM OF 2'-6" BELOW BASE OF GRAVEL. GROUND RINGS SHALL BE LOCATED A MINIMUM OF 2'-0" FROM OUTSIDE EDGE OF CABINETS, TOWER FOUNDATION, AND OTHER SITE OBJECTS.
4. GROUND CONNECTIONS:
  - A. ALL CONNECTIONS SHALL BE EXOTHERMIC (CADWELD OR EQUIVALENT) UNLESS INDICATED OTHERWISE.
  - B. ALL MATERIALS USED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
  - C. CONNECTIONS AT GROUND BARS AND SERVICE DISCONNECTING MEANS SHALL CONSIST OF LUGS CADWELDED TO GROUND CONDUCTORS UNLESS INDICATED OTHERWISE. LUGS SHALL BE ATTACHED TO GROUND BARS USING STAINLESS STEEL OR HOT-DIPPED GALVANIZED STEEL BOLTS, NUTS, AND LOCKWASHERS.
5. COAXIAL TRANSMISSION LINE GROUNDING:
  - A. VERTICAL RUNS THAT ARE 200' OR LESS SHALL REQUIRE A GROUNDING KIT AT THE TOP AND BOTTOM OF TOWER.
  - B. VERTICAL RUNS THAT ARE GREATER THAN 200' SHALL REQUIRE A GROUNDING KIT (IN ADDITION TO THE ABOVE) FROM THE TOP EVERY 150' TOWARDS THE GROUND UNTIL THE DISTANCE IS LESS THAN 150' FROM THE GROUND (NOT FOR MONOPOLES).
  - C. SURGE ARRESTOR IS PROVIDED BY OTHERS AND INSTALLED BY CONTRACTOR. CONTRACTOR SHALL MAKE ALL CONNECTIONS REQUIRED FOR INSTALLATION.
  - D. ALL GROUNDING KITS SHALL BE PROVIDED BY OTHERS AND INSTALLED BY CONTRACTOR.
6. MISCELLANEOUS ITEMS TO BE CONNECTED TO THE GROUNDING SYSTEM:
  - A. ANY METAL FENCE POST WITHIN 6' OF THE GROUND RING.
  - B. TRANSMISSION LINE ENTRANCE HATCH.
  - C. METAL CABINET PARTS NOT GROUNDED BY THE INTERNAL GROUND RING.
  - D. METAL FUEL STORAGE TANKS.
  - E. ANY SIGNIFICANT METAL OBJECT WITHIN 6' OF THE EXTERNAL GROUNDING SYSTEM OR ANY OTHER GROUNDED OBJECT.
  - F. EXTERIOR ICE SHIELDS.
  - G. GENERATOR AND SUPPORT SKID OR BASE AND SWITCH.
7. INSTALLATION AND TESTING:
  - A. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO FIELD CONDITIONS.
  - B. CONTRACTOR SHALL NOT COVER UP GROUND RING AND CONNECTIONS UNTIL AN INSPECTION HAS BEEN PERFORMED. COORDINATE INSPECTION WITH CONSTRUCTION MANAGER.
  - C. PROVIDE TESTING OF GROUNDING SYSTEM AS DIRECTED BY CONSTRUCTION MANAGER.
8. THE MAXIMUM ALLOWABLE RESISTANCE READING SHALL BE 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE GROUNDING SYSTEM AS MEASURED AT THE ARRESTOR BRACKET EXCEEDS 5.0 OHMS, THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL BE NOTIFIED SO THAT ADDITIONAL GROUND LOCATIONS CAN BE UTILIZED.
9. ALL EXPOSED GROUND LEADS TO GROUND RING, PLACED IN CONCRETE, SHALL BE ENCASED IN 3/4" FLEXIBLE CONDUIT, SEAL TYPE OR SIMILAR.
10. ALL GROUND WIRE CONNECTIONS TO EQUIPMENT GROUND RING THAT ARE RUNNING ABOVE GROUND SHALL BE RUN INSIDE SEALTIGHT FLEX CONDUIT.
11. ALL CONNECTIONS ABOVE GROUND EXCEPT CONNECTIONS TO GROUND BARS OR ARRESTOR BRACKET SHALL BE WITH DOUBLE LUG CONNECTORS. CONNECTIONS TO GROUND BARS & ARRESTORS SHALL BE CADWELD.
12. COMPACT BACKFILL OF ALL TRENCHES FOR GROUNDING RING. SITE SOIL OR #57 STONE MAY BE USED FOR BACKFILL MATERIALS. CONTRACTOR SHALL OBTAIN APPROVAL FOR BACKFILL MATERIALS TO BE USED FROM CONSTRUCTION MANAGER.
13. CONTRACTOR SHALL PROVIDE S.S. FLAT & LOCK WASHERS AS REQUIRED FOR COMPLETE INSTALLATION OF GROUND LEADS AT GROUND BUS.

**NOTES:**

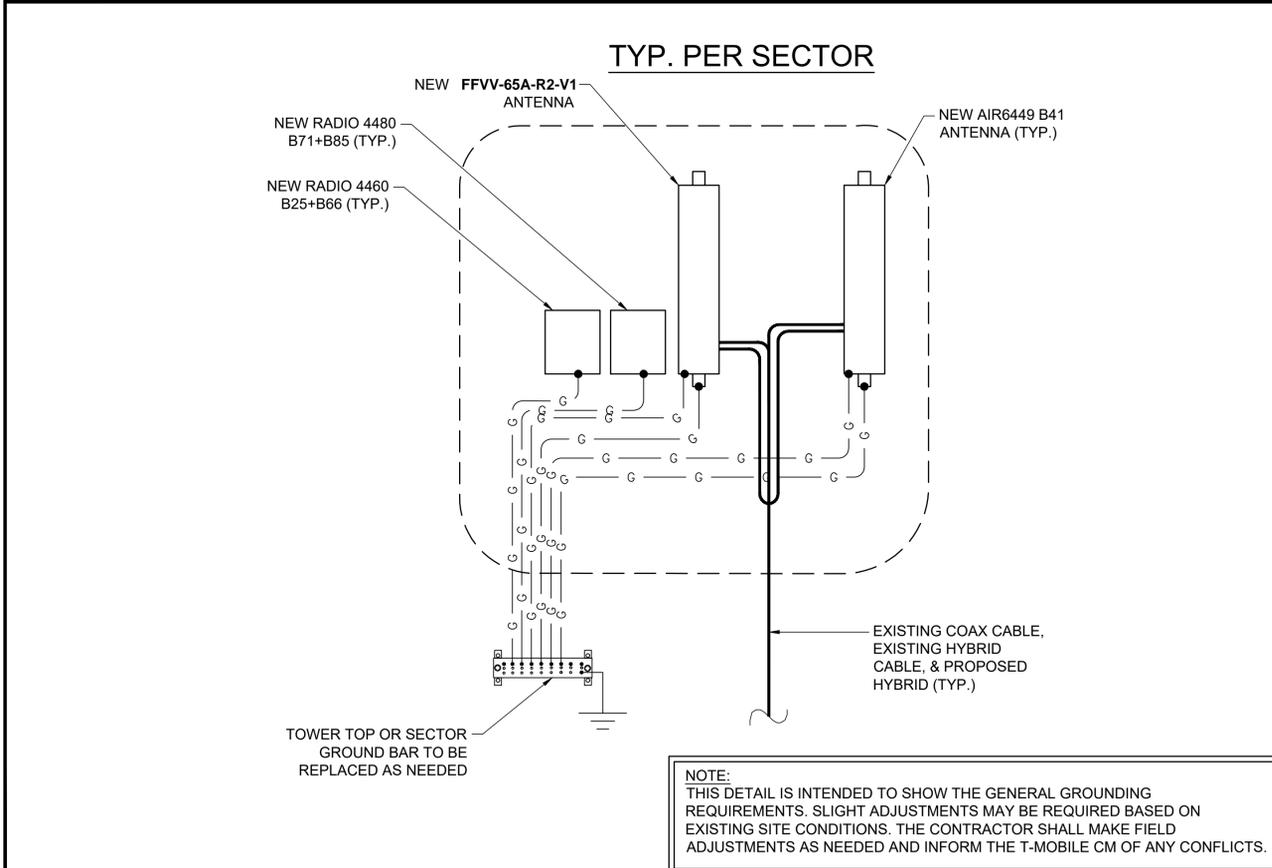
1. APPLY NO-OX TO TO LUGS AND GROUND BAR CONTACT SURFACE. DO NOT COAT INLINE PLUG.
2. IF STOLEN GROUND BARS ARE ENCOUNTERED, CONTACT T-MOBILE CM FOR REPLACEMENT.



**(E) GROUNDING DETAIL**

SCALE: N/A

3



**NOTE:**  
THIS DETAIL IS INTENDED TO SHOW THE GENERAL GROUNDING REQUIREMENTS. SLIGHT ADJUSTMENTS MAY BE REQUIRED BASED ON EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NEEDED AND INFORM THE T-MOBILE CM OF ANY CONFLICTS.

**GROUNDING NOTES**

SCALE: N/A

2

**GROUNDING DIAGRAM**

SCALE: N/A

1

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PREPARED FOR \_\_\_\_\_

**Sprint** **T-Mobile**

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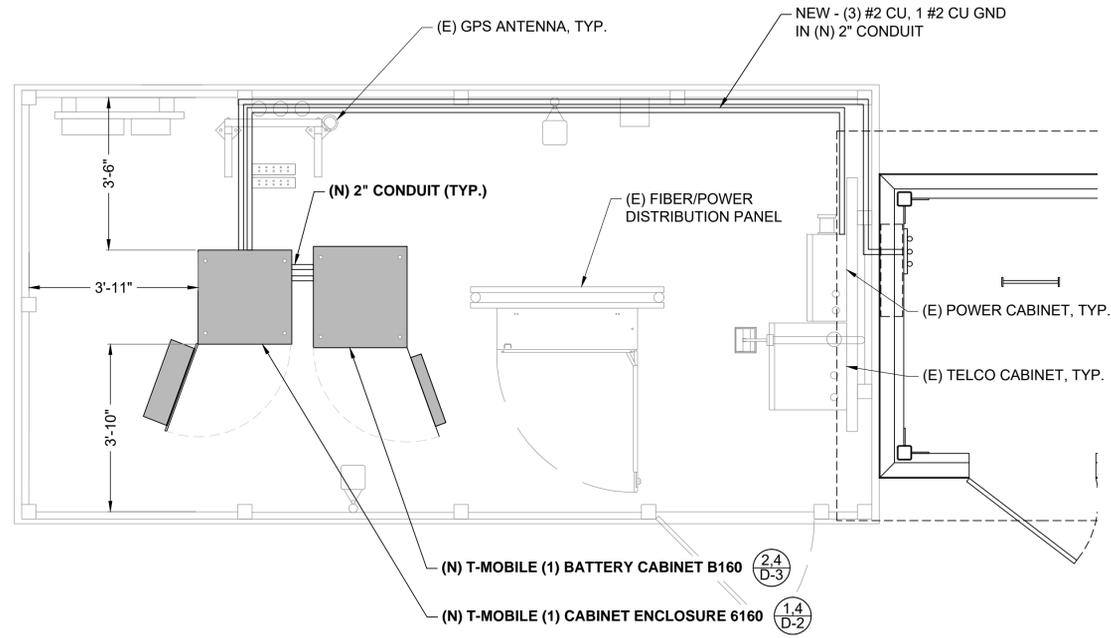
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DESIGNED BY: W. PRUITT  
PROJECT NO: EUTM0401  
DATE: 06/14/2021

SHEET NAME  
GROUNDING NOTES & DIAGRAMS

SHEET NUMBER  
**G-1**



POLE NO.	C.B. AMP/P	SERVICE	LOAD KVA				TYPE	TOTAL	SERVICE	C.B. AMP/P	POLE NO.
			TOTAL	TYPE	A	B					
1	60/2	SURGE ARST.	0.1	M	0.25		A	0.15	FAN	15/1	2
3			0.1	M		0.28	R	0.18	GFI RECEPTACLE	10/1	4
5		SPACE			7	M	7	6160 CABINET	150/2	6	8
7		SPACE			7	M	7				
9		SPACE			0.5	R	0.5	LIGHTS	20/1	10	12
11		SPACE						SPACE			14
13		SPACE						SPACE			16
15		SPACE						SPACE			18
17		SPACE						SPACE			20
19		SPACE						SPACE			22
21		SPACE						SPACE			24
23		SPACE						SPACE			
CONNECTED LOAD PER PHASE			7.75		7.28			NOTE: EXISTING LOADS ARE ESTIMATED.			
LOAD SUMMARY			CONN. KVA	DEMAND FACTOR	DEMAND KVA	VOLTS: 120/240V, 1PH, 3W MAIN C.B.: 200A BUS: 200 AMP POLES: 24 MOUNTING: SURFACE IN NEMA 3R AIC RATING: 10,000		PANEL PPC EXISTING			
TYPE "L": CONTINUOUS LOADS				125%		DEMAND AMPS		HIGH LEG CONNECTED AMPS			
TYPE "R": RECEPTACLES (FIRST 10KVA)			0.68	100%	0.68	63		65			
TYPE "R": RECEPTACLES (OVER 10KVA)				50%							
TYPE "M": MISCELLANEOUS LOADS			14.20	100%	14.20						
TYPE "A": AC LOADS			0.15	100%	0.15						
TYPE "K": KITCHEN LOADS				65%							
LARGEST MOTOR LOAD				25%							
TOTAL			15.03		15.03						

E = EXISTING BREAKER WITH EXISTING LOAD N = NEW BREAKER WITH NEW LOAD

ELECTRICAL PLAN

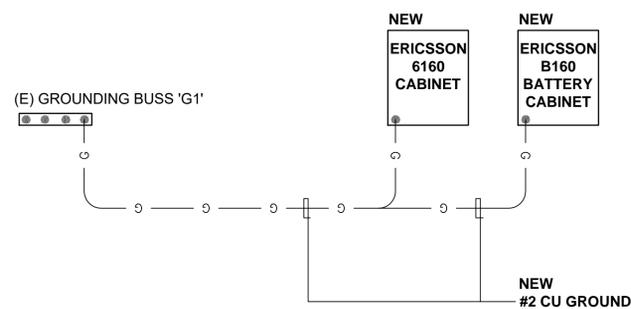
SCALE: N/A

4

PANEL SCHEDULE

SCALE: N/A

3



GROUNDING RISER DIAGRAM

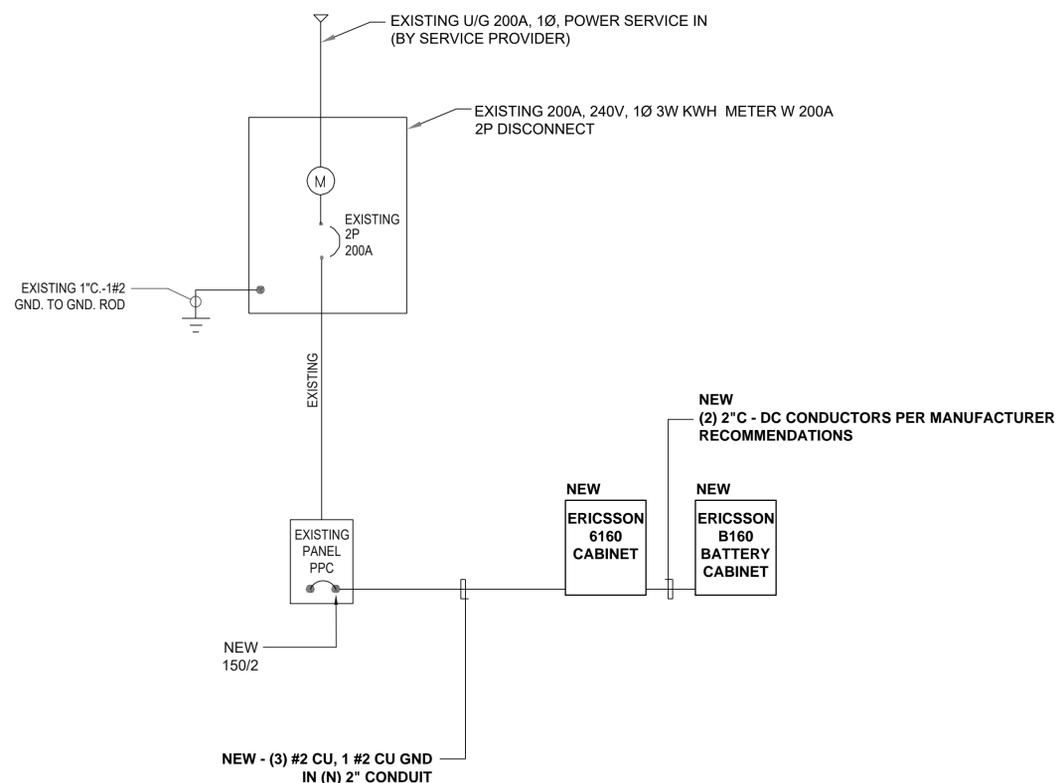
SCALE: N/A

2

SINGLE LINE DIAGRAM

SCALE: N/A

3



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SHEET NAME: GROUNDING NOTES & DIAGRAMS

SHEET NUMBER: **E-1**