



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean, and healthy place for residents and visitors to live, work and play.

**Regular Meeting -Tuesday, May 16, 2023
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson William Roschen

Vice-Chairperson Mike Rodriguez
Commissioner Asia King

Commissioner Joseph Ingraffia
Commissioner Eric Meyer

Public Participation:

Remote public participation is allowed in the following ways:

- *Community members may attend the meeting in person at the Morro Bay Veterans Hall*
- *Members of the public may watch the meeting and speak during the general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the "raise hand" feature to indicate your desire to provide public comment.*

Please click the link below to join the webinar:

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNWRWFUQT09>

Password: 135692

- *Or Telephone Attendee: 1 (408) 638-0968 or 1 (669) 900 6833 or 1 (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to "Raise Hand" for Public Comment*
- *Alternatively, members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Planning Commission at planningcommission@morrobayca.gov prior to the meeting. Agenda correspondence received at planningcommission@morrobayca.gov by 10 a.m. on the meeting day will be posted on the City website.*

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE/PLEDGE OF ALLEGEANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT

Members of the audience wishing to address the Planning Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Planning Commission at this time.

PRESENTATIONS

A. CONSENT CALENDAR

- A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.
- A-2 Approval of minutes from the Planning Commission meeting of April 4, 2023.
Staff Recommendation: Approve minutes as submitted.
- A-3 Approval of minutes from the Planning Commission meeting of April 18, 2023.
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS

- B-1 **Case No.:** CDP 21-025/ CUP21-07/PKG22-05
Site Location: 1175 Scott Street, Morro Bay, CA
Proposal: Application for a Conditional Use Permit, Coastal Development Permit and Parking Exception to allow a new mixed commercial/residential building proposed for the 2290 sf vacant parcel on the west side of Scott Street, just south of the intersection with Surf Street. The proposed project is a two-story 1535 sf two-story, four-bedroom hotel suite with fully ADA accessible ground floor which includes all the common area amenities. The third floor is a 1023 sf security residential dwelling with an 84-sf balcony and a 781 sf roof deck. There are no common area amenities for the hotel occupants outside of the hotel suite. The project zoning is C-2/PD/SP, and the property is not located within the coastal appeals jurisdiction. The Coastal Land Use Designation is Community Commercial, and the property is located within the Cultural Resources overlay area.
CEQA Determination: Exempt under Section 15303, Class 3c for mixed-use commercial project with less than 10,000 sf of floor area in a commercial zoning district.
Staff Recommendation: Conditionally Approve the project pursuant to the findings and recommended conditions of approval.
Staff Contact: Nancy Hubbard, Contract Planner, (805) 772-6211, nhubbard@morrobayca.gov
- B-2 **Case No.:** MAJ22-001
Site Location: 590 Morro Avenue, Morro Bay, CA
Proposal: Major Modification application (#MAJ22-001) to CP0-465/UP0-411 to allow modification of the existing hotel rooftop AT&T cell site for proposed removal and replacement of panel antennas, RRUs, and associated telecommunication equipment and upgrade of ground equipment room. The antennas and radio equipment would be screened by extending the existing rooftop screen on the northwest elevation by an additional 10' wide and 7' tall and constructing a second 7' tall x 12' wide rooftop screen on the northeast elevation. Project proposes to match existing 31'3" height and materials of existing screening. The project is located in the R-2/PD/S.4 zone district and is located outside of the coastal appeals jurisdiction.
CEQA Determination: Categorically Exempt under Section 15301
Staff Recommendation: Conditionally approve.
Staff Contact: Cindy Jacinth, Senior Planner, (805) 772-6577, cjacinth@morrobayca.gov

B-3 Case No.: *Plan Morro Bay: Zoning Code Amendment / Objective Design Standards*

Site Location: Citywide

Applicant/Project Sponsor: City of Morro Bay

Proposed Project: The Zoning Code was adopted by the City Council on November 22, 2022 via Ordinance 654. Objective Design Standards (ODS) have been developed as implementation of the 2020-2028 Housing Element goals and policies. The ODS are proposed to be added as Chapter 17.31 to the 2022 Zoning Code. The consultant work to complete the Housing Element implementation policies was funded from the award to the City of Morro Bay of grant funding from CA Department of Housing and Community Development. The Objective Design Standards was created in response to recent housing bills, to provide for a streamlined approval process for eligible residential projects (2 or more units) subject to certain conditions consistent with the objective zoning and design standards. The ODS is in final draft form and upon favorable recommendation will be forwarded to City Council for amendment to the 2022 Zoning Code.

CEQA Determination: Environmental Impact Report (SCH #2021111026)

Staff Recommendation: Review Objective Design Standards, open public hearing, engage and consider public comments, and forward a favorable recommendation for approval of the Objective Design Standards as Chapter 17.49 of the 2022 Zoning Code to City Council with finding that no further environmental review is required pursuant to State CEQA Guidelines Section 15162.

Staff Contact: Scot Graham, Community Development Director, (805) 772-6291 sgraham@morrobayca.gov

C. NEW BUSINESS

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on June 6, 2023, at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: www.morrobayca.gov/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morrobayca.gov/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located with the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet
 This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow.
 Approved projects are deleted on next version of log.

Agenda No: A-1
 Meeting Date 5-16-2023

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:											
1	Green	1175	Scott Street	6/28/21	CDP21-025 CUP21-07	New construction of 3 hotel units including one ADA unit and a residential security unit	Review comments provided on July 21, 2021. Requires a resubmittal for review. Discussed project with applicant, expected to have resubmittal ready in November 2021. Applicant is reviewing alternative designs for the project, staff provided input on 2/14/22. Resubmittal received October 25, 2022 - reviewing under both zoning codes. The project was redesigned to include only one hotel unit and one residential unit. Planning disapproved and letter was sent to applicant on November 18, 2022, requires a resubmittal. Meeting with applicant to review planning comments on Dec. 13, 2022. Applicant to revise plans and resubmit. Resubmittal received 12/19/22. Project deemed complete on 12/27/22. Applicant is required to submit an additional study prior to scheduling planning commission hearing. Additional study received, project needs to resubmit to address PW comments prior to moving forward to hearings. Resubmittal received 3/23/23, under review. Project conditionally approved by public works, scheduled for Planning Commission hearing on May 16, 2023.	BLDG. - Approved 12/21/22 CO			nh
2	City of Morro Bay		City-wide			Objective Design Standards draft (Zoning Code/ Implementation Plan amendment)	Objective Design Standards drafted as a result of 2020-2028 Housing Element Implementation grant funding. The Objective Design Standards are proposed to be added as an amendment to the Zoning Code (Chapter 17.31).				nh
2	Smartlink/ AT&T	590	Morro Ave	12/5/2022	M AJ22-001	Permit amendment for proposed modifications to existing AT&T rooftop cell site	Under review. Incomplete letter sent 12/15/22. Resubmitted 1/31. Project deemed complete and scheduled for PC hearing on 5/16/23.	BLDG. - 12/8/22 CO			cj
3	Patel	1050	Morro Ave	11/17/2022	CUP22-10/ CDP22-039	Remodel existing hotel and add second floor with kitchen and hotel dining area, plus other guest amenities. Increase from 16 rooms to 27 rooms.	Under Review. Comments provided Dec 12, 2022, requires a resubmittal. Applicant is addressing parking issues included in the PW comment letter. Project resubmitted on February 8, 2023, Planning ready to deem complete, needs resubmittal to address storm water requirements, comment letter sent 3/8/23. Public works provided additional correction comments on March 27, 2023. Planning deemed complete on April 9, 2023, will be reviewed and processed under existing zoning code due to the delay of the certification of the 2022 zoning code. Scheduling for PC hearing.	BLDG. - COND Approved CO			nh
4	Patel	646	Sequoia Court	2/21/2023	MIN23-001 (requires CUP)	Proposed new home with 4803 sf of living space and a 1493 sf garage/shop area. The site is 24,723 sf and is just outside of the coastal zone.	Planning comments provided March 9, 2023. Resubmittal received March 27, 2023 and is under review. Project deemed complete, scheduling for PC hearing on June 20, 2023	BLDG. - Approved 3/2/23 CO			nh
5	Morro 94 LLC	3300	Panorama	1/18/22	CUP 22-05/CDP22-003/TTM222-02	Submittal of combined concept and precise plan review for 61 unit subdivision. Project revised to 48 total housing units.	Received and under review. Notify Me account set up to provide information and publically available documents on the project. Subdivision Review committee meeting scheduled. Project comment letter sent 2/18/22, requires resubmittal and environmental review. Planning consultant team is preparing to hold a neighborhood meeting April 20, 2022 at Del Mar Elementary School at 6pm. City working with selected environmental consultant on contract and owner reimbursement agreements. TTM resubmittal received October 10, 2022, under review. Tentative Tract Map disapproved on November 2, 2022. REquires resubmittal with the CUP/CDP plans in order to be processed together. Environmental review is under contract and work has commenced. Anticipate process to take 6-9 months to complete. Resubmittal information received, under review and will schedule for Conceptual Review at Planning Commission in July 2023	BLDG. - Approved 2/14/22 CO			nh
30 -Day Review, Incomplete or Additional Submittal Review Projects:											
7	Ferrin	2772	Indigo Circle	4/20/2023	CDP23-008/CUP23-08	A new single story 2,491sf SFR with an attached 559sf garage, and a 192sf studio on a vacant lot located in the Cloisters subdivision.	Under Review				gc
6	Boges	640	Kings	3/30/2023	CDP23-006	New detached 908sf ADU with attached to a 720sf garage below.	Incomplete Letter sent 4/20	BLDG. - Disapproved CO			gc/st
7	Newman	961	Balboa	3/27/2023	CDP 23-005	Admin CDP for a new 2058 sf house with an attached 409 sf garage and 185 sf storage space with a 450 sf ADU .	Under review. Incomplete Letter sent 4/20.	G. - Approved 4/10/23 CO			st/cj
8	Palmer	515	Bernardo	3/9/2023	CDP23-004	Remodel and addition to existing 2,172 sf SFR and an interior studio ADU	Incomplete letter sent March 28, 2023	BLDG. - Disapproved 3/15/23			gc
9	Gillen	495	Embarcadero	3/7/2023	CUP23-04	Conceptual Review (no application) of potential redevelopment of city lease site at 495 Embarcadero as a mixed use development of hotel, restaurant, and retail uses.	Under review. Project needs Consent of Landowner. Applicant requested to withdraw application.	BLDG. - COND Approved CO			cj
10	Nance	595	Morro Bay	2/7/2023	CDP23-003	Admin CDP for installation of one solar carport located in the existing Chase Bank parking lot.	Under review, incomplete letter sent 2/28/23, resubmittal on 4/17, under review	BLDG. - 2/16/23 CO			gc
11	McDonald	300	Sicity St	1/31/2023	CDP23-002	New 2155 s.f. SFR w/ attached 284 s.f. garage and 409 s.f. decking on a vacant lot .	Incomplete letter sent 3/13/2023	BLDG. - Approved 2/10/23 CO			gc
12	Salbi	450	Marina	12/19/2022	CDP22-043	Admin CDP for two story single family home with garage and Accessory Dwelling Unit	Incomplete letter sent January 13th, resub on 2/7/23, under review, incomplete letter sent 3/2/23, resubmit 3/27/23, incomplete letter sent 4/10/23, Incomplete letter sent 4/12/23.	BLDG. - Approved 3/2/23 CO			gc
13	Bradley	2285	Emerald Circle	12/5/2022	CDP22-041 / CUP22-12	CDP and CUP for new construction of a 2,368sf one story single family home and 2 car garage on a vacant lot in the Cloisters subdivision.	Incomplete letter sent 1-5-2023, resubmit 3/30/23, under review and waiting for other required documents.	BLDG. - Approved 12/8/22 CO			gc
14	Agular	351	Panay	11/2/2022	CDP22-036	Demo existing one story 849sf SFR to build a two story 1,926sf SFR with a 226sf garage and a 280sf roof deck.	Under Review, Incomplete letter sent on 12/15/22, resubmittal 2/16/23, under review, incomplete letter sent 3/2/23, Resubmit 3/30/23, Incomplete Commet Letter sent 4/12/23	BLDG. - Approved 3/2/23 CO			gc

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15	Gonzalez	590	Radcliff	10/25/2022	CDP22-034	Admin CDP for a new 1,956 two story SFR with a 522sf attached garage and 640sf second story deck.	Under review. Planning disapproved and incomplete letter sent on 11/22.	BLDG. - Approved 10/27/22 CO			gc/st
16	Hsiao	205	Harbor St.	9/20/2022	LTM22-02	Lot merger application for underlying lot lines per approved planning permit for 6 unit hotel	Under review. Correction letter sent 11/21/22.. Lot merger certificates finalized and waiting on signatures 3/20/23.	NA			cj
17	MSA Architects	2417	Greenwood Ave.	8/24/2022	CDP22-030	Admin CDP to develop a new 562 detached ADU	Incomplete letter sent on 9/12/22, resubmittal on 10/26, under review, minor edits request on 11/17, withdrawn.	BLDG. - Approved 8/25/22 CO			gc
18	Shepler	2181	Sumset Ave	8/24/2022	CDP22-029	CDP Application for a new third dwelling and one ADU on a property with two existing homes	Comment letter sent on 9-5-22. Resubmittal received 10/24/22, planning requires minor changes and sent letter November 10, 2022. Requires resubmittal.	BLDG. - Approved 8/25/22 CO			nh
19	Messer	550	Kern	8/11/2022	CDP22-027	CDP for new construction of a two story 2,411sf SFR with a 565sf garage and 1,000sf attached ADU.	Under review, Incomplete letter sent 8/31, Resubmittal on 11/16, Under review, second Incomplete letter sent 12/13/22, resubmittal on 1/09/22, minor edits request on 1/27/23, resubmittal 1/31/23, under review, minor edits request on 1/20 resubmittal on 1/31/23. Request that plans be revised to meet parking requirements 3/7/23.	BLDG. - COND Approved CO			gc
20	Kersten	1358	Prescott	7/27/2022	CDP22-024	Admin CDP for partial conversion of an existing (522sf) attached garage into a single story 276sf ADU.	Incomplete letter sent on 08/09/22	BLDG. - Approved 8/9/22 CO			gc
21	California Coastal Investments, LLC	801	Embarcadero	6/28/2022	CUP22-09	Concept/Precise Plan CUP for mixed-use redevelopment of the Libertine Brewing Co. building to convert existing second floor to 7 hotel units and first floor as mix of restaurant, coffee shop, outdoor dining, provision of new public access improvements including extension of Harborwalk	Under review. Incomplete letter sent 7/27/22. Resubmitted 1/27. Corrections letter sent 3/17/23.	BLDG. - Disapproved 2/10/23 CO			cj
22	McDonald	471	Panay	6/1/2022	CDP22-019	Admin CDP for the new construction of a two story residence	Incomplete Letter Sent 6/14	BLDG. - Approved 6/14/22 CO			gc
23	Vanderbyl	531	Yerba Buena	4/20/22	CDP22-015	Admin CDP for shed conversion into 468 sf ADU	Correction Letter sent 5/12/22. Resubmittal received 7/21/22 - review comments sent on August 6, 2022, requires resubmittal. Resubmittal received and planning and building disapproved based on fire/life/safety issues. Resubmittal required.	BLDG. - COND Approved 5/11/22 CO			nh
24	Hartman	320	Orcas St	4/14/22	CUP22-07/ CDP22-010	New SFR with attached garage to replace home destroyed in fire	Correction letter sent 5/1/22. Resubmittal received March 28, 2023. Planning comments sent on April 10, 2023, project requires resubmittal with changes. Planning Comments sent - requires a resubmittal. Resubmittal received and under review.	BLDG. - Approved 3/30/23 CO			nh
25	Luhr	1140	Allesandro Ave	1/20/22	CUP22-06 / CDP22-004/ TTM22-04	Live/work mixed use, new construction of 5 residential units and 2 commercial units	Comment letter provided 2/13/22. Project deemed complete - processing will continue once Vesting Tentative Map submittal is complete. Vesting map submittal received May 12, 2022. Planning sent comment letter on 5/28/22, requires resubmittal. Resubmittal received with tentative tract map submittal on August 9, 2022, under review. PW disapproved the VTm, comment sent to applicant on 9-17-22, requires a resubmittal of the VTm. Applicant working with Public Works on some design issues in the public right of way. Once resolved, resubmittal required with any changes.	BLDG. - Approved 2/14/22 CO			nh
26	Romero	563	Zanzibar	12/6/21	CDP21-048	Admin CDP for new 1978sf 2 story SFR with 533 sf garage and 2nd level 128sf deck	Incomplete letter sent 12/22/2021, Resubmittal 7/28, under review, resub on 12/21/22, request edits on 1/19/23.	BLDG. Approved 12/15/21 CO			gc
27	Morro Bay LLC (Keller)	1108	Front Steet	11/8/21	MAJ21-007	Major Modification permit for Expansion and extensive remodel of second floor short term rental unit.	Planning comments sent 11/23/21, requires resubmittal. Applicant may put this application on hold until the adoption of the new zoning code (i.e. includes street setbacks closer to the actual placement of the building) (needs the IP sections to be final via CCC approval)	BLDG. - Approved 11/17/21 CO			nh
28	Guesno	220	Atascadero Rd	10/4/21	MIN21-012	Minor Amendment - Change temporary outdoor dining area to permanent outdoor dining	Application will apply for a TUP for outdoor dining. This application is on hold until certification of new zoning code	NA			nh
29	Shorey	545	Atascadero Rd	3/30/21	CUP21-04/CDP21-013	Proposed 16 units of new townhomes on sloped vacant parcel	Project was reviewed and comments provided in 2021. Applicant requested to keep the project open and has been working with public works and caltrans on utility requirements and frontage improvements. Project resubmitted for review on April 19, 2023 - under review by all departments.				nh
30	Vistra	1290	Embarcadero	12/28/20	CDP20-026 & CUP20-14	Battery Energy Storage System (BESS) - New proposed project to construct 600MW BESS on old tank farm north of existing Morro Bay Power Plant. BESS to be constructed as 3 separate buildings, 30 feet in height plus 10 feet of screening for rooftop equipment.	Under initial review. Project deemed incomplete and incomplete letter sent 1-21-2021. Applicant resubmittal received 2-17-2021 and under review currently. Project deemed complete for processing on 2/23/2021. Project plans and documents being evaluated. Environmental review process in progress. NOP released and two scoping meetings held on 6/21/22 and 6/29/22. Master Plan community workshop scheduled for 9/14/22. Environmental review still in process.	BLDG. - Approved 3/11/21 CO			cj
Projects Appealed to Planning Commission or PC Continued projects - none											
Projects Appealed or Forwarded to City Council											

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Environmental Review - none											
Final Map Under Review Projects:											
32	Huber	2783	Coral Ave	8/30/22	TTM22-03	5 unit residential subdivision	Planning approved, forwarded to PW.	BLDG. - Approved 4/14/22 CO			nh
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing: - none											
Grants											
33	City of Morro Bay		City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. City Council approved Cooperation Agreement for 2021-2023 CDBG Program Years at 5/26/20 Council meeting. Notice of Funding Availability for 2023 Program Year released fall 2022. Council draft recommendations considered 12/22 and final funding recommendations to be on 3-28-2023 to forward to County Board of Supervisors for inclusion in their Annual Action Plan 4/18/23. cj	No review performed.	N/R		cj
34	City of Morro Bay		City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
Projects in Building Plan Check:											
35	Castillo	1055	Allesandro St.	6/3/2021	B21-0097	250 sf addition to rear of existing SFR, addition creates two bedrooms and one full bath.	Planning disapproved 7/2/21. Resubmittal received 7/25/22. Resubmittal disapproved 8/01/22.	Bldg. - Disapproved 3/21/23			gc
36	Castillo	1055	Allesandro St.	7/25/2022	B22-0158	Jr. Accessory Dwelling Unit (JADU) - Existing bedroom in primary dwelling will be converted to JADU.	Planning disapproved 8/1/22	Bldg. - Disapproved 3/27/23			gc
37	Conway	305	Arbutus	1/4/2023	B22-0269	DIGEPLAN - 390 sf addition, expanding lower level family room and 2nd level primary bedroom & bath, the remodel includes kitchen and relocating two bathrooms to accommodate the installation of new elevator. The addition creates a 2nd level 378 sf rear deck.	Planning disapproved 1/26/23. st Waiting on resubmittal	Bldg. - Disapproved 1/25/23			st
38	Hibbard	990	Balboa	2/17/2023	B23-0028	DIGEPLAN - Kitchen and Bathroom remodel and new FAU installation in an existing 1329 sf SFR	Approved 2/23/23. st.	Bldg. - Approved 4/11/23			st
39	Goldstein	186	Bayshore Dr.	11/4/20	B20-0190	Remodel kitchen, dining & living area.	Planning disapproved 11-6-20	Bldg. - Approved 11/09/20			sg
40	Carter	2035	Bayview Ave.	8/5/21	B21-0135	New SFR, 1980 sf living, with 483 sf attached garage, 96 sf covered deck, 267 sf covered rear patio and 32 sf covered front porch.	Disapproved 8-26-21. am	Bldg. Disapproved 9/21/21			cj
41	Perry	3202	Beachcomber Dr	2/9/23	B22-0264	Demo existing, new construction of 2567 sf home iwth a 2424 sf subterranean garage on lower level and 963 sf roof deck. Home to be located on newly configured parcel (requires final TM)	Planning disapproved 2/19/23. nh	Bldg. - Disapproved 3/6/23			nh
42	Perry	3230	Beachcomber Dr	2/9/23	B22-0265	New SFR on new parcel. Home is 1816 sf with a 471 sf garage and a roof deck.	Planning disapproved 2/19/23. nh	Bldg. - Disapproved 3/6/23			nh
43	Segovia	2824	Birch Ave.	3/21/22	B22-0057	Cover patio, conversion to sunroom.	Disapproved 4/1/22	Bldg. - Approved 3/24/22			gc
44	Dillard	1256	Bolton	3/30/22	B22-0072	Convert Unfinished Underfloor Space in 986 sf of conditioned livable space	Disapproved 4/7/22. Resubmittal approved 7/29/22.	Ready to issue			am
45	Berner	2750	Dogwood Ave.	12/6/22	B22-0260	Add 235 sq of conditioned space, including a new bathroom, additions to bedroom and utility room, 297 sf, roof deck, spiral stair, ground floor deck (136 sf), less than 30" above existing adjacent grade.	Planning approved 2/28/23. st	Bldg. - Approved 3/2/23			st

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46	Robinson	2940	Dogwood Ave.	7/12/22	B22-0148	Install (2) bay windows, replacing (2) windows of smaller dimension on W facing front of house. Living Room: replace 5'x5' window w/ 50"x81" bay window. Bedroom: replace 32"x44" window w/ 50"x81" window.	Planning disapproved 7/19/22	Bldg. Conditionally Approved 7/18/22			cj
47	Davison	209	Dunes	2/21/23	B23-0040	DIGEPLAN - Interior Remodel, kitchen, fireplace, flooring.	Planning approved 3/2/23. st	Bldg. - Approved 3/27/23			st
48	Ciano	115	Easter St	1/11/23	B22-0283	DIGEPLAN: Interior remodel of existing ADU, relocate bedroom and kitchen/dinning and living area (reverse locations). Replace windows, doors, add skylights, wall mounted radiator, tankless water heater and other MEP.	Planning approved 2/2/23. st	Bldg. Disapproved 5/2/23			st
49	Gambrill	571	Embarcadero	2/22/22	B22-0035	Conversion of 839sf office space into 1 vacation rental unit. Extension of harborwalk and replacement of existing gangway and boatdocks.	Disapproved 3-8-21. Disapproved resubmittal 6-2-22. new resubmittal received 9/1/22 under review. Disapproved 10/3/22. Approved 1/20/23. cj	Ready to issue			cj
50	Redican	725	Embarcadero	3/14/22	B22-0049	The project consists of a 608 SF interior remodel of the existing arcade retail space into an extension of the commercial kitchen prep area. All work is exclusive to the interior of the lower level with no impacts to the site, exterior elevation or occupant circulation of the existing building.	Disapproved 3-17-22. Resubmittal received 6-23-22 and conditionally approved 8/25/22	Ready to issue			cj
51	TLC Family Enterprises	833	Embarcadero	3/16/22	B22-0052	Addendum #1 to B20-0220 - Removal of parapet wall which requires removing steel post below and show railing on upper level. Revert back to cantilevered floor joists for hotel access walkway upstairs.	Disapproved 3-21-22	Bldg. - Disapproved 4/18/22			cj
52	Guldenbrein	481	Estero Ave	1/5/23	B23-0003	New fencing & retaining walls, exterior electrical grading & catch basin installation w/pump in front yard. (see plans)	Disapproved 1/19/23	Bldg. - Disapproved 1/18/23			st
53	Godfrey	396	Hill St.	12/7/22	B22-0261	Addendum #2 to B21-0045 Relocate hold down along grid 1 at basement	Ready to issue	Ready to issue			st
54	Wilkie	476-A	Hill St.	3/26/20	B20-0057	ATTACHED ADU - Convert existing attached garage to 344 sf Accessory Dwelling Unit.	Correction letter sent 4/30/20.	Bldg. - Approved 4/8/22			nh
55	Duffy	2865	Ironwood Ave	4/24/23	B23-0087	Addendum #1 to permit B22-0201 - 1. Lower floor existing 2x4 exterior walls were shown in new plan as 2x6, but were not shown as being "demo'd". 2. Additional SF has been built inside garage space. 3. Structural beams and corresponding footing in slab removed.	Disapproved 4/27/23	Bldg. - Disapproved 5/1/23			st
56		2990	Ironwood Ave	3/2/23	B22-0285	DIGEPLAN - New three story SFR - 3799 sf living, 926 sf attached garage, with 2nd and 3rd floor decks totaling 210 sf, 562 sf covered patios and 535 sf under floor storage area.	Disapproved 3/9/23	BLDG. - Disapproved 3/27/23			GC
57	Lent	194	Island St	1/10/23	B23-0006	Remodel existing bonus room and portion of garage to ADU, construct new rooftop deck over portion of remodel/converted ADU.	Resubmittal needed. Planning approved 4/20/23	Bldg. - Approved 4/24/23			nh
58	Johnston	2781	Juniper Ave.	6/2/21	B21-0094	New 463 sf 2nd story deck at rear of existing SFR, also replace five existing windows with three new sliding glass doors.	planning disapproved 6/3/21. Planning approved resubmittal 7-20-21.	Ready to issue			sg
59	Cook	2941	Juniper	10/26/22	B22-0243	Demo unpermitted studio at lowest level of existing SFR and convert that space with additional underfloor space to create new workout area, bathroom, theatre, storage, and stairs to access upper levels adding approx. 906 sf to SFR.	Planning approved 10/31/22	Ready to issue			SG
60	Tarver	671	Kern Ave	12/22/22	B22-0271	DIGEPLAN: New 255 SF attached Accessroy Dwelling Unit (ADU)	Planning resubmittal approved 4/5/23	Bldg - Approved 3/28/23			gc
61	Cia	2551	Koa Ave.	2/23/22	B22-0038	New 3 bed 2.5 bath SFR w/attached 2-car garage.	Planning Approved resubmittal 6/28	Ready to issue			gc
62	Daniels	964	Las Tunas St.	8/3/21	B21-0133	Remodel the laundry room & add a bedroom, bathroom & hallway to the back of existing home in phase I. Phase 2, build a detached garage	Planning approved 5-12-22	Bldg. - Approved 5/16/21			sg
63	Castro	979	Las Tunas St.	1/19/23	B23-0013	Conversion of existing detached garage & work shop to ADU - 642 sf, no addition.	Planning approved 2/1/23. gc.	Bldg. - Approve 4/26/23			gc
64	Hansen	2485	Laurel	3/27/23	B23-0058	Repair fire damage to attached garage, kitchen & utilities room.	Planning approved 4/10/23	BLDG. - Approved 4/12/23			SG

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
65	Drenick	2530	Laurel Ave.	9/22/21	B21-0174	Reconstruction of 560 sf two-car garage, garage foundation and 560 sf rooftop deck over garage. See permit B21-0141 for separate demolition permit for these structures.	Disapproved and Correction Letter sent 10/5/21. Planning approved 7/27/22	Bldg. - Approved 8/4/22			am
66	Kevorkian	2615	Laurel Ave.	1/10/23	B23-0005	Addendum #1 to B22-0183, Change the deck configuration to reduce square foot to below existing square foot.	Planning disapproved and sent incomplete comment letter on 1/27/23.	Bldg. - Approved 1/17/23			gc
67	Elliott	2620	Laurel Ave.	4/14/22	B22-0082	New SFR 2.5 story with attached garage.	Planning disapproved 4/16/22. Resubmittal disapproved 6/25/22. Planning approved 7/21/22	Ready to issue			nh
68	Novell/Johnson	273	Main	2/23/23	B23-0038	DIGEPLAN - 73 sf stairway addition to existing home to create interior connection between the upper and lower floors.	Planning disapproved 3/6/23. Waiting on resubmittal. Cj	BLDG. - Disapproved 3/2/23			cj
70	Peter	890	Main	3/7/23	B23-0043	DIGEPLAN -Remodel 990 sf one story commercial building, includes new floor and wall finishes, new furred wall, ADA improvements to restroom, one doorway, and new light fixtures. New ADA parking isle and space.	Planning approved 3/14.	BLDG. - Disapproved 4/10/23			sg
71	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg. - Approved 2/27/19	Disapproved on 4/15/19		sg
72	Sonic	1840	Main St.	10/17/17	B-	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension. Planning permit extension requested and granted to allow new permit expiration of April 2021. Emailed applicant 3-19-2021 advising them of permit expiration date and extension opportunities. No recent activity. Planning permit expires 4/18/2023.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj
73	CenCal Enterprise, INC	2030	Main St.	9/21/22	B22-0232	The scope of work has changed. Applicant is now proposing to convert an existing space into an office space, and staff is awaiting the withdrawal of MIN22-005 to proceed with the Building Permit review process.	Planning approved 1/11/23	Bldg. - Disapproved 11/15/22			gc
74	Timothy and Allyson Cleath Family Trust	2790	Main St	11/8/22	B22-0248	Addendum to B22-0106, Modification to drain collection for parking lot. Sheets C-3 and C-4 revised. No change in flow to the bioswale per attached statement from civil engineer.	Approved 11-10-22. nh	Bldg - Approved 11/8/22			nh
75	Hauser	311	Mindoro St	1/3/23	B23-0001	Remove existing second floor cantilevered deck (615 sf), replace with (187 sf) deck.	Planning approved 2/3/23	Bldg. - Ready to issue			sg
76	Allen	310	Morro Bay Blvd.	5/2/23	B23-0093	Addendum #1 to permit B22-0040 - Adding two non-structural walls with doors to create office spaces within originally approved tenant space.	Approved 5/4/23	Bldg. - Disapproved 5/3/23			sg
77	Peterson	390	Morro Bay Blvd.	4/6/23	B23-0070	Addendum #1 to permit B22-0171 - Omit lower level windows in (E) openings from eastern elevation, add upper level windows in (E) openings. Add new window on northern elevation in (E) opening where ATM was formerly located.	Planning approved 4/6/23	Bldg. - Approved 4/10/23			nh
78	Orrom Properties	507	Morro Bay Blvd.	4/17/23	B23-0080	Install separation wall between this until and 828 Napa Ave, add accessible entry door and restroom.	Planning - Disapproved 4/20/23	Bldg. Disapproved 5/4/23			nh
79	JP Morgan Chase Bank	595	Morro Bay Blvd.	3/31/22	B22-0060	Installation of one solar carport, 99' 3 1/16" X 16' 7 3/8", with 15 modules, wall mounted PV equipment and four carport mounted lights, located in the existing Chase Bank parking lot.	disapproved 4/7/22	Bldg. - Disapproved 5/17/22			am
80	Orrom Properties	840	Napa	3/21/23	B23-0057	Interior renovation, replace windows, doors, electrical.	Planning approved 3/24/23	Bldg. - Approved 3/27/23			sg

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81	Orrom Properties	860	Napa	3/29/23	B23-0066	New reconfigured exterior stairs and landing to replace existing, remove wood side, replace w/ stucco, new trash enclosure under stairs. Interior work consists of electrical, mechanical, range hood vent, and replace window for egress.	Planning approved 4/10/23	BLDG. - Approved 4/10/23			sg
82	Mollaghaffari & Hawes	427	Oahu St.	5/5/22	B22-0087	New 2nd floor single family residence, 1048 sf living, with a 258 sf 2nd story deck, and 255 sf single car garage. (The garage and an ADU make up the 1st floor level, see permit B22-0088 for attached ADU).	Planning disapproved 5-12-22. Planning approved 1/20/23	Ready to issue			nh
83	Mollaghaffari & Hawes	427-A	Oahu St.	5/5/22	B22-0088	Attached ADU - 702 sf Accessory Dwelling Unit.	Planning disapproved 5-12-22/ Planning approved 1/20/23	Ready to issue			nh
84	Dowty	580	Olive	3/7/23	B23-0049	Removal of an existing 461 sf detached garage and construction of a new 1051 sf ADU.	Planning disapproved 4/4/23	BLDG. - Disapproved 3/30/23			st
85	Currey	154	Orcas St.	3/23/22	B22-0062	Remodel & additions to kitchen, entry, & masterbedroom.	Disapproved 4/11/22	Bldg. - Approved 12/1/22			gc
86	Currey	154-A	Orcas St	3/23/22	B22-0063	171 sf addition as an ADU	Disapproved 4-11-22	Bldg. - Approved 12/1/22			sg
87		965	Pelican	2/27/23	B23-0044	Addition to existing bathroom for a shower, 42 sf. Also reconfiguring existing bathroom.	Planning disapproved 3/2/23	BLDG. - Approved 3/2/23			st
88	Appel	400-A	Pico St	8/18/21	B21-0149	Convert existing garage to an ADU without changing the footprint of the garage.	Approved 8/25/21	Bldg. Disapproved 9/10/21			am
89	Lee	684	Piney Way	9/10/20	B20-0168	Demo existing detached 416 sf work shed with bathroom & reconstruct new 416 sf garage/shop with electrical, keeping existing bathroom on existing slab/foundation.	Planning disapproved 9/15/20. Requires a Admin CDP and Parking Exception prior to review and approval of the building permit. Planning disapproved resubmittal 2/24/21.	Bldg. - Disapproved 3/1/21			nh
90	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and assoicated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2") with associated electrical wiring.	Approved 9/26/19.	Ready to issue			cj
91	Macias/Mudge	153	Rennell	11/9/22	B22-0249	Construct new 1-story SF residence with 1,478 sf living area and 441 sf attached 2-car garage. There will be a 225 sf covered porch and 295 sf roof deck.	Planning disapproved 2/22/23. Planning approved 4/27/23	Bldg - Approved 2/23/23			gc
92	Nagy	646	Sequoia Ct.	4/20/22	B22-0085	New 2-story SFR, 3513 sf living, 1220 attached basement level garage, and 1156 sf covered patio.	Planning disapproved - project needs resubmittal to include conditions of approval and more detailed lanscape plan. Planning approved July 5, 2022.	Ready to issue			nh
93	Hanton	425	Shasta Ave	1/17/23	B23-0004	DIGEPLAN - Enclose the current breezeway to create a new 90 sf entry, a 350 sf addition creating a primary suite and bathroom, also create a valuted space in the existing garage by removing roof and replace with new composition roof.	Planning disapproved 2/16/23	Bldg. Disapproved 2/14/23			gc
94	Parker	580	Shasta Ave	8/31/20	B20-0159	Add new detached garage	Planning under review. Planning disapproved 9/8/20. Need resubmittal	Bldg. - Disapproved 9/14/20			nh
95		242	Surf St	2/23/23	B22-0282	DIGEPLAN - Demo existing 340 sf detached non-conforming garage and construct new 232 sf conforming garage with new 380 sf Accessory Dwelling Unit (ADU) atop and along side of new garage.	Planning disapprove 3/17/23. Planning approved 4/20/23	BLDG. - Disapproved 4/24/23			NH

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96	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane, new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal. Permit application expired	Bldg. - Approved 3/27/19			wu
97	Regan	429	Tulare Ave.	5/27/22	B22-0106	531 sf second floor addition that includes a study and bathroom, stairwell and a 200 sf second story deck.	Planning Approved 6/7	Ready to issue			gc
98	Morro Bay Ventures	201	Verdon Ct.	1/4/23	B22-0273	DIGEPLAN - New single story, single-family residence, 2,361 sf living, with 483 sf covered porch and a 450 sf attached garage.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
99	Morro Bay Ventures	202	Verdon Ct.	1/4/23	B22-0277	DIGEPLAN - New single story, single-family residence, 2,361 sf living, with 483 sf covered porch and a 450 sf attached garage.	Planning disapproved 2/2/23	Bldg. - Disapproved 2/3/23			nh
100	Morro Bay Ventures	205	Verdon Ct.	1/4/23	B22-0274	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. See permit B22-0279 for attached ADU.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
101	Morro Bay Ventures	205-A	Verdon Ct.	1/4/23	B22-0279	DIGEPLAN - New 517 sf attached Accessory Dwelling Unit (ADU). See permit B22-0274 for new SFR.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
102	Morro Bay Ventures	206	Verdon Ct.	1/4/23	B22-0276	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
103	Morro Bay Ventures	210	Verdon Ct.	1/4/23	B22-0275	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. See permit B22-0280 for attached ADU.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh
104	Morro Bay Ventures	210-A	Verdon Ct.	1/4/23	B22-0280	DIGEPLAN - New 517 sf attached Accessory Dwelling Unit (ADU) - See permit B22-0275 for new SFR.	Planning disapproved 1/11/23	Bldg. - Disapproved 2/3/23			nh

Planning Projects & Permits with Final Action:

105	T-Mobile/ Siegel	545	Shasta	10/12/21	CUP21-13/ CDP21-039	T-Mobile modification to existing facility approved under UP0-162/CP0-229. T-Mobile proposes to remove/replace and relocate existing wireless facility screened within existing church steeple and construct new 25'0" faux bell tower for relocated wireless facility and upgrade to existing ground equipment cabinet.	Under review. Project deemed incomplete 11-8-21. Resubmitted 8/25/22. Under review. Deemed incomplete and response letter sent 9/22/22. Resubmittal received 1/11/23. Incomplete letter sent 1/26. Resubmittal received 3/20/23 and 4/3/23. Project deemed complete and scheduled for PC hearing on 4/18/23. Approved with conditions by PC 4/18/23.	BLDG. - Approved 10/20/21 CO			cj
106	Jasso	2515	Greenwood	2/22/22	CDP22-006	Admin CDP for new SFR with 2 car garage and detached ADU	Comment Letter Sent 3/17/22. Project resubmittal received 3/15/23 - comment letter sent on 3/27/23. Resubmittal received 3/30/23, under review. Project deemed complete, public noticing from 4/21 to 5/2/23. Permit decision to be made on May 3, 2023. Project was approved and permit issued on May 3, 2023	BLDG. - COND Approved 2/24/22 CO			nh
107	Bean	197	Main Street (formerly known as 199 Sandpiper)	12/19/19	CUP19-20, CDP19-04, VAR20-001	CUP/CDP for new home on triangular small parcel on the bluff. Proposed home is 526 sf 2-stories with access easement to Main Street	Project deemed incomplete, comment letter sent January 7, 2020. Resubmittal received 10/26/20 adding a variance request, under review. Incomplete, need resubmittal. Resubmittal received September 14, 2021, under review. Incomplete letter sent on Oct 4, 2021. Resubmittal received 10/29/21. Planning comment letter sent November 10, 2021, requires resubmittal. Project deemed complete and scheduled for planning commission on May 17, 2022. Planning Commission denied the project, and the owner has appealed. Scheduled for City Council, August 23, 2022 at the request of the applicant. City council upheld the appeal and approved the project. Project appealed to California Coastal Commission, pending review.	BLDG. - Approved 12/20/19 CO			nh
108	Orgill	3009	Beachcomber	7/19/22	CDP22-023	Demo of existing home that is structurally unsound, and rebuild new 3335 sf home with a 715 sf garage/trash area. Existing home was the Jim Maul residence.	Comments sent August 6, 2022, requires resubmittal and will require updated Architectural Historic Resource review based on the new plan and the structural report. Resubmittal received October 20, 2022, project was deemed complete November 2, 2022. Scheduled for Planning Commission hearing on December 20, 2022. Public notice to begin on December 9th, 2022. PC continued hearing to January 17, 2023. Project approved by PC on January 17, 2023, permit issued. Project appealed on January 25, 2023, but appears to be a concern around an issue unrelated to the subject property. Appeal determined to be unrelated to the project and was rejected. Project is approved with valid permit. Project appealed to Coastal Commission, pending CCC review and determination. Appeal to Coastal Commission was withdrawn, the planning permit is now final.	BLDG. - Approved 8/3/22 CO			nh

Staff Directory:
 Scot Graham - sg Chad Ouimet - co Cindy Jacinth - cj Pam Newman - pn Nancy Hubbard - nh Gabby Cortez - gc Susana Toner - st

AGENDA ITEM: A - 2

DATE: 5/16/2023

ACTION:

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – APRIL 4, 2023
Morro Bay Community Center Multi-Purpose Room – 6:00 P.M.
NOTE: ONE-TIME MEETING LOCATION CHANGE

PRESENT:	Bill Roschen Mike Rodriguez Joe Ingraffia Eric Meyer	Chairperson Vice-Chairperson Commissioner Commissioner
ABSENT:	Asia King	Commissioner
STAFF:	Scot Graham Cindy Jacinth	Community Development Director Senior Planner

ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE

PLANNING COMMISSIONER ANNOUNCEMENTS - NONE

PUBLIC COMMENT PERIOD

<https://youtu.be/fzfHlePqPec?t=172>

Paul Donnelly, Morro Bay, spoke about the old Rec building and a dedication that happened about 35 years ago, a large bronze plaque was placed in the lobby to dedicate the building and stated that it has vanished. Mr. Donnelly is wondering what happened to it. Commented that this is part of the history of Morro Bay. Also spoke about City Hall and that there used to be portraits of the past Mayors and Councilmembers that have also vanished and would like to know what happened to those.

Bill Martony, Morro Bay, commented about the rock parking lot, he thought awhile back there were plans to beautify the area and would like to know what happened with those plans.

Cindy Meur, Morro Bay, urged the Commission to not change the Zoning Code to accommodate any kind of industrial on the Embarcadero.

Natalia Merzoyan, Morro Bay, stated that she would like to second what Ms. Meur stated.

Chairperson Roschen closed the Public Comment period.

<https://youtu.be/fzfHlePqPec?t=536>

Public Participation:

Remote public participation is allowed in the following ways:

- Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at planningcommission@morrobayca.gov prior to the meeting.
- Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).
- Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input.

Please click the link below to join the webinar:

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNWRFWFUQT09>
Password: 135692

Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to “Raise Hand” for Public Comment

PRESENTATIONS

A. CONSENT CALENDAR

<https://youtu.be/fzfHlePqPec?t=541>

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

A-2 Approval of minutes from the Planning Commission meeting of February 21, 2023.
Staff Recommendation: Approve minutes as submitted.

A-3 Approval of minutes from the Planning Commission meeting of March 7, 2023.
Staff Recommendation: Approve minutes as submitted.

MOTION: Commissioner Meyer moved to approve staff recommendation with some corrections to A-3. Commissioner Ingraffia seconded, and the motion passes 3-0-1, with Ingraffia, Roschen, and Meyer voting yes and Rodriguez abstaining.

B. PUBLIC HEARING

C. NEW BUSINESS

<https://youtu.be/fzfHlePqPec?t=616>

- C-1** **Case No.: CUP23-05 - Sea Shell Estates Concept Review**
Site Location: 301-390 Seashell Cove, Morro Bay, CA
Proposal: Conceptual Review of a potential future multi-family project with plans showing 37 three-bedroom rental units arranged as a cluster of buildings on 10 vacant lots (4.7 acres) at 301-390 Seashell Cove. Concept Review request is to receive Planning Commission feedback and input on development as a multi-family project with goal to develop potentially up to 70 units subject to future tract amendments or approvals. Future project development would also require a land use and zone change in order to accommodate multi-family residential. Project's land use designation is low density residential, and zoning is R-A/PD. A portion of the sites, lots 1-3, are located within the Coastal Commission appeal jurisdiction.
CEQA Determination: No determination is required for conceptual review.
Staff Recommendation: Hear a presentation on the project and provide comments. This is a Business Item for information gathering and discussion purposes only and **NO ACTION** will be taken at this time.
Staff Contact: Cindy Jacinth, Senior Planner, (805) 772-6577

Jacinth presented the staff report.

Commissioners presented their questions to staff.

The Applicant presented his project.

Commissioners presented their questions to the applicant.

Chairperson Roschen opened the Public Comment period.
<https://youtu.be/fzfHlePqPec?t=3515>

Betty Winholtz, Morro Bay, commented that she was on the City Council at the time that this project first came up and one of the major concerns was that this project was on the scenic highway. Ms. Winholtz summarized her letter that she submitted to the Planning Commission.

Jeff Heller, Morro Bay, asked a question about upzone. Spoke about affordable housing and said that this is very much needed, he believes 25% should be mandated for low-income housing also stated that the in-lieu fee is not enough and should be increased. Asked if it is possible for the current council to overturn the upzone.

Paul Donnelly, Morro Bay, commented that there is a subdivision map and restrictions are listed on the last page of the map, spoke about the grading plan.

Bill Martony, Morro Bay, spoke about how housing in Morro Bay is important but the location of this project is terrible.

Terry Simmons, Morro Bay, spoke against the project and stated grading plan has errors and project detail is lacking.

Nancy Bast, Morro Bay, spoke against the project agreeing with the other speakers. She stated the road is too narrow and spoke against the zone change.

Natalia Merzoyan, Morro Bay, commented that she doesn't want Morro Bay to change and spoke against the project.

Chairperson Roschen closed the Public Comment period.
<https://youtu.be/fzfHlePqPec?t=5215>

Commissioners presented their questions to staff.

The Applicant commented on some of the concerns from the public.

Planning Commission discussion included the following input and feedback:

1. Future applications should include more detail and specificity on the project proposal.
2. The architectural design shown does not reflect Morro Bay and the project should be designed to be more consistent with City design guidelines. Drawings need more articulation, upper floor step backs, inclusion of balconies and better pedestrian connections.
3. Project plans should include a section drawing running through the site, south to North, showing height differences and illustrating visual impact of building height against the ridgeline above the property.
4. Property is located at a gateway to the City. Provide photo-realistic visual simulations from viewpoints taken from both north and southbound Hwy 1 approaching the site.
5. A greater variety of unit counts should be included in the project. The mix of units proposed should be revised to include units with smaller bedroom counts.
6. PC was interested in seeing a project that includes on-site affordable units and is not supportive of paying in-lieu fees instead. Preference is for 20% to 25% of the units to be affordable.
7. Project plans should include a description of community benefits proposed such as pedestrian connections, park, or playground components for residents.
8. Address how children will get to bus stops on South Bay Blvd/Quintana

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS - NONE

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS
<https://youtu.be/fzfHlePqPec?t=6977>

Graham mentioned the Community Goal Setting process will be in the main auditorium building in the Community Center, on Wednesday, April 5th at 5:30 PM.

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on April 18, 2023, at 6:00 p.m.

Bill Roschen, Chairperson

ATTEST:

Scot Graham, Secretary

AGENDA ITEM: A - 3

DATE: 5/16/2023

ACTION:

**ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – APRIL 18, 2023
VETERANS MEMORIAL BUILDING – 6:00 PM**

PRESENT:	Bill Roschen Mike Rodriguez Joe Ingraffia Asia King Eric Meyer	Chairperson Vice-Chairperson Commissioner Commissioner Commissioner
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STAFF:	Scot Graham Cindy Jacinth	Community Development Director Senior Planner
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ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE

PLANNING COMMISSIONER ANNOUNCEMENTS

<https://youtu.be/ila1Hxt-Myg?t=96>

Commissioner Rodriguez announced that the Council has been engaged in their annual goal setting sessions and their first meeting was on April 4th, their second meeting was on April 11th and the final meeting will be on April 25th.

Commissioner King spoke about having a Planning Commission Book Club and at the next meeting they will be starting 30 minutes earlier to have a casual discussion of what they have read and invited anyone from the public to join.

PUBLIC COMMENT PERIOD

<https://youtu.be/ila1Hxt-Myg?t=217>

Richard Sadowski, Morro Bay, spoke about Homefront Environmental Justice, a volunteer non-profit group. They received a grant for the Morro Bay Estuary Air Monitoring in 2019. This group is seeking funding for a new air quality meter that stopped working.

Betty Winholtz, Morro Bay, noticed that there were two trees cut on Shasta Street across the street from Chase Bank during bird nesting season and would like to know why.

Chairperson Roschen closed the Public Comment period.

<https://youtu.be/ila1Hxt-Myg?t=568>

Public Participation:

Remote public participation is allowed in the following ways:

- Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at planningcommission@morrobayca.gov prior to the meeting.
- Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).
- Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input.

Please click the link below to join the webinar:

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcxTHlRTk9xaTlmWVNWRFUQT09>
Password: 135692

Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to “Raise Hand” for Public Comment

PRESENTATIONS

A. CONSENT CALENDAR

<https://youtu.be/ila1Hxt-Myg?t=575>

A-1 Current and Advanced Planning Processing List

Staff Recommendation: Receive and file.

A-2 Approval of minutes from the Planning Commission meeting of March 21, 2023.

Staff Recommendation: Approve minutes as submitted.

A-3 Approval of minutes from the Planning Commission meeting of April 4, 2023.

Staff Recommendation: Approve minutes as submitted.

Chairperson Roschen spoke about the comments that the Commissioners had for the Sea Shell project, and would like for the comments to be listed in the April 4th minutes.

MOTION: Vice- Chairperson Rodriguez moved to approve staff recommendation – A-1 and A-2. Commissioner Meyer seconded, and the motion passes 5-0, with Ingrassia, Rodriguez, Meyer, Roschen, and King voting yes.

B. PUBLIC HEARING

<https://youtu.be/ila1Hxt-Myg?t=658>

- B-1 Case No.:** CDP21-039/CUP21-13
Site Location: 545 Shasta Avenue, Morro Bay, CA
Proposal: Coastal Development Permit and Conditional Use Permit request for modification and upgrade to existing T-Mobile wireless telecommunication site. Applicant proposes to remove existing telecommunication antenna equipment screened in an existing rooftop steeple and cross at St Peters Episcopal Church and construct a new 7' x 7' 25-foot-tall faux church bell tower for screening of upgraded wireless telecommunication antennas and associated equipment. The project also proposes an upgrade of associated equipment in the existing ground equipment cabinet located on the west side of the church parking lot. The project is located in the R-2 zone district and is outside of the Coastal Commission appeals jurisdiction.
CEQA Determination: Categorically Exempt under Section 15303
Staff Recommendation: Conditionally approve
Staff Contact: Cindy Jacinth, Senior Planner, (805) 772-6577

Jacinth presented the staff report.

Commissioners presented their questions to staff.

Rachael Davidson, Applicant, spoke about the project.

Commissioners presented their questions to the applicant.

Chairperson Roschen opened the Public Comment period.

<https://youtu.be/ila1Hxt-Myg?t=1729>

Terry Simons, Morro Bay, stated that he looked further into the process and now understands why the project is being processed the way it is. Stated the tower is lacking in the 3-dimensional aesthetic and needs more definition. He is concerned about the roof.

Betty Winholtz, Morro Bay, shared comments objecting to the project. Explained how there are homes in direct contact with this project. Spoke about what happened prior in 2007 about prior projects like this and how it was said that these types of projects should be on City property and not private property.

Chairperson Roschen closed the Public Comment period.

<https://youtu.be/ila1Hxt-Myg?t=2350>

MOTION: Vice- Chairperson Rodriguez moved to adopt Planning Commission Resolution 06-23 with the added conditions; tree located immediately east of proposed bell tower shall remain, bell tower maintenance shall be maintained at a level and in a manner consistent with the other outside buildings, bell tower architecture shall be revised to provide more design articulation and details and to be reviewed for architectural consistency with the church building by Chairperson Roschen prior to issuance of a building permit, on-site bell tower RD signage shall include the RF engineer contact name and phone number, and a post-construction RF-EME report shall be prepared with the name of responsible RF engineer verifying compliance with FCC

requirements once the facility is operational. Commissioner Meyer seconded, and the motion passes 5-0, with Ingraffia, Rodriguez, Roschen, Meyer, and King voting yes.

C. NEW BUSINESS - NONE

D. UNFINISHED BUSINESS

<https://youtu.be/ila1Hxt-Myg?t=3577>

D-1 Appointment of 2 Downtown Design District Planning Commission Subcommittee members.

City Council has authorized formation of a Planning Commission Downtown Design District ad hoc Subcommittee to address increased height in the downtown. This item does not have a staff report.

Staff Contact: Scot Graham, Community Development Director, (805) 772-6291, sgraham@morrobayca.gov

Discussion between the Commissioners and staff.

Chairperson Roschen opened the Public Comment period.

<https://youtu.be/ila1Hxt-Myg?t=4568>

Terry Simons, Morro Bay, spoke about his concern when there is no staff report. Mr. Simons is in support of a Design Review Committee that's an ongoing event.

Richard Sadowski, Morro Bay, stated that he feels having this committee provides a little more transparency and also spoke about the historical buildings.

Chairperson Roschen closed the Public Comment period.

<https://youtu.be/ila1Hxt-Myg?t=5516>

MOTION: Commissioner Meyer moved to have Chairperson Roschen and Commissioner Ingraffia on the Downtown Design District Planning Commission Subcommittee. Vice-Chairperson Rodriguez seconded, and the motion passes 5-0, with Ingraffia, Rodriguez, Meyer, Roschen, and King voting yes.

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

<https://youtu.be/ila1Hxt-Myg?t=5865>

Commissioner Ingraffia would like to talk about alternative locations for the telecommunication facilities as a future agenda item.

Vice-Chairperson Rodriguez spoke about the Public Benefits and putting that on the agenda.

Chairperson Roschen would like to reach out to the State Housing Department to get a representative to give an information session as a future agenda item.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

<https://youtu.be/ila1Hxt-Myg?t=6172>

Graham mentioned there will be no Planning Commission meeting on May 2nd and the meeting after will have three items.

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on May 16, 2023, at 6:00 p.m.

Bill Roschen, Chairperson

ATTEST:

Scot Graham, Secretary



AGENDA NO: B-1

MEETING DATE: May 16, 2023

Staff Report

TO: Planning Commissioners **DATE:** May 16, 2023

FROM: Nancy Hubbard, Contract Planner

SUBJECT: Proposed Commercial/Residential project that includes a single hotel suite (with 4 bedrooms), plus manager's residential unit

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting Planning Commission Resolution 07-23 making the necessary findings for approval of CDP21-025, CUP21-07 and PKG22-05

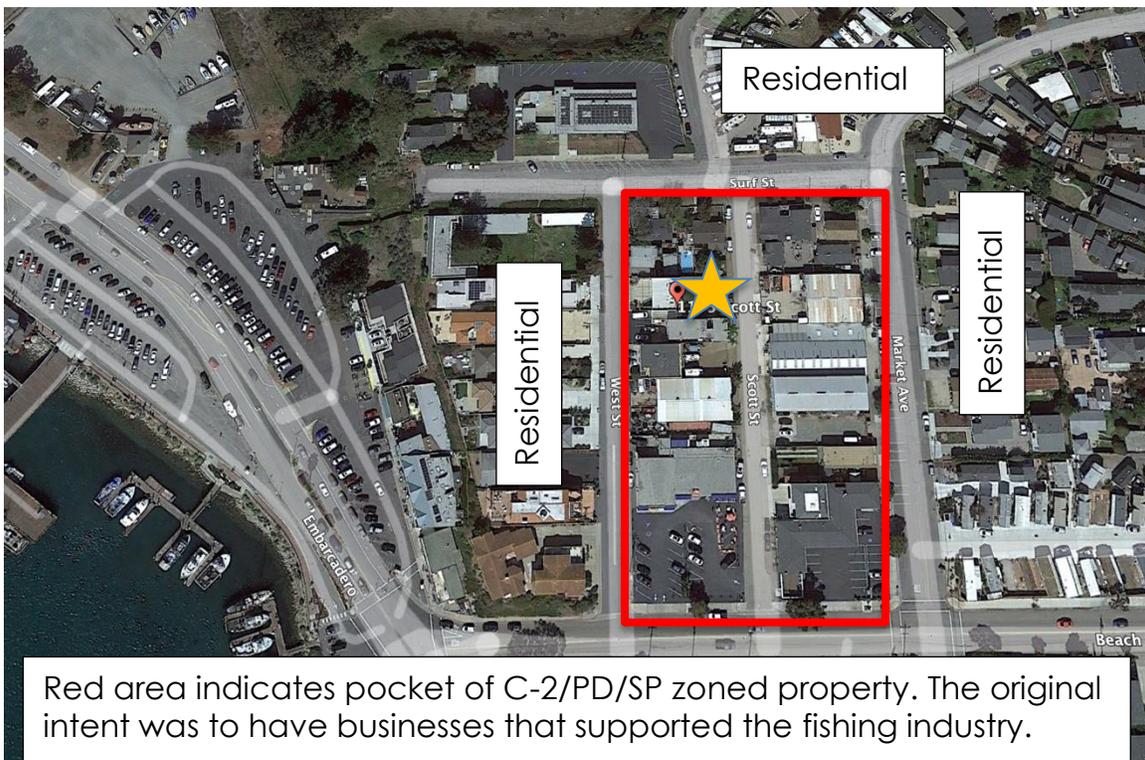
APPLICANT: Sean Green
ADDRESS/APN: 1175 SCOTT STREET/APN 066-031-008

SUBJECT: Coastal Development Permit (CDP21-025), a Conditional Use Permit (CUP21-07) and Parking Exception (PKG22-05) to allow a new mixed commercial/residential building proposed for the 2290 sf vacant parcel on the west side of Scott Street, just south of the intersection of Surf Street. The proposed project is a two story 1535 sf hotel suite (ADA accessible with full amenities on ground floor). The third floor is a 1023 sf security residential dwelling with an 84-sf balcony and a 781-sf roof deck. There are no common area amenities for the hotel occupants. The project zoning is C-2/PD/SP, and the property is not located within the coastal appeals jurisdiction. The Coastal Land Use Designation is Community Commercial, and the property is located within the Cultural Resources overlay area.

ZONING: The existing effective zoning district is C-2/PD/SP (General Commercial with a Planned Development Overlay and in the Beach Street Specific Plan area (Area D). This zone allows more industrial commercial uses that are not dependent on pedestrian traffic. Generally, this zoning district is away from central business districts and residential areas because of higher noise and other impacts generated from semi-industrial commercial uses. This zoning district also allows uses clearly ancillary to fishing industry related uses. The proposed use is a hotel suite designed for guests visiting Morro Bay. This zoning district allows a residential unit for security purposes.

The project is in a Planned Development overlay area which allows development on parcels which because of their size and/or location require special review. The PD overlay zone allows for the modification of or exemption from the development standards of the primary zone which would otherwise apply if such action would result in a better design or other public benefit. Development standards that can be modified pursuant to the PD overlay zone include building height, yard requirements and minimum lot area for dwelling unit density determinations.

The project is also in the Beach Street Special Treatment area (SP – Area D) which allows all land uses permitted or conditionally permitted in the C-VS zoning district (which includes hotel uses) subject to a Conditional Use Permit. Area D requires new uses to provide parking in accordance with Section 17.44.020 of the zoning code but allows Planning Commission to approve payment in lieu of providing all or some of the parking spaces on the site. However, since the project has provided the required number of spaces on the site, with one compact and all spaces backing onto the street, approval of a parking exception is required.



The approved 2022 zoning code changes this area to Community Commercial. However, the zoning map and development standards in the new zoning code are Coastal Implementation Plan (IP) sections that have not yet been certified by the California Coastal Commission. The Land Use designation of Community Commercial, which is approved has the intent to include this isolated area in with the downtown/waterfront commercial districts to enhance a walkable community commercial area with a mix of uses, including retail, professional, medical and

hotels and motels. The Community Commercial zoning district will allow residential behind or above the commercial use, without the designation as only for manager or security purposes. This is a change from the previous zoning designation which was for heavy commercial/light industrial uses that were auto dependent and not walkable. The existing uses in this area are about 50% residential (some with inactive or low impact commercial use), a few businesses that comply with the original intent for fishing supportive business and a restaurant. This area has been slow to develop because of the previous zoning, the small lots and the narrow street.

Adjacent Zoning - Existing (Proposed)			
North	R-2 (RM)	East	C-2/PD/SP(CC)
South	C-VS/PD/SP(VSC)	West	C-2/PD/SP(CC)

Site Characteristics	
Site Area	2,290 square feet
Existing Use	Vacant
Terrain	Level – slight slope from NE corner to SW corner
Vegetation/Wildlife	Vacant parcel, weeds
Archaeological Resources	N/A
Access	Access from Scott Street

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Community Commercial (residential above or behind)
Base Zone District	C-2 (heavy commercial – industrial)
Zoning Overlay District	PD
Special Treatment Area	SP (Beach Street Area D)
Combining District	n/a
Specific Plan Area	Beach Street Specific Plan area
Coastal Zone	Not within the Coastal Commission Appeal Jurisdiction



Current View of Site looking south

PROJECT ANALYSIS:

The proposed project is a modern design three story building. The commercial portion includes a two-story, four-bedroom hotel suite with 689 sf on the ground floor level and 846 sf on the second floor. The lower level includes a kitchen area, a living room, laundry facilities and a fully ADA accessible bedroom and bathroom. The upper level includes 3 more bedrooms, one of which has a queen size bed with a twin bed above (bunk-bed style), two bathrooms and a small loft area for reading or computer use. On the third floor is a residential unit for security or a hotel manager, accessed by stairs and compact size elevator. The residential unit is 1023 sf with two bedrooms and two bathrooms, a living room, kitchen with dining area. The outdoor amenities for the residential unit include an 84-sf balcony on the east side and private access to the roof deck which is 781 sf and includes a fire pit, a hot tub and kitchenette counter and sink, and an artificial turf area. A portion of the roof includes a solar array and AC condenser units for the hotel and residential unit.

DEVELOPMENT STANDARDS:

The project is on a narrow public street that is paved with an asphalt rolled curb. Some newer developments have sidewalks, but most of the street has no sidewalks. The subject project will add a curb and a sidewalk along with the driveway approach for three 90-degree perpendicular parking spaces. The project is required to have 3 parking spaces which consists of one ADA Van accessible space, one standard size parking space and one compact parking space. The proposed project meets all applicable development standards for the zoning district, as noted in the table below.

	C-2/PD/SP Standards	Proposed Project
Front Setback (Scott St)	Average of 2 feet	2 feet

Interior side Setback (north and south sides)	0 feet	4 feet
Rear Setback (west)	0 feet	4 feet
Height (from ANG)	30 Feet	29 ft, 11 Inches
Lot Coverage	90%	73%
Parking	1 for hotel unit/2 for Residential Unit	3, including ADA Van Accessible Space and EV charger
Bicycle Parking	None required	None provided

PUBLIC IMPROVEMENTS

The installation of frontage improvements is required. Includes the installation of a driveway approach, sidewalk, curb & gutter. The non-ADA parking spaces shall be constructed with permeable pavers. One 15 gal. street tree placed outside of the public right of way, no closer than 3 feet from frontage property line. (MBMC 14.44.020). Public works included an approved the wider driveway that is typical in the area and necessary to accommodate the parking required (MBMC 17.44.030).

PARKING REQUIREMENTS/PARKING EXCEPTION:

Parking requirements for Hotel Rooms required one parking space for each room (1 hotel suite = 1 parking spaces). The residential unit requires 2 parking spaces. The project has provided 3 parking spaces, one of which is ADA Van accessible, and another is a compact space. The requirements of Section 17.44.020 Section D.3 are to provide three spaces with a minimum dimension of 9ft x 20 ft. This project requires a parking exception to allow a compact space as the third parking space. Because there are only three spaces and one is the required van accessible space (which is 17 ft wide by 20 long), the site cannot accommodate the third space at the standard size. The parking exception requests a grant of a compact space, which is 8.5 ft in width and 18 feet in length.

A parking exception can be granted with the following findings:

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and alternative parking design will be adequate to accommodate the parking needs generated by this use.
2. The parking exception will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic problems will result from the compact parking space.
3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property.

The compact space and the ADA space will have access to the EV charger. The site is small and the width at the frontage is 41 feet. The 3 required parking spaces use 35 ½ feet leaving a one-foot buffer on the north and a 4 ½ space for a pathway around the building. The parking spaces will back out on to the street.

In this two-block area with C-2 zoning, there are 5 properties on Scott Street and on the east side of West Street with parking that backs out into the street, like what is proposed for this project. A recently approved commercial/residential project (2019) just down the street at 1130 Scott Street includes parking spaces that back out onto the street. The properties that have frontage on Market Street have designated perpendicular parking along the street, which also backs out into the street.

SIGNAGE/MURAL:

The project includes proposed signage in front of the Hotel Suite that is proposed to hang from the third-floor balcony at the front of the building. The sign is 10 ft x 2 feet (20 sf) and is considered a hanging sign. The signage chapter of the 2022 zoning code has been approved and since it is not part of the IP sections that require the California Coastal Commission certification it is currently in effect. The project is located in the Downtown signage district which allows a hanging sign (Section 17.29.040). The allowable area for a hanging sign is a minimum of 4 sf and a maximum of 8 sf. The proposed hanging sign is 20 sf. Planning Condition of approval 9 has been added to the resolution to require compliance with the 8-square foot maximum hanging sign square foot limitation. The maximum amount of business signage is limited to 20% of the primary façade area or 200 sf, whichever is less. Only one business sign is proposed.



The project is proposing a “mural” which consists of lettering on the third-floor north wall, representative of the shipping container identifiers used. Murals are not considered to be signage, unless it includes text, logos or images of activities offered by the commercial enterprise. Murals are predominately artistic in nature and if deemed a ‘mural’ by the Community Development Director, they are not subject to the provisions of Chapter 17.29. The project also proposes a Mural

on the north side with lettering identifying the origin of the containers, which is typical on the outside of Cargo Containers. The proposed lettering is “Morro Bay CA” (See plan sheet A109).

DESIGN REVIEW:

The old zoning code, applicable to this project currently, does not include design review standards for commercial/residential buildings. However, the new zoning code does have Section 17.08.040, Supplemental Regulations for projects in the commercially zoned areas. Those regulations include the following:

1. Building transparency/required openings for non-residential uses:

Section A.2. is applicable to hotel uses where you do not necessarily want to have windows into guest hotel rooms. This project does not have a hotel lobby, so although it has windows and openings along the front of the building, they are not at the back of the sidewalk, because of parking.

Section A.2.b requests architectural relief on the street facing side of the building enhanced with landscaping and other features to create visual interest at the pedestrian level. This project meets this criterion.

2. Exterior Building materials and colors:

Section B.1. requires a unified palette of quality materials used on all side of the building and Section B.2. requires exterior materials to be quality durable materials, such as Corten steel corrugated panels with combination of wood, windows and metal.

3. Pedestrian Access:

The project, given the proposed use (single hotel suite with no public lobby) and site constraints, is easily accessible by street or sidewalk. The street improvements will also provide safe pedestrian connection to adjacent uses, businesses and the waterfront, Morro Rock and the beaches north of the Rock. There are no public amenities on the site.

BUILDING MATERIALS AND COLORS:

The proposed project is designed to use a stack of cargo containers on the north and west sides of the project. The use of cargo containers as proposed will require an engineering and structural review of the proposed stacked configuration as well as the integration with standard construction that will be used for the balance of the multi-story building. However, if the use of cargo containers, as proposed, is not feasible, the project will be constructed with traditional materials to have the “cargo container industrial look” with exterior materials and colors as shown in the Exterior Elevation plan sheets that include the colors and materials for each elevation (Plan Sheets A106-A109)



The exterior lighting includes downward casting sconces.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 3c. This exemption applies to new construction of up to 4 commercial buildings not exceeding 10,000 total sf in urban areas zoned for the specific use.

Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The project is consistent with development goals and uses included in the Morro Bay Municipal Code and the Beach Street Specific Plan and is consistent with the policies of General Plan and the Local Coastal Program.

PUBLIC HEARING NOTICE:

Notice of a public hearing on this item was published in the San Luis Obispo Tribune newspaper on May 6, 2023, and all property owners and occupants of record within 500 feet of the project site were notified of the scheduled public hearing and invited to voice any concerns on this application. The project site was also posted with a public notice sign.

RECOMMENDATION:

Staff recommends that the Planning Commission **CONDITIONALLY APPROVE THE PROJECT** by adopting Planning Commission Resolution 07-23 which includes findings for CDP21-025, CUP21-07 and PKG22-05 to allow the proposed use as reflected on the plans submitted to the City of Morro Bay on March 23, 2023.

ATTACHMENTS:

Exhibit A – Resolution 07-23 – Findings and Conditions of Approval
Exhibit B – Plans

RESOLUTION NO. PC 07-23

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING CONDITIONAL USE PERMIT CUP21-07, COASTAL
DEVELOPMENT PERMIT CDP21-025 AND PARKING EXCEPTION PKG22-05
FOR A NEW HOTEL PROJECT AT 1175 Scott Street

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing on May 16, 2023, conducted in a hybrid format with both an in-person meeting at the Morro Bay Veterans Memorial Building, 209 Surf Street, Morro Bay, CA 93442 as well as through virtual public participation provided telephonically through Zoom, for the purpose of considering the approval of the CUP21-07, CDP21-025 and PKG22-05 for a new commercial/residential project comprised of a four-bedroom hotel suite with manager/security residential unit to be located at 1175 Scott Street; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the appellant, applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

- A. Pursuant to the California Environmental Quality Act, the project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3c. The exemption applies to new construction of up to 4 commercial buildings not exceeding 10,000 sf in urban areas zoned for the specific use. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

Conditional Use Permit and Coastal Development Permit findings

- A. The proposed development is consistent with the C-2/PD/SP Zoning designation in providing for a hotel project that allows a manager or security residential unit. The project is also consistent with the new land use designation of Community Commercial in the Local Coastal Program (LCP). The project will not have any substantial adverse impacts on the environment or coastal resources.
- B. The project is in compliance with the General Plan and certified Local Coastal Program and will not be detrimental to the health, safety, and general welfare of persons residing or working in the surrounding

neighborhood.

Parking Exception Findings:

A parking exception can be granted with the following findings. The project meets the criteria in these findings.

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and alternative parking design will be adequate to accommodate the parking needs generated by this use.
2. The parking exception will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic problems will result from the compact parking space.
3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property.

Beach Street Specific Plan Findings:

1. That no offensive odors will result from the proposed use.
2. That all outdoor storage yards, and dumpsters or waste containers, shall be screened, landscaped and maintained in an attractive manner.
3. That the proposed use will not result in excessive unreasonable light or glare on adjacent residential or visitor serving uses.
4. That adequate facilities shall be installed and maintained to collect waste products from entering the storm drainage system.

Section 2: Action. The Planning Commission does hereby approve Conditional Use Permit (CUP21-07), Coastal Development Permit (CDP21-025) and Parking Exception (PKG22-05) subject to the following conditions:

STANDARD CONDITIONS:

1. Permit: Coastal Development Permit (CDP21-025), Conditional Use Permit (CUP21-07) and Parking Exception (PKG22-05) to allow a new mixed commercial/residential building proposed for the 2290 sf vacant parcel on the west side of Scott Street, just south of the intersection of Surf Street. The proposed project is a two story 1535 sf hotel suite (ADA accessible with full amenities on ground floor). The third floor is a 1023 sf security residential dwelling with an 84-sf balcony and a 781-sf roof deck. There are no common area amenities for the hotel occupants. The project zoning is C-2/PD/SP, and the property is not located within the coastal appeals jurisdiction. The Coastal Land Use Designation and the property is located within the Cultural Resources overlay area.
2. Inaugurate Within Two Year: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this approval and is diligently pursued thereafter, this approval will automatically become null and void; provided, however, that

upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Said extensions may be granted by the Director, upon finding that the project complies with all applicable provisions of the Morro Bay Municipal Code, General Plan and Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

3. Changes: Any minor change may be approved by the Community Development Director. Any substantial change will require the filing of an application for an amendment.
4. Compliance with the Law: All requirements of any law, ordinance or regulation of the State of California, City of Morro Bay, and any other governmental entity shall be complied with in the exercise of this approval.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: Compliance with and execution of all conditions listed hereon shall be necessary, unless otherwise specified, prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Community Development Director and/or as authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the Morro Bay Municipal Code and is a misdemeanor.
7. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
8. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the Morro Bay Municipal Code and shall be consistent with all programs and policies contained in the certified Coastal Land Use plan and General Plan for the City of Morro Bay.

PLANNING CONDITIONS:

9. Signage: Conceptual signage is included in this permit to allow one hanging sign, like what is shown on the plans, but this signage is limited to no more than 8 square feet in size. Other type of business signage is allowed on the site and can be approved through a separate submittal for a sign permit. The mural proposed for the third floor, north facing wall shall be resubmitted for approval by the community development director, which can incorporate the proposed text "Morro Bay CA" with more surrounding artwork, since the text alone is not considered a mural.
10. Parking: Parking is approved with the required three parking space, one of which is standards size, one of which is compact size, and one is ADA Van Accessible. An EV charger shall be installed to be available to at least one of the parking spaces.
11. Exterior Lighting: All lights shall be directed, oriented, and shielded to prevent light trespass or glare onto adjacent properties. The light level at property lines shall not exceed 0.3 foot-candles. Parking area lighting shall be provided if necessary for safety and wayfinding.
12. Landscaping: Changes to the type of plants, trees or size of containers shall be submitted for review and approval by the Community Development Director
13. HVAC/Mechanical Equipment: Equipment at ground level shall be installed to allow adequate clearance around the building for emergency personnel. Any mechanical equipment visible from the public right of way shall be screened to the satisfaction of the Community Development Director

BUILDING DIVISION CONDITIONS

A. CONDITIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed

deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.

4. The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
6. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
7. BUILDING PERMIT APPLICATION: To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.
8. The Title sheet of the plans shall include, but not limited to:
 - Street address, lot, block, track, and Assessor Parcel Number
 - Occupancy Classification(s)
 - Construction Type
 - Maximum height of the building allowed and proposed
 - Floor area of the building(s)
 - Fire sprinklers proposed or existing
 - Minimum building setback allowed and proposed

All construction will conform to the 2022 California Building Code (CBC), 2022 California Residential Code (CRC), 2022 California Fire Code (IFC), 2022 California Mechanical Code (CMC), 2022 California Plumbing Code (CPC), 2022 California Electrical Code (CEC), 2022 California Energy Code, 2022 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

1. **SITE MAINTENANCE:** During construction, the site shall be maintained to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained through the duration of the project. The storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.
2. **ARCHAEOLOGICAL MATERIALS:** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
3. **FOUNDATION SETBACK VERIFICATION:** Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some lot types.
4. **BUILDING HEIGHT VERIFICATION:** Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some site-specific projects.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:

1. Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.
2. Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
3. If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
4. If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
5. Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
6. Final T-24 energy reports (Certificates of Installation).

PUBLIC WORKS CONDITIONS:

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morrobay.ca.us/mainmanual Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. Project with less than 2,500sf of new or replaced non-pervious materials must complete the "Appendix C - Performance Requirement Determination Form" to prove compliance.

2. Frontage Improvements: The installation of frontage improvements is required. Specify the installation of a driveway approach, sidewalk, curb & gutter, permeable pavers on two non-ADA parking spaces, and one 15 gal. street tree (placed on private property, no closer than 3 feet from frontage property line). Show and label asphalt pave back to nearest clean edge (min. 18") at all portions of curb and gutter to be replaced. (MBMC 14.44.020)

3. Driveway Approach: An exception to MBMC 17.44.030 (no single commercial or industrial driveway shall be wider than fifty percent of actual lot frontage or more than thirty feet) has been approved by the Public Works Director.

4. Water Mainline: Due to commercial use, a separate fire sprinkler line is required to be connected directly to the water mainline. Since Scott Street does not have a mainline, a water mainline from the Surf Street intersection to the project frontage must be installed by the owner /developer. Show plan and profile of proposed new water mainline. (MBMC 13.04.110)

5. Water Lateral: Show separate lateral lines (to new mainline) for commercial, residential and fire. Note that fire lines for commercial structures do not use meters.

6. Sewer Lateral: Indicate and label new or existing sewer lateral and connection. If an existing lateral is used, perform a video inspection of the lateral and submit it to Public Works via flash drive, prior to building permit plan approval. Lateral shall be Page 2 of 2 repaired as necessary, and all repairs shall be noted on an approved set of plans.

7. Sewer Backwater Valve: Indicate and label sewer backwater valve on plan. A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070).

8. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. Show on plans the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.

9. Water Meter: Indicate and label new or existing water meter on plans. Label size of meter.

10. Grading and Drainage: Indicate on plans the existing and updated contours, drainage patterns, spot elevations, finish floor elevation and all existing and proposed drainage pipes and structures.

11. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC. See attached utility maps.

12. Water Backflow Prevention Device: Verify and label all new or existing water backflow preventers. Water backflow preventer devices are required for fire water systems, irrigation systems (on a dedicated water meter), systems which may change in character of use (commercial rentals, etc.), gray water systems, or any plumbing system which has cross-connections or the ability to allow water of deteriorated sanitary quality to enter the public water supply. Add note to plan that device is required to be an approved domestic water backflow prevention device. (MBMC 13.08.040)

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e., curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.

2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

FIRE DEPARTMENT CONDITIONS:

1. Demolition Site Plan, General Notes. Provide the following notation: Fire Safety During Construction and Demolition shall be in accordance with 2019 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Fire Protection Systems and Equipment. An approved automatic fire sprinkler system shall be provided throughout this project, pursuant to Morro Bay Municipal Code, Section 14.60.200.
 - Submit all plans and specification sheets for the required automatic fire sprinkler system to the Building Department for review and approval prior to installation. Sprinkler plans shall be submitted prior to issuance of a Building Permit. The sprinkler system shall be in accordance with NFPA Standard 13.
3. Fire Alarms. Plans and specifications for the automatic fire sprinkler system and fire alarm system shall be submitted to Public Services Division for review and approval. (CFC 1001.3 and 1001.4) The fire sprinkler and alarm systems shall be supervised by a central station and constructed in accordance with NFPA 72.
4. Fire Department access to equipment. Rooms or areas containing controls for Electrical, FAU, Alarm and Fire Sprinkler Systems shall be identified by approved and appropriate signage for Fire Department use. (CFC 1001.8)
5. 2-hour fire rating on exterior stairwells and walkways located above vehicle parking.
6. Fire Extinguishers. A minimum of one 2A-10-BC extinguisher shall be provided for each floor area, so that travel distance does not exceed 75 feet. Extinguishers shall be serviced annually and shall have a current service tag attached. (CCR, Title 19, Sec. 3.29)

7. Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction (CFC 507.1). Provide the required fire-flow requirement as contained in CFC Table B105.1(2).
8. Fire hydrant where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. (CFC 507.5.1).
9. Elevator Car to Accommodate Ambulance Stretcher. Where elevators are provided, at least one elevator shall be provided for fire department emergency access to all floors. The elevator car shall be of such a size and arrangement to accommodate an ambulance stretched 24-inches by 84-inches with not less than 5-inch radius corners, in the horizontal, open position and shall be identified by the international symbol for emergency medical services (star of life). The symbol shall not be less than 3-inches high and shall be placed inside on both sides of the hoist way door frame. (MBMC 14.08.090)
10. Dumpsters and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings, or combustible roof eave lines.
11. Key Boxes. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official. Provide a Knox Key Box for installation to the exterior of the structure. Obtain a Knox Application from Morro Bay Fire Department during business hours.
12. Key Boxes. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or firefighting purposes, provide the following for the fire code official:
 - a. Provide a Knox Key box for installation to the exterior of the structure. Obtain a Knox Application from the Morro Bay Fire Department during business hours.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 16th day of May 2023 on the following vote :

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson Roschen

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted on this 16th day of May 2023.

1175 SCOTT ST.

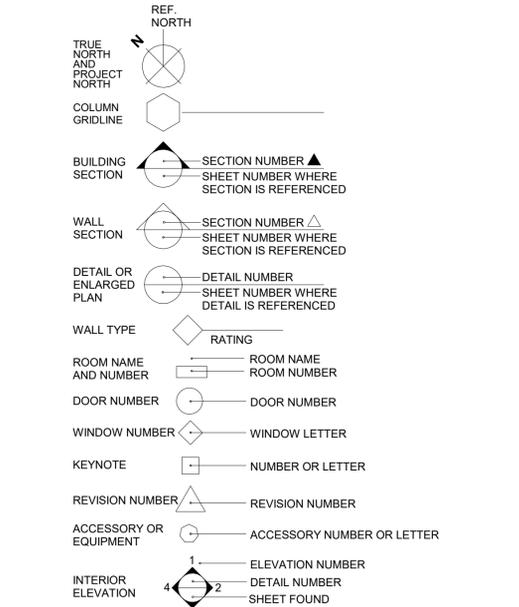
1175 SCOTT ST, MORRO BAY, CA 93442

APN#: 066-031-008
PLANNING SUBMITTAL



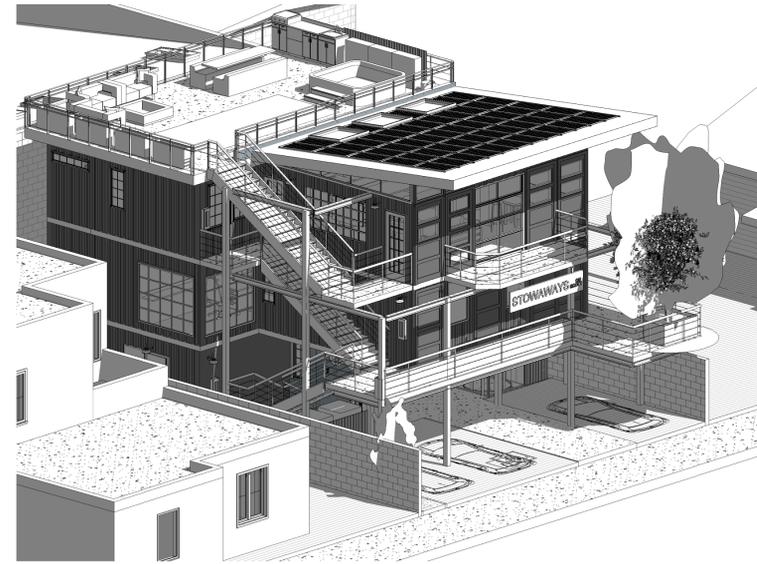
ANDREW GOODWIN DESIGNS
2050 PARKER ST.
SAN LUIS OBISPO, CA 93401
t. (805) 439-1611
www.andrewgoodwin.us
architect: andrew goodwin, aia
andrew@andrewgoodwin.us

AB	ANCHOR BOLT	FLX	FLEXIBLE	QC	QUALITY CONTROL
ABV	ABOVE	FND	FOUNDATION	QT	QUANTITY
AC	ASPHALT CONCRETE	FOC	FACE OF CONCRETE	R	RISER
ACC	ACCESSIBLE	FOM	FACE OF MASONRY	RAO	RAD
A/C	AIR CONDITIONING	FOS	FACE OF STUDS	RAF	RADIUS
ACOUS	ACOUSTICAL	FR	FRAME (D), (ING)	RAC	RAISED ACCESS FLOOR
ADD	ADDED	FTG	FOOTING	RCP	REFLECTED CEILING PLAN
ADJ	ADJUSTABLE/ADJACENT	FURR	FURRED (ING)	RCPT	RECEPTACLE
AFF	ABOVE FINISHED FLOOR	FUT	FUTURE	RD	ROOF DRAIN
AGG	AGGREGATE	FWC	FABRIC WALL COVERING	ROWD	REDWOOD
AHU	AIR HANDLING UNIT	GA	GAUGE, GAUGE	REF	REFERENCE
AB	AIR INFILTRATION BARRIER	GB	GYP/SUM BOARD	REFR	REFRIGERATOR
ALT	ALTERNATE	GC	GENERAL CONTRACTOR	RENF	REINFORCE (D), (ING)
ALUM	ALUMINUM	GD	GRADE, GRADING	REM	REMOVE (ABLE)
ANOD	ANODIZED	GEN	GENERATOR	REQD	REQUIRED
APC	ACOUSTIC PANEL CEILING	GI	GALVANIZED IRON	RES	RESILIENT
APPROX	APPROXIMATE	GKT	GASKET(ED)	RET	RETURN
APVD	APPROVED	GL	GLASS, GLAZING	REV	REVISION (S), REVISED
ARCH	ARCHITECT (URAL)	GLV	GALVANIZED	RFD	ROOFING
		GRG	GLASS REINFORCED GYPSUM	RFL	REFLECT (ED), (IVE), (OR)
BB	BOTTOM OF BEAM	GVL	GRAVEL	RFM	RECESSED FLOOR MAT
BD	BOARD	GYP	GYPSUM	RG	RETURN GRILLE
BEL	BELOW	H	HIGH	RH	RIGHT HAND
BTUM	BUTIMINOUS	HB	HOSE BIBB	RL	RIDGE LINE
BLD	BUILDING	HC	HOLLOW CORE	RLF	RELIEF
BLK	BLOCK	HDR	HARDBOARD	RM	ROOM
BLCKG	BLOCKING	HDR	HEADER	RO	ROUGH OPENING
BM	BEAM	HDW	HARDWARE	ROW	RIGHT OF WAY
BOT	BOTTOM	HDW	HEADER	RR	RETURN REGISTER
BRG	BEARING	HDW	HARDWARE	RWL	RAINWATER LEADER
BRK	BRICK	HDWR	HARDWARE	RWC	RAINWATER CONDUCTOR
BRZ	BRONZE	HEX	HEXAGONAL		
BUR	BUILT UP ROOFING	HM	HOLLOW METAL, STEEL		
		HOR	HORIZONTAL	S	SOUTH
C	CARPET	HP	HIGH POINT	SA	CONTINUOUS SHELF ANGLE
CAB	CABINET	HS	HOSE STATION	SAN	SANITARY
OB	CATCH BASIN	HT	HEIGHT	SC	SOLID CORE
CD	CEILING DIFFUSER	HTG	HEATING	SCH	SCHEDULE
CEM	CEMENT	HTG	HEATING	SD	STORM DRAIN
CF	CERAMIC	HVAC	HEATING/VENTILATING/ AIR CONDITIONING	SEC	SECTION
CEM	CERAMIC TILE	HW	HOT WATER	SE	SQUARE FOOT
CFL	COUNTERFLASHING	ID	INSIDE DIAMETER	SF	STATE FIRE MARSHALL
CFM	CUBIC FOOT PER MINUTE	IMP	INSULATED METAL PANEL	SFFA	SQUARE FOOT FREE AREA
CG	CORNER GUARD	INCL	INCLUDE (D), (ING)	SGP	SPANDREL GLASS PANEL
CEILING HEIGHT		INFO	INFORMATION	SHLF	SHLF
CH	CHAMFER	INCD	INCANDESCENT	SHLV	SHELVS (ING)
CHBD	CHALKBOARD	INCL	INCLUDE (D), (ING)	SHT	SHEET
CI	CAST IRON	INSTR	INSTRUCTIONS	SHTG	SHEATHING
CJ	CONTROL JOINT	INSTR	INSTRUCTIONS	SM	SMILAR
CL	CENTER LINE	INSUL	INSULATE (D), (ION)	SKL	SKYLIGHT
CLG	CEILING	INT	INTERIOR	SLV	SLEEVE
CLSJ	CEILING JOIST	INV	INVERT	SPP	SHELF & POLE
CLR	CLEAR	JC	JANITORS CLOSET	SQ	STOREFRONT OPENING
CT	CERAMIC TILE	JT	JOINT	SPR	SINGLE-PLY ROOFING
CMU	CONCRETE MASONRY UNIT	JST	JOIST	SPEC	SPECIFICATION(S)
CNTR	COUNTER	JO	JOINT	SO	SQUARE
CO	CLEAN OUT	KO	KNOCKOUT	SR	SUPPLY REGISTER
COL	COLUMN	LAD	LADDER	SS	STAINLESS STEEL
COMB	COMBINATION	LAM	LAMINATED	STD	STANDARD
COMP	COMPOSITION (COMPOSITE)	LAV	LAVATORY	STL	STEEL
CONC	CONCRETE	LAG	LAG BOLT	STN	STONE
CONT	CONTINUOUS OR CONTINUE	LB	LAG BOLT	STO	STORAGE
CONST	CONSTRUCTION	LBL	LABEL	STRUCT	STRUCTURE (AL)
CORR	CORRUGATED	LH	LEFT HAND	STW	STORM WATER
COTF	CLEAN OUT THRU FLOOR	LNTL	LINTEL	SUBSTA	SUBSTATION
COTG	CLEAN OUT TO GRADE	LP	LOW POINT	SV	SHEET VINYL
COTW	CLEAN OUT THRU WALL	LTG	LIGHTING	SVS	SYSTEM
CR	CURB RETURN	LVR	LOUVER	T	TREAD
CRTNW	CURTAIN WALL	MAS	MASONRY	TB	TOWEL BAR
CSMT	CASEMENT	MATL	MATERIAL	T&B	TOP & BOTTOM
CTSK	COUNTERSINK SCREW	MAX	MAXIMUM	TELE	TELEPHONE
CTR	CENTER	MB	MACHINE BOLT	TEMP	TEMPERED
CVT	CONDUCTIVE VINYL TILE	MBR	MODIFIED BITUMEN ROOFING	T&G	TONGUE AND GROOVE
CW	COLD WATER	MC	MEDICINE CABINET	THK	THICKNESS
		MEDC	MECHANICAL	THRU	THROUGH
D	DEPTH	MEDM	MEDIUM	TJ	TOOL JOINT
DBL	DOUBLE	MFG	MANUFACTURING	TKBD	TACKBOARD
DET	DETAIL	MFR	MANUFACTURE(R)	TO	TOP OF
DF	DRAINING FOUNTAIN	MFS	METAL GRAVEL STOP	TOB	TOP OF MASONRY
DIA	DIAMETER	MH	MANHOLE	TOP	TOP OF
DIAG	DIAGONAL	MIN	MINIMUM	TOC	TOP OF CONCRETE
DMI	DIMENSION	MIR	MIRROR	TOS	TOP OF STEEL SLAB or STRUCTURE
DNV	DIVISION	MISC	MISCELLANEOUS	TOW	TOP OF WALL
DL	DEAD LOAD	MKBD	MARKER BOARD	TP	TOILET PAPER DISPENSER
DN	DOWN	MLD	MOLDING, MOLDING	TPN	TOILET PARTITION
DAMP	DAMP PROOFING	MMB	MEMBRANE	TPN	TOILET PARTITION
DRPS	DEPRESSED	MMD	MOLDING	TPS	TOP OF SHEATHING
DR	DOOR	MOD	MODULAR	TSSB	TOP SET BASE
DS	DOWNSPOUT	MT	METAL THRESHOLD	TSL	TOP OF SLAB
DSPR	DRAWING	MNT	MOUNTED, (ING)	TXT	T&B ACOUSTIC TILE
DWG	DRAWING	MTL	METAL	TV	TELEVISION
DWR	DRAWER	MUL	MULLION	TY	TYPICAL
		N	NORTH	UON	UNLESS OTHERWISE NOTED
E	ENAMEL	NI	NEW	V	VINYL
EA	EACH	NAT	NATURAL	VAR	VARIABLES
EC	ELECTRICAL CONTRACTOR	NIC	NOT IN CONTRACT	VB	VAPOR BARRIER
EDF	ELECTRIC DRINKING FOUNTAIN	NO	NUMBER	VCT	VINYL COMPOSITION TILE
EEW	EMERGENCY EYEWASH	NOM	NOMINAL	VCTB	VINYL COVERED TACKBOARD
EF	ELASTOMERIC FLASHING	NTS	NOT TO SCALE	VERT	VERTICAL
EF	EXTERIOR INSULATED FIN. SYS.	O	OVER	VEST	VESTIBULE
EJ	EXPANSION JOINT	OA	OVERALL	VG	VERTICAL GRAIN
ELEV	ELEVATION	OB	OBSCURE	VSP	VISION GLASS PANEL
ELEC	ELECTRIC (AL)	OC	ON CENTER(S)	VNR	VENER
EMER	EMERGENCY	OD	OUTSIDE DIAMETER	VNT	VENT
ENAM	ENAMEL	OFD	OVERFLOW DRAIN	VO	VENT RISER
ENCL	ENCLOSE (URE)	OH	OPPOSITE HAND	VTR	VENT THROUGH ROOF
ED	EQUAL	OPG	OPENING	VWC	VINYL WALL COVERING
EQPT	EQUIPMENT	OPT	OPTIONAL	W	WITH
ER	EXHAUST REGISTER	PB	PARTICLE BOARD	WBL	WOOD BLOCKING
EW	EACH WAY	PBD	PORTLAND CEMENT PLASTER	WC	WATER CLOSET
EW	ELECTRIC WATER HEATER	PERM	PERMETER	WG	WOOD
EXH	EXHAUST	PERF	PERFORATED	WHC	WALL HUNG CABINET
EXST	EXISTING	PERF	PREFABRICATED	WI	WROUGHT IRON
(E)	EXISTING	PL	PROPERTY LINE	WIN	WINDOW
EXP	EXPOSED	PLAM	PLASTIC LAMINATE	WK	WORK
EXT	EXTERIOR	PLAS	PLASTER	WM	WIRE MESH
EXTNG	EXTINGUISHER	PLT	PLATE	WO	WOOD
FA	FIRE ALARM	PLT	PLUMBING	WO	WITHOUT
FAB	FABRICATION	PLYWD	PLYWOOD	WP	WATERPROOFING
FAC	FACTORY	PNL	PANEL	WR	WEATHER RESISTANT
FAS	FASTEN, FASTENER	PNT	PAINTED	WST	WASCOT
FBD	FIBERBOARD	POC	POINT OF CONNECTION	WST	WASTE
FBGL	FIBERGLASS	PR	PAIR	WTHP	WEATHERPROOF
FBK	FIRE BLOCKING	PRCT	PROJECT	WWF	WELDED WIRE FABRIC
FBS	FURNISHED BY OTHERS	PRJ	PROJECT		
FD	FLOOR DRAIN	PRTD	PRESSURE TREATED		
FE	FIRE EXTINGUISHER CABINET	PT	POINT		
FINISHED FLOOR		PTD	PAINTED		
FG	FIXED GLASS	PTN	PARTITION		
FHC	FIRE HOSE CABINET	PVA	POLYVINYL ACETATE		
FHMS	FLATHEAD MACHINE SCREW	PVC	POLYVINYL CHLORIDE		
FN	FIN				
FLR	FLOOR JOIST				
FLSH	FLASHING				
FLUOR	FLUORESCENT				



41 SYMBOLS

- DO NOT SCALE PLANS.
- ALL CONSTRUCTION SHALL CONFORM WITH TITLE 24 AND THE 2019 CBC, CMC, CPC, AND 2019 CEC AMENDMENTS AND CITY OF MORRO BAY
- ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD. ANY DISCREPANCIES ARE TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT. DO NOT PROCEED WITHOUT RESOLVING DISCREPANCIES.
- DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWINGS SCALE OR PROPORTION. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- REQUIRED SANITARY FACILITIES SHALL BE PROVIDED ON THE JOB.
- OMISSIONS AND/OR CONFLICTS IN THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETING WORK WHICH IS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWING AND/OR COMPLETE WORK TO STANDARDS REQUIRED BY CODE.
- THESE NOTES INDICATE CONSTRUCTION FOR PROPOSED RESIDENCE UNLESS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND SHALL APPLY GENERALLY THROUGHOUT TO SIMILAR CONDITIONS. UNLESS NOTED OTHERWISE ALL VESTIBULES, CLOSETS, COLUMNS PROJECTIONS, RECESSES, OR OTHER ADJACENT AREAS WITHIN SCHEDULED AREAS SHALL HAVE FINISHES AS SCHEDULED FOR THE RESPECTIVE SPACES IN WHICH THEY OCCUR. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- ALL WORK, AND ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODES AND OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING. BUILDING CODE REQUIREMENTS IN ALL CASES TAKE PRECEDENCE OVER THE DRAWING. IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF FINISH.
- CONTRACTOR SHALL ARRANGE AND PAY FOR ALL TEMPORARY UTILITY SERVICES AND CONNECTIONS DURING CONSTRUCTION.
- ANY CHANGES IN CONSTRUCTION SHALL BE ACCOMPANIED BY A CHANGE ORDER ISSUED BY THE GENERAL CONTRACTOR AND APPROVED BY THE OWNER.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED IMPROVEMENTS. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR HEREBY GUARANTEES TO THE OWNER THAT ALL MATERIALS, FIXTURES, AND EQUIPMENT FURNISHED TO THE PROJECT ARE NEW UNLESS OTHERWISE SPECIFIED.
- ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED TO THE ARCHITECT/OWNER. COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUBSURFACES.
- ANY MATERIAL STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE.
- PRIOR TO FINAL INSPECTION, AS A DEFERRED SUBMITTAL ITEM, PROVIDE A FINAL COPY OF BUILDING OPERATION AND MAINTENANCE MANUAL TO BUILDING INSPECTOR. CALGREEN 4.410.4.504.5.1
- ANY DAMAGE, AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.



SHEET INDEX

Sheet Number	Sheet Name	Current Rev	Current Rev Date
G001	TITLE SHEET		
G002	CITY STANDARD DETAILS		
G003	SIGNAGE DETAILS		
L1	LANDSCAPE PLAN		
A101	SITE PLAN		
A102	LEVEL 1 FLOOR PLAN		
A103	LEVEL 2 FLOOR PLAN		
A104	LEVEL 3 FLOOR PLAN		
A105	ROOF DECK		
A106	EAST ELEV.		
A107	WEST ELEV.		
A108	SOUTH ELEV.		
A109	NORTH ELEV.		
A119	View 1		
A120	View 2		
A121	View 3		
A122	PHOTO SIMULATION		
Total: 17			

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REVISIONS

REV # | REV DATE | REV DESCRIPTION

OWNER: SEAN GREEN
 ARCHITECT: ANDREW GOODWIN DESIGNS
 2050 PARKER STREET
 SAN LUIS OBISPO, CA 93401
 PHONE: (805) 439-1611
 CONTACT: ANDREW GOODWIN, AIA LEED AP

12 PROJECT DIRECTORY

OVERALL PROJECT:
 CONSTRUCTION OF A NEW BOUTIQUE 1-UNIT HOTEL WITH SECURITY RESIDENCE. HOTEL UNIT IS A 2-STORY 4 BEDROOM AND 3 BATH UNIT THAT IS ADA ACCESSIBLE.

13 PROJECT DESCRIPTION

PARCEL INFORMATION
 ADDRESS: 1175 SCOTT ST, MORRO BAY, CA 93442
 APN: 066-031-008
 ZONING: C-2/PD
 OCCUPANCY: R-1
 PARCEL AREA: 2,290 SF

SETBACKS:
 FRONT: 2'
 SIDE: 4' (0' REQ.)
 REAR: 4' (0' REQ.)

BUILDING SF:
 HOTEL UNIT: 689 SF (LEVEL 1)
 848 SF (LEVEL 2)
 1,535 SF

SECURITY RESIDENCE: 1,023 SF
 SECURITY RESIDENCE BALCONY: 84 SF

PERVIOUS GROUND AREA: 478 SF

CONSTRUCTION TYPE: V-A
 STORIES: 3

AVERAGE NATURAL GRADE: 48.92' (49.27+48.57 / 2)
 HIGH POINT: 49.27'
 LOW POINT: 48.57'

PROPOSED LOT COVERAGE CALC:
 MAX. ALLOWED LOT COVERAGE: 1,670 SF / 2,290 SF = 73%

PROJECT

1175 SCOTT ST.

1175 SCOTT ST, MORRO BAY, CA 93442

CLIENT

SEAN GREEN

SHEET TITLE

TITLE SHEET

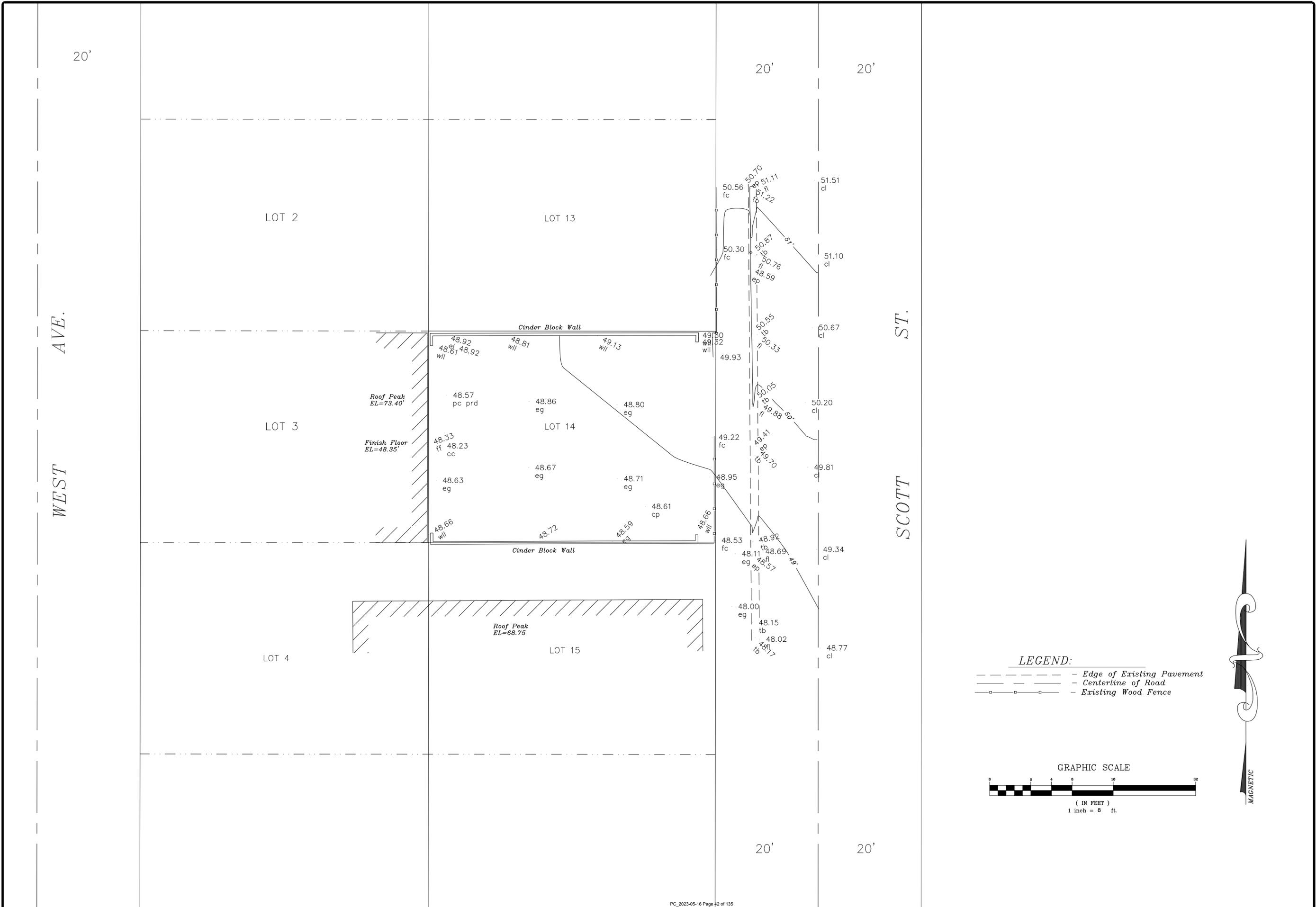
DATE: 04/03/23

TECHNICIAN: AGD

PROJECT MANAGER: AGD

JOB NUMBER: 581
SHEET NUMBER

G001



REVISIONS	BY

HORN LAND SURVEYS
P.O. Box 30
Paso Robles, CA. 93447
office: (805) 239-0355

REQUESTED BY:
Sean Green
1175 Scott St.
Morro Bay, CA 93442

TOPOGRAPHICAL SURVEY
LOT 14
BLOCK 62
TOWN OF MORO BAY
A.P.N. - 066-036-008
SAN LUIS OBISPO COUNTY, STATE OF CALIFORNIA

DRAWN: J.A.H. CHECKED: []
DATE: Dec. 2021
SCALE: 1" = 8'
JOB No: 2310-1
SHEET
1
OF 1 SHEETS

ANDREW GOODWIN DESIGNS
 2050 PARKER ST.
 SAN LUIS OBISPO, CA 93401
 t. (805) 439-1611
 www.andrewgoodwin.us
 architect: andrew goodwin, ala
 andrew@andrewgoodwin.us

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REVISIONS

REV # | REV DATE | REV DESCRIPTION

SEAL

NOT FOR CONSTRUCTION

PROJECT

1175 SCOTT ST.
 1175 SCOTT ST,
 MORRO BAY, CA 93442

CLIENT

SEAN GREEN

SHEET TITLE

CITY STANDARD DETAILS

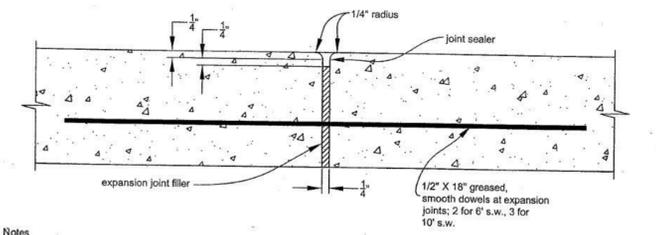
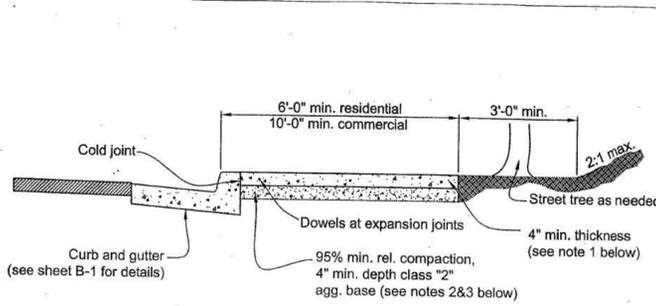
DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
 SHEET NUMBER

G002



- Notes**
1. Sidewalk thickness shall be not less than 4"; driveway approach thickness shall be not less than 6".
 2. Expansion joints 1/2" wide shall be constructed in curbs at 20 or 24 foot intervals and at the end of curb returns, each side of driveway depressions, and each end of gutter transitions adjacent to storm drain inlets. Deepscore curb midway between expansion joints. Joints shall be constructed at right angles to the curbline and shall be filled with premolded joint filler shaped to the cross section of the curb. The intervals between the expansion joints shall be varied to allow matching of joints in adjacent existing improvements. The intervals for expansion joints shall be a maximum of 10' for exposed aggregate sidewalks.
 3. Naturally occurring base material may be used if it has an "R" value of 50 or more and a sand equivalent of 18 or more.
 4. Concrete shall have a minimum of 2500 psi compressive strength in 28 days.
 5. Residential and commercial sidewalks shall be scored every 4' to 5' between expansion joints. Commercial sidewalks shall also be scored longitudinally so scoring shall not exceed 20 sq. ft. rectangles.

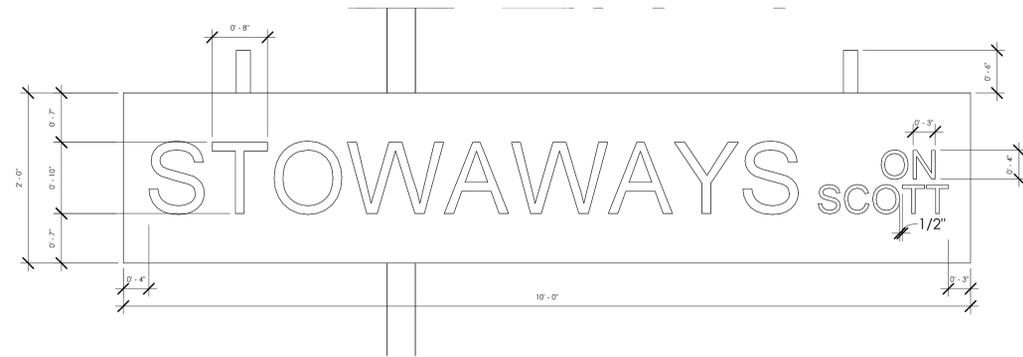
APPROVED CITY ENGINEER		DATE
<i>Frank Cunningham</i>		8-5-05
REVISIONS	BY	APP DATE

CITY OF MORRO BAY
 DEPARTMENT OF PUBLIC SERVICES

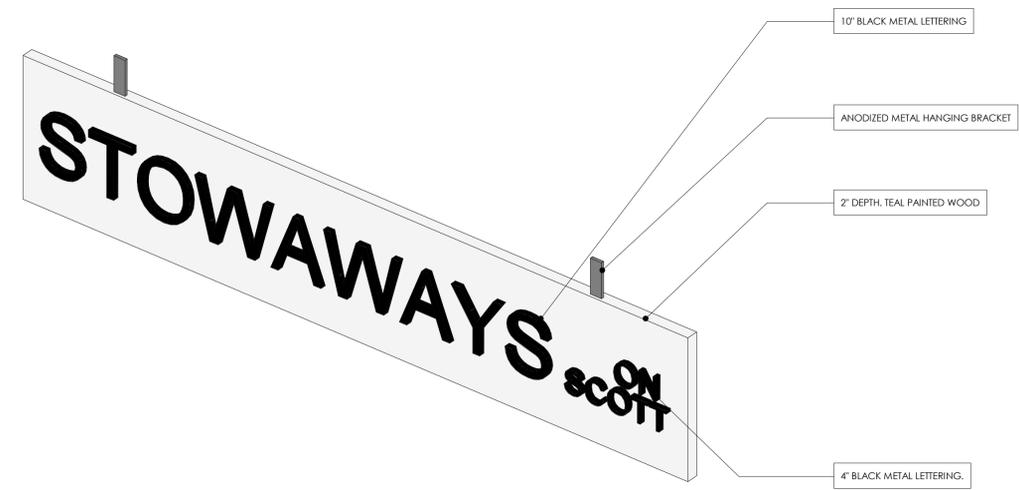
SIDEWALKS

SCALE: NONE **B-5**

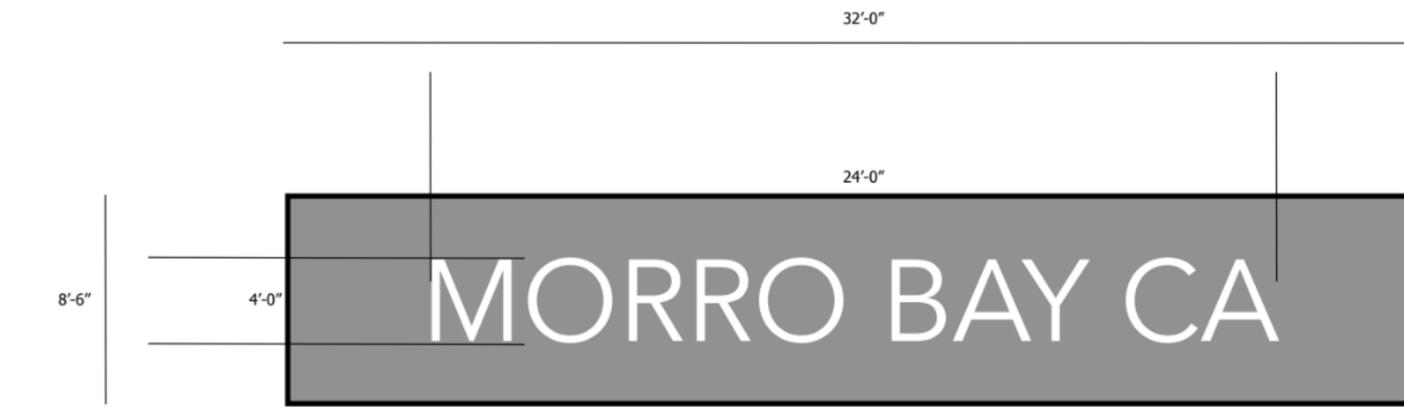
STOWAWAYS on Scott



① SIGNAGE ELEVATION
1" = 1'-0"



② SIGNAGE 3D VIEW



ARCHITECTURAL MURAL ON LEVEL 3 NORTH ELEVATION NOT PART OF COMMERCIAL SIGN PLAN BUT DESCRIBED HERE AND SHOWN ON A109 NORTH ELEVATION. WHITE PAINTED LETTERING READS "MORRO BAY CA" AND COVERS APPROXIMATELY 24'-0" BY 4'-0" IN THE STYLE OF TYPICAL MARITIME MODULAR SHIPPING CONTAINER BRANDING.

③ MB MURAL
1/4" = 1'-0"

ANDREW GOODWIN DESIGNS
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architect: andrew goodwin, aia
andrew@andrewgoodwin.us

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SEAL
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PROJECT
1175 SCOTT ST.
1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT
SEAN GREEN

SHEET TITLE
SIGNAGE DETAILS

DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

G003

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PROJECT
1175 SCOTT ST.
1175 SCOTT ST,
MORRO BAY, CA 93442
CLIENT
SEAN GREEN

SHEET TITLE
LANDSCAPE PLAN

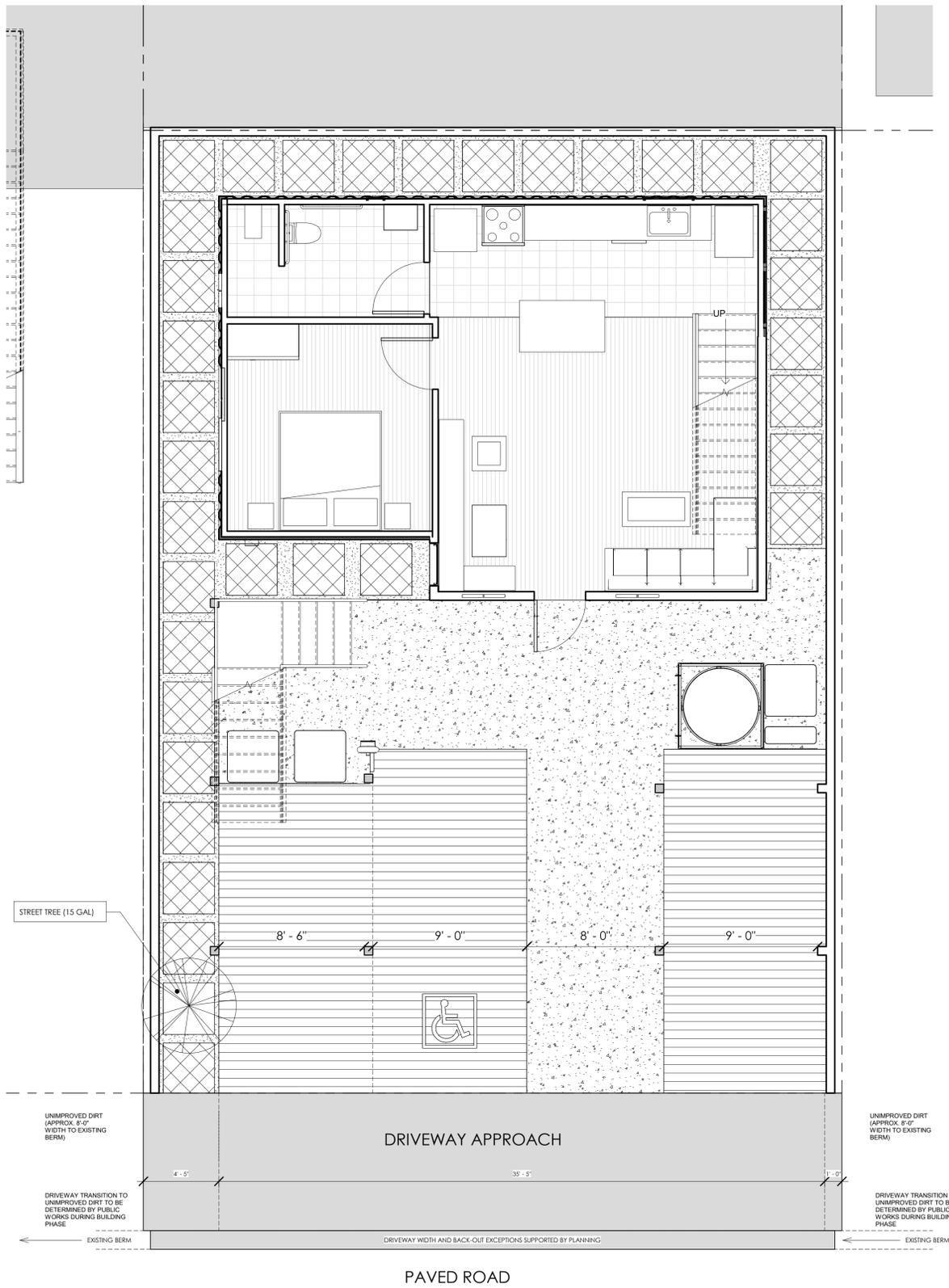
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TECHNICIAN:

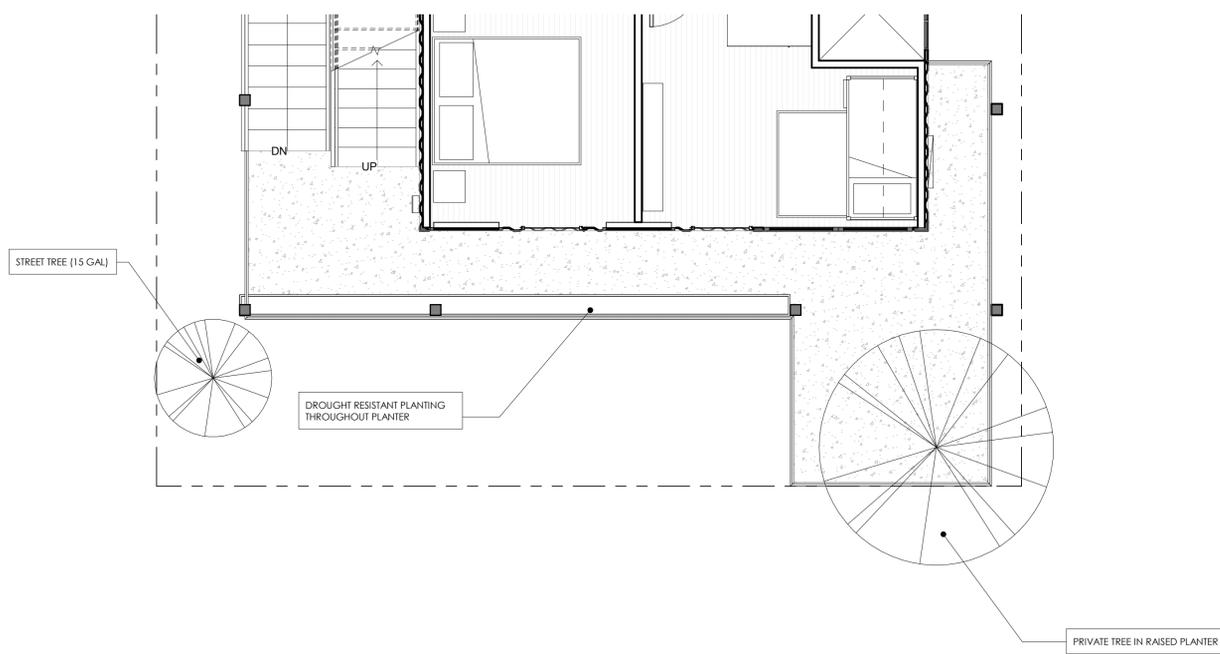
PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

L1



1 LANDSCAPING/HARDSCAPING PLAN
1/4" = 1'-0"



2 SECOND FLOOR LANDSCAPING PLAN
1/4" = 1'-0"

-  CONCRETE PAVER
-  CONCRETE
-  SILVER CARPET (OR EQUAL)
-  PERMEABLE PAVERS

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SEAL
NOT FOR CONSTRUCTION

PROJECT
1175 SCOTT ST.
1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT
SEAN GREEN

SHEET TITLE
SITE PLAN

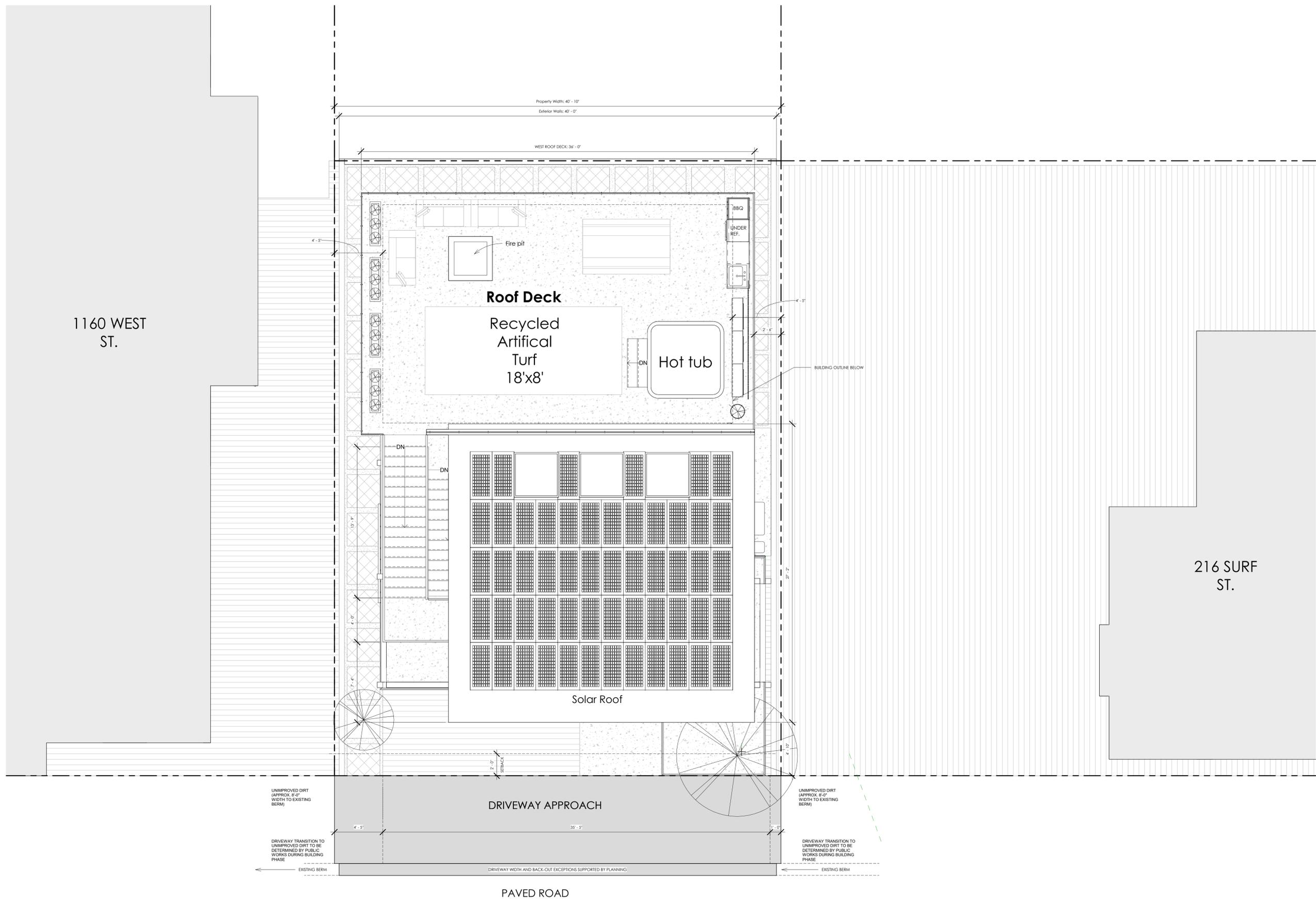
DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A101



1160 WEST ST.

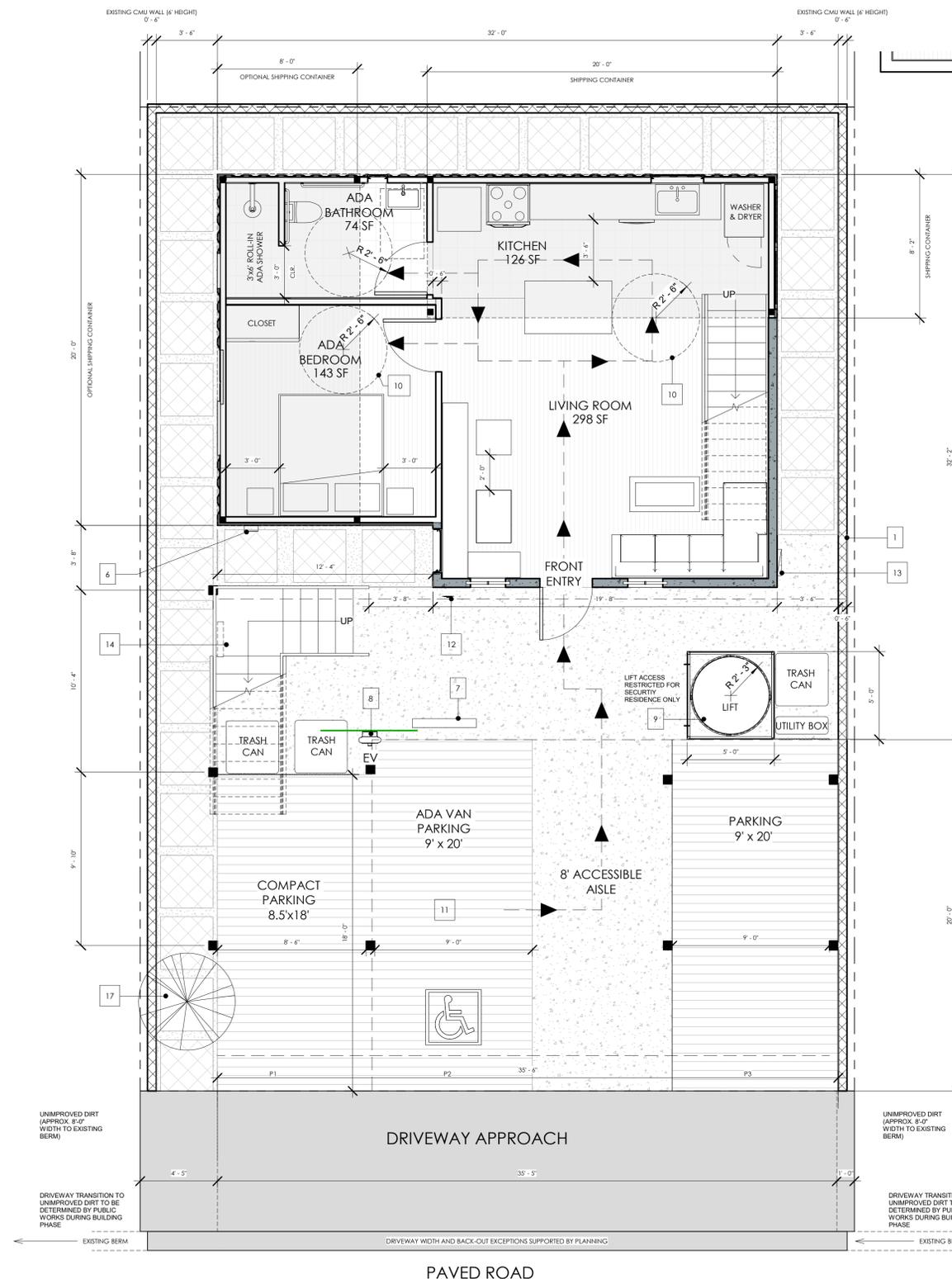
216 SURF ST.

1 SITE PLAN
1/4" = 1'-0"

KEYNOTES: FLOOR PLANS

1. PROPERTY LINE
2. SETBACK
3. PRIVATE TREE IN RAISED PLANTER
4. EXTERIOR LIGHTING
5. EXTERIOR SIGNAGE (REF. TO SIGN PERMIT APPLICATION)
6. FIRE EXTINGUISHER
7. FIRE PROTECTION SYSTEM (ALARM & SPRINKLER)
8. EV CHARGER
9. ACCESSIBLE LIFT, RESTRICTED ACCESS FOR SECURITY RESIDENCE ONLY
10. ACCESSIBLE RADIUS
11. VAN ACCESSIBLE PARKING SPOT
12. KNOX BOX
13. RECESSED ELECTRICAL PANEL
14. UTILITY METERS
15. SOLAR BATTERY
16. PLANTER BOXES
17. STREET TREE (15 GAL)

← ACCESSIBLE ROUTE



① 00L1 FLOOR
1/4" = 1'-0"

KEYNOTES: FLOOR PLANS

1. PROPERTY LINE
2. SETBACK
3. PRIVATE TREE IN RAISED PLANTER
4. EXTERIOR LIGHTING
5. EXTERIOR SIGNAGE (REF. TO SIGN PERMIT APPLICATION)
6. FIRE EXTINGUISHER
7. FIRE PROTECTION SYSTEM (ALARM & SPRINKLER)
8. EV CHARGER
9. ACCESSIBLE LIFT. RESTRICTED ACCESS FOR SECURITY RESIDENCE ONLY
10. ACCESSIBLE RADIUS
11. VAN ACCESSIBLE PARKING SPOT
12. KNOX BOX
13. RECESSED ELECTRICAL PANEL
14. UTILITY METERS
15. SOLAR BATTERY
16. PLANTER BOXES
17. STREET TREE (15 GAL)

← ACCESSIBLE ROUTE

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SEAL

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PROJECT

1175 SCOTT ST.
1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT

SEAN GREEN

SHEET TITLE

LEVEL 2 FLOOR PLAN

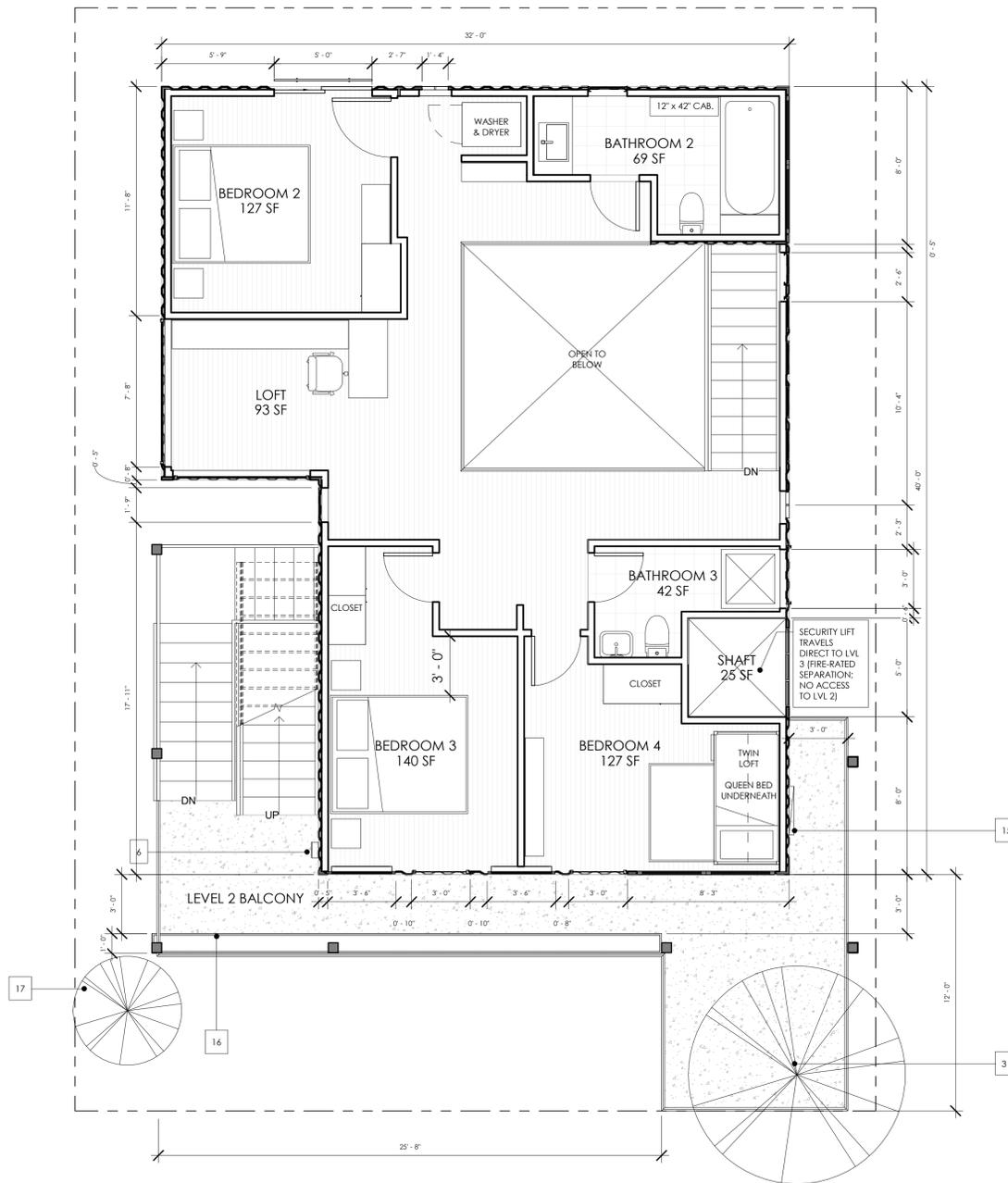
DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A103



1 00L2 FLOOR
1/4" = 1'-0"

KEYNOTES: FLOOR PLANS

1. PROPERTY LINE
2. SETBACK
3. PRIVATE TREE IN RAISED PLANTER
4. EXTERIOR LIGHTING
5. EXTERIOR SIGNAGE (REF. TO SIGN PERMIT APPLICATION)
6. FIRE EXTINGUISHER
7. FIRE PROTECTION SYSTEM (ALARM & SPRINKLER)
8. EV CHARGER
9. ACCESSIBLE LIFT, RESTRICTED ACCESS FOR SECURITY RESIDENCE ONLY
10. ACCESSIBLE RADIUS
11. VAN ACCESSIBLE PARKING SPOT
12. KNOX BOX
13. RECESSED ELECTRICAL PANEL
14. UTILITY METERS
15. SOLAR BATTERY
16. PLANTER BOXES
17. STREET TREE (15 GAL)

← ACCESSIBLE ROUTE

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SEAL

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PROJECT

1175 SCOTT ST.
1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT

SEAN GREEN

SHEET TITLE

LEVEL 3 FLOOR PLAN

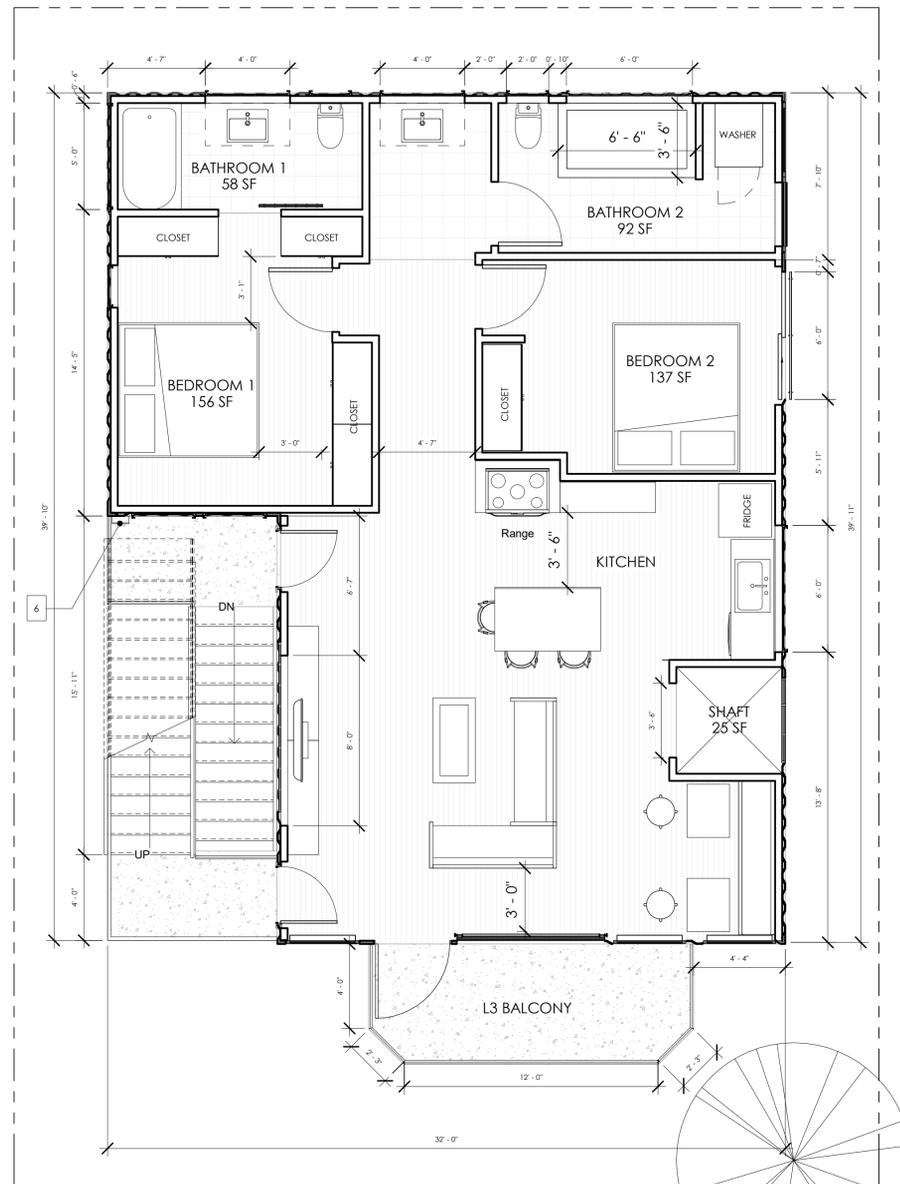
DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A104



① 00L3 FLOOR
1/4" = 1'-0"

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PROJECT
1175 SCOTT ST.
1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT
SEAN GREEN

SHEET TITLE
ROOF DECK

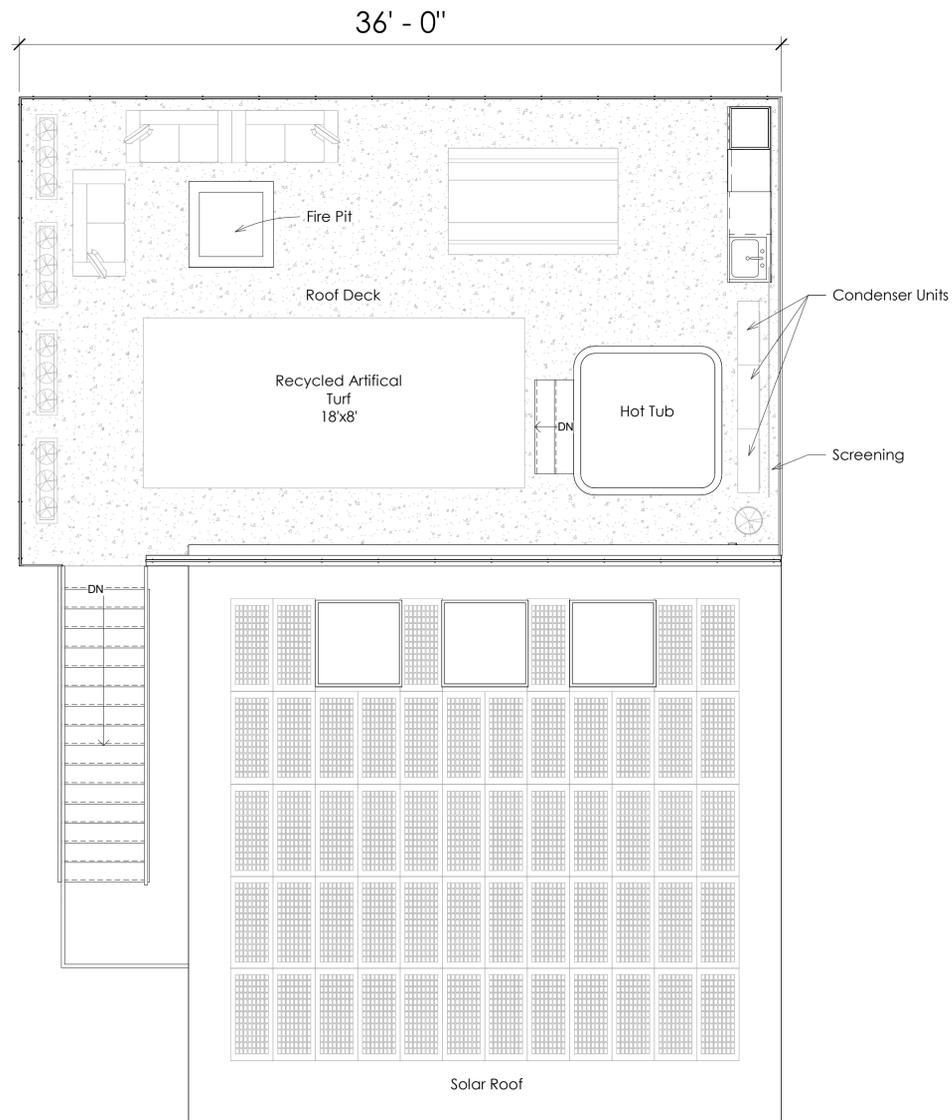
DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A105



① ROOF DECK
1/4" = 1'-0"

REVISIONS

REV # | REV DATE | REV DESCRIPTION

SEAL

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PROJECT

1175 SCOTT ST.

1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT

SEAN GREEN

SHEET TITLE

EAST ELEV.

DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A106

KEYNOTES: ELEVATIONS

1. EXTERIOR WALL SCONCE
2. CORRUGATED METAL SIDING - AEP SPAN - BEHR UNDERSEA S470-7D
3. CORRUGATED METAL SIDING - AEP SPAN - BEHR SOPHISTICATED TEAL HDC-CL-22D
1. VIEWRAIL - GLASS RAILING
2. EXTERIOR SIGNAGE
3. CONCRETE - PAINTED TO MATCH BEHR UNDERSEA S470-7D
4. SHIPPING CONTAINER
5. SHIPPING CONTAINER DOOR PANEL (FIXED)
6. WOOD SCREENING
7. VIEWRAIL - CABLE RAIL
8. "MORRO BAY" MURAL - PAINTED WHITE
9. RECESSED ELECTRICAL PANEL
10. STEEL FRAME SCREENING SYSTEM.

NOTE: ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT WITH APPROPRIATE SHIELDING TO AVOID LIGHT SPILAGE AND GLARE.



AEP SPAN - BEHR UNDERSEA S470-7D



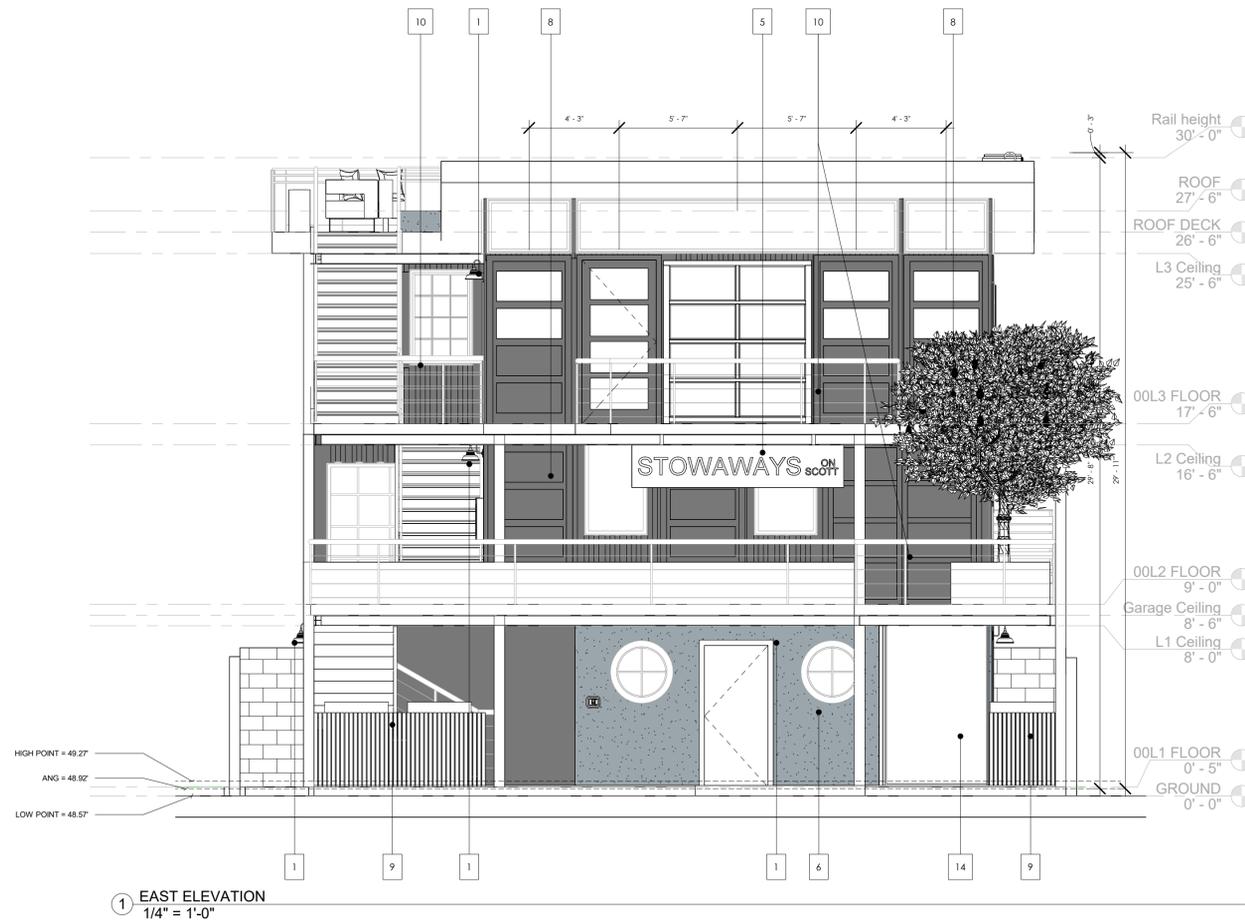
AEP SPAN - BEHR SOPHISTICATED TEAL HDC-CL-22D

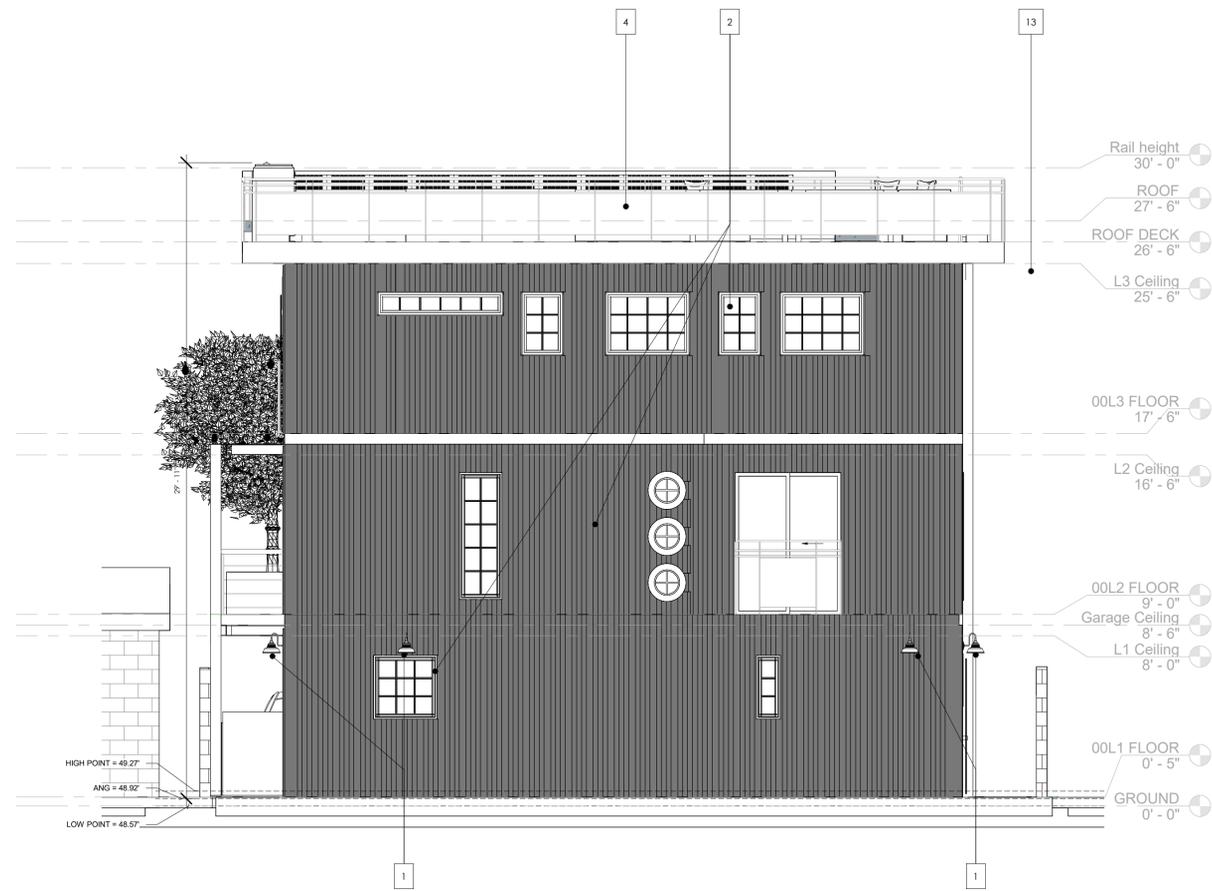


VIEWRAIL - GLASS RAILING



VIEWRAIL - CABLE RAILING





1 WEST ELEVATION
1/4" = 1'-0"

KEYNOTES: ELEVATIONS

1. EXTERIOR WALL SCONCE
2. CORRUGATED METAL SIDING - AEP SPAN - BEHR UNDERSEA S470-7D
3. CORRUGATED METAL SIDING - AEP SPAN - BEHR SOPHISTICATED TEAL HDC-CL-22D
1. VIEWRAIL - GLASS RAILING
2. EXTERIOR SIGNAGE
3. CONCRETE - PAINTED TO MATCH BEHR UNDERSEA S470-7D
4. SHIPPING CONTAINER
5. SHIPPING CONTAINER DOOR PANEL (FIXED)
6. WOOD SCREENING
7. VIEWRAIL - CABLE RAIL
8. "MORRO BAY" MURAL - PAINTED WHITE
9. RECESSED ELECTRICAL PANEL
10. STEEL FRAME SCREENING SYSTEM.

NOTE: ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT WITH APPROPRIATE SHIELDING TO AVOID LIGHT SPILAGE AND GLARE.



AEP SPAN - BEHR UNDERSEA S470-7D



AEP SPAN - BEHR SOPHISTICATED TEAL HDC-CL-22D



VIEWRAIL - GLASS RAILING



VIEWRAIL - CABLE RAILING

ANDREW GOODWIN DESIGNS
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t. (805) 439-1611
www.andrewgoodwin.us
architect: andrew goodwin, aia
andrew@andrewgoodwin.us

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REVISIONS

REV # | REV DATE | REV DESCRIPTION

SEAL

NOT FOR CONSTRUCTION

PROJECT

1175 SCOTT ST.

1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT

SEAN GREEN

SHEET TITLE

WEST ELEV.

DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A107

REVISIONS

REV # | REV DATE | REV DESCRIPTION

SEAL

NOT FOR CONSTRUCTION

PROJECT

1175 SCOTT ST.

1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT

SEAN GREEN

SHEET TITLE

SOUTH ELEV.

DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A108

KEYNOTES: ELEVATIONS

1. EXTERIOR WALL SCONCE
2. CORRUGATED METAL SIDING - AEP SPAN - BEHR UNDERSEA S470-7D
3. CORRUGATED METAL SIDING - AEP SPAN - BEHR SOPHISTICATED TEAL HDC-CL-22D
4. SHIPING CONTAINER
5. SHIPING CONTAINER DOOR PANEL (FIXED)
6. WOOD SCREENING
7. VIEWRAIL - CABLE RAILING
8. "MORRO BAY" MURAL - PAINTED WHITE
9. RECESSED ELECTRICAL PANEL
10. STEEL FRAME SCREENING SYSTEM.

NOTE: ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT WITH APPROPRIATE SHIELDING TO AVOID LIGHT SPILAGE AND GLARE.



AEP SPAN - BEHR UNDERSEA S470-7D



AEP SPAN - BEHR SOPHISTICATED TEAL HDC-CL-22D



VIEWRAIL - GLASS RAILING



VIEWRAIL - CABLE RAILING



1 SOUTH ELEVATION
1/4" = 1'-0"

REVISIONS

REV # | REV DATE | REV DESCRIPTION

KEYNOTES: ELEVATIONS

1. EXTERIOR WALL SCONCE
2. CORRUGATED METAL SIDING - AEP SPAN - BEHR UNDERSEA S470-7D
3. CORRUGATED METAL SIDING - AEP SPAN - BEHR SOPHISTICATED TEAL HDC-CL-22D
1. VIEWRAIL - GLASS RAILING
2. EXTERIOR SIGNAGE
3. CONCRETE - PAINTED TO MATCH BEHR UNDERSEA S470-7D
4. SHIPPING CONTAINER
5. SHIPPING CONTAINER DOOR PANEL (FIXED)
6. WOOD SCREENING
7. VIEWRAIL - CABLE RAIL
8. "MORRO BAY" MURAL - PAINTED WHITE
9. RECESSED ELECTRICAL PANEL
10. STEEL FRAME SCREENING SYSTEM.

NOTE: ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT WITH APPROPRIATE SHIELDING TO AVOID LIGHT SPILAGE AND GLARE.



AEP SPAN - BEHR UNDERSEA S470-7D



AEP SPAN - BEHR SOPHISTICATED TEAL HDC-CL-22D



VIEWRAIL - GLASS RAILING



VIEWRAIL - CABLE RAILING

NOT FOR CONSTRUCTION

PROJECT

1175 SCOTT ST.

1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT

SEAN GREEN

SHEET TITLE

NORTH ELEV.

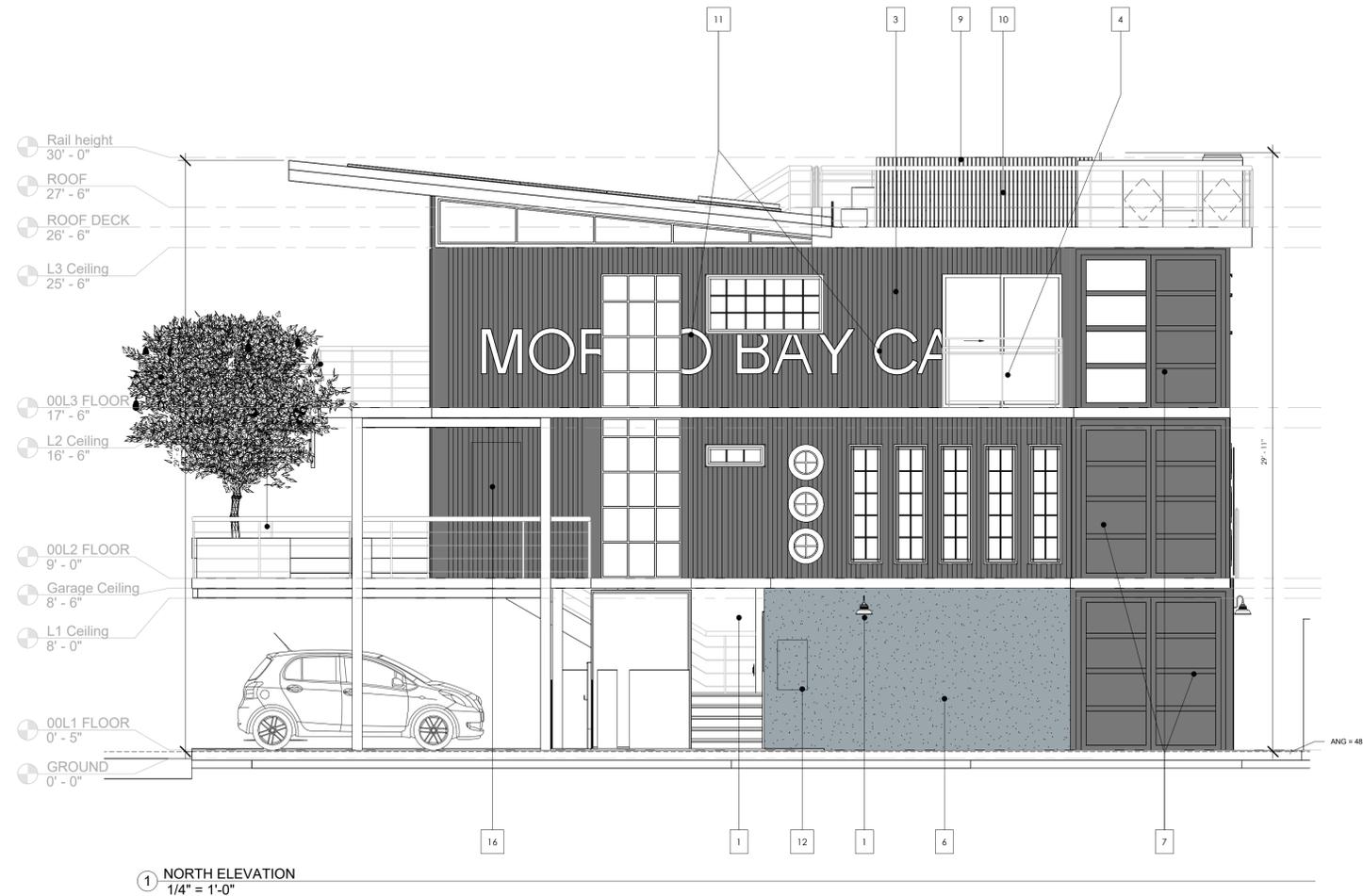
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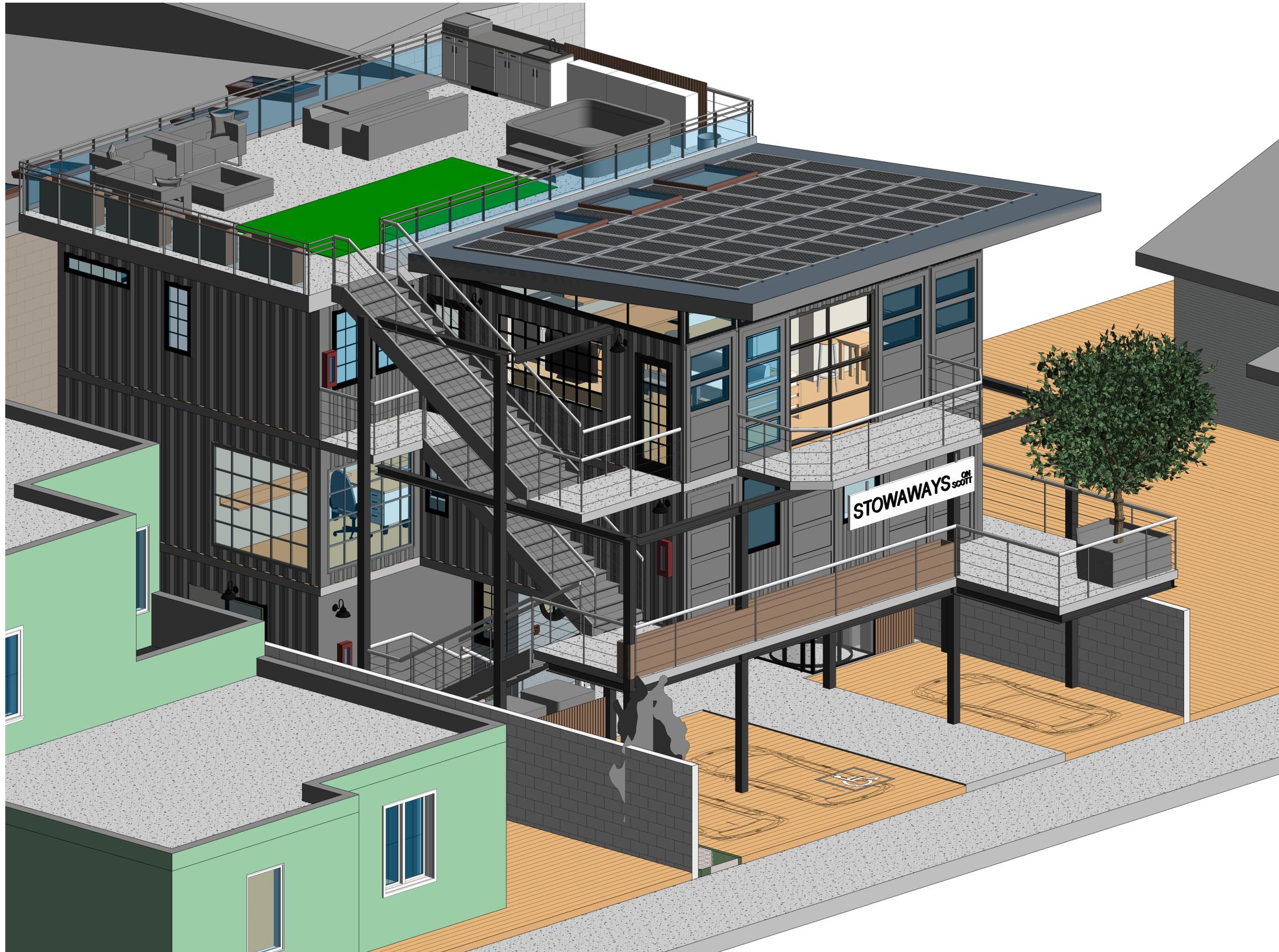
TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A109





① Low Angle 1

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REVISIONS
REV # | REV DATE | REV DESCRIPTION

SEAL
NOT FOR CONSTRUCTION

PROJECT
1175 SCOTT ST.
1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT
SEAN GREEN

SHEET TITLE
View 2

DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A120



1 Low Angle 2

SEAL
NOT FOR CONSTRUCTION

PROJECT
1175 SCOTT ST.
1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT
SEAN GREEN

SHEET TITLE
View 3

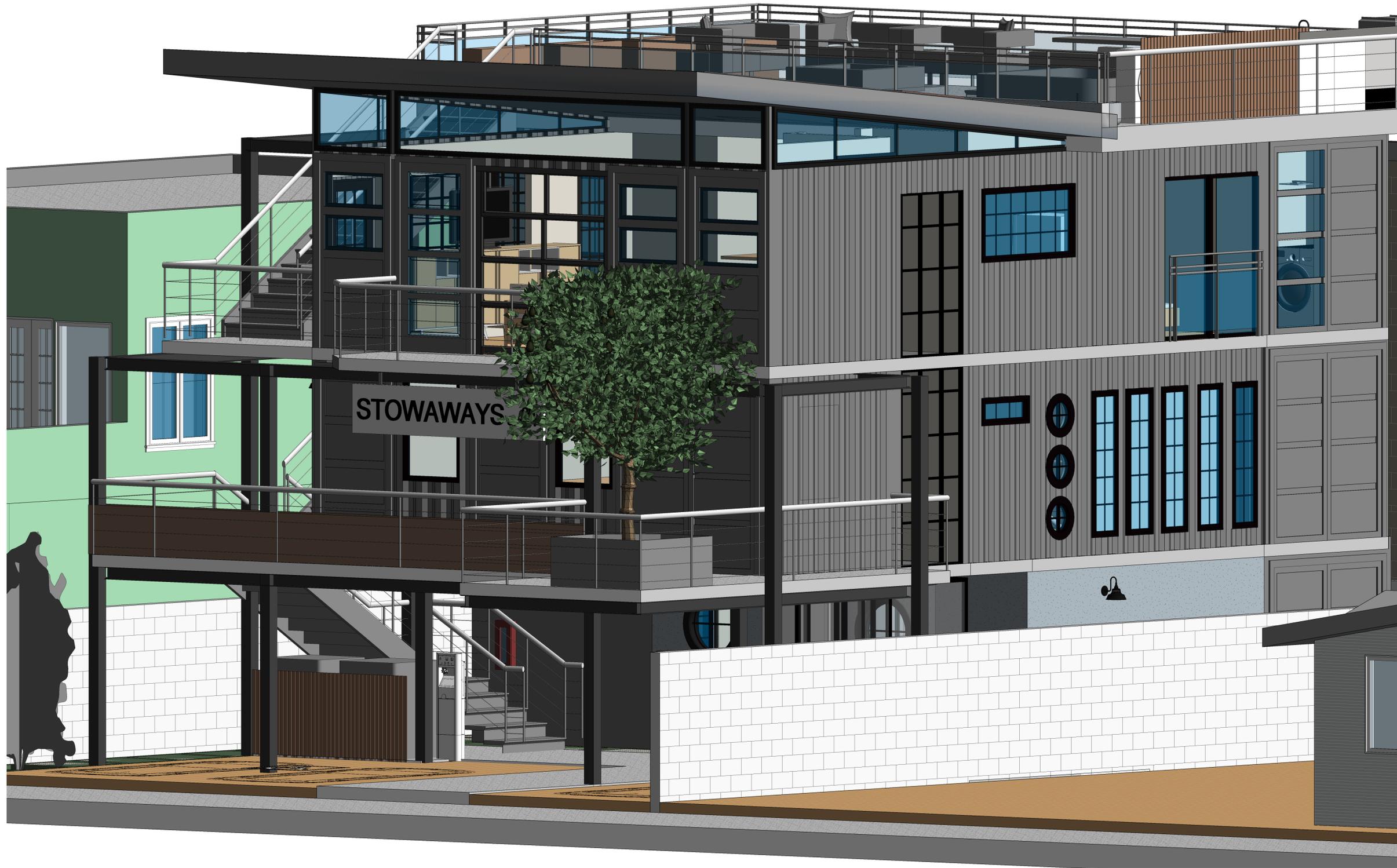
DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A121



1 Low Angle 3

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REVISIONS

REV # | REV DATE | REV DESCRIPTION

SEAL

NOT FOR CONSTRUCTION

PROJECT

1175 SCOTT ST.
1175 SCOTT ST,
MORRO BAY, CA 93442

CLIENT

SEAN GREEN

SHEET TITLE

PHOTO SIMULATION

DATE: 3/23/23

TECHNICIAN:

PROJECT MANAGER:

JOB NUMBER: 581
SHEET NUMBER

A122



① PHOTO SIMULATION - SCOTT ST.
12" = 1'-0"



AGENDA NO: B-2

MEETING DATE: May 16, 2023

Staff Report

TO: Planning Commissioners

DATE: May 9, 2023

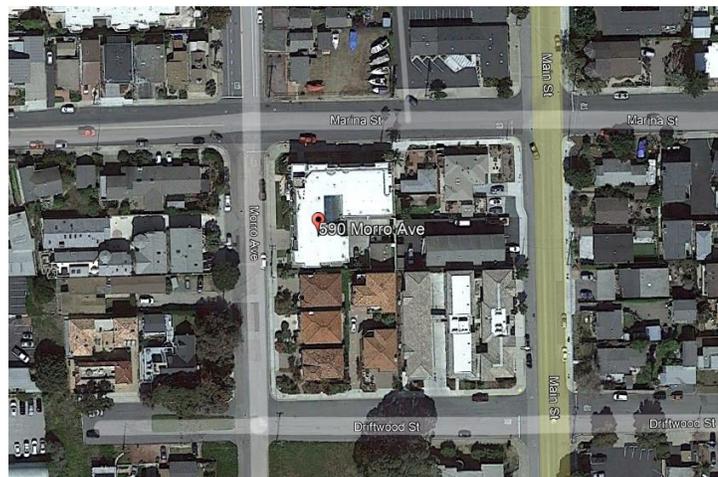
FROM: Cindy Jacinth, Senior Planner

SUBJECT: **590 Morro Avenue:** Major Modification permit (MAJ22-001) to modify existing AT&T rooftop wireless telecommunication facility at Hotel Avisia hotel. Project includes removal and upgrade of existing antennas and related equipment. New extended rooftop screening is proposed to conceal telecom facility at height of 31' 3" at both northwest and northeast elevation to match existing approved height. The project is in the R-2/PD/S.4 zone district and outside of the coastal appeals jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting a motion including the following action(s):

- A. Adopt Planning Commission Resolution 08-23 which includes the Findings and Conditions of Approval for the project depicted on site development plans received March 27, 2023.



APPLICANT/AGENT: Thomas Scully, Smartlink, Agent for AT&T

LEGAL DESCRIPTION/APN: 066-133--001

PROJECT DESCRIPTION: The Applicant, AT&T, is requesting approval of Major Modification application (#MAJ22-001) to CP0-465/UP0-411 to allow modification of the existing hotel rooftop AT&T cell site for proposed removal and replacement of panel antennas, remote radio units (RRUs), and associated telecommunication equipment and upgrade of ground equipment cabinet. The antennas and radio equipment would be screened by extending the existing rooftop screen on the northwest elevation by an additional 10' wide and 7' tall and constructing a second 7' tall x 12' wide rooftop screen on the northeast elevation. Project proposes to match existing 31'3" height and materials of existing screening. The project is located in the R-

Prepared By: <u> CJ </u>	Department Review: <u> </u>
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2/PD/S.4 zone district and is located outside of the coastal appeals jurisdiction.



PROJECT SETTING:

Adjacent Zoning/Land Use			
North:	C-1/R-4/S.4 residential and marine storage yard	South:	R-2/PD/S.4 residential
East:	C-1/R-4/S.4 residential	West:	R-2/PD/S.4 residential
Development Standards (R-2 Zoning District)			
	Existing	Proposed	
Front Setback (Morro)	Per CUP / existing building 8'7"	No change	
Side Setback (Marina)	Per CUP / existing building 7'8"	No change	
Rear-Yard Setback	Per CUP / existing building 5' 9"	No change	
Building Height (telecom facility)	25 feet for hotel building Existing telecom facility approved in 2006 at 31 feet 3 inches	31 feet 3inches (proposed to match existing height)	

Site Characteristics	
Overall Site Area	Approximately 17,424 square feet
Existing Use	Hotel and unmanned telecommunication facility
Terrain	Graded, paved, and developed
Vegetation/Wildlife	Ornamental
Access	Morro Avenue and Marina Streets
Archaeological Resources	Not applicable as a rooftop facility

General Plan, Zoning Ordinance & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Medium Density Residential
Base Zone District	R-2
Zoning Overlay District	PD, Planned Development and S.4, Design Criteria
Special Treatment Area	N/A
Specific Plan Area	N/A
Coastal Zone	Located in the Coastal Zone, but not within appeals jurisdiction

ZONING REQUIREMENTS:

Under the new Zoning Code adopted by the Council in November 2022 (Ordinance 654), provisions for telecommunication facilities can be found in section 17.30.250. The permit requirements in subsection B state that stealth facilities such as this project in which the antenna and the support equipment are concealed as an architectural feature are permitted in all districts subject to Conditional Use Permit approval. The applicant is therefore requesting a Major Modification (MAJ22-001) of the previous approvals (CP0-465 & UP0-411) to allow for the modification of the existing approved AT&T telecommunication site.

New Zoning Code standards for telecommunication facilities at 17.30.250.C require projects to include appropriate camouflage techniques to minimize the visual impact of the facility to the extent feasible and mounting on a building or co-location on an existing pole or tower is not feasible. In this case, the project is upgrading the existing on-site facility and not a new facility. The existing facility at this site is concealed by the existing fiber reinforced plastic (FRP) screen designed to appear as an architectural extension of the hotel's roofline to provide the appropriate camouflage techniques as described in the zoning code standards.

For height requirements of telecommunication facilities, the Zoning code allows for building-mounted facilities such as this project at a height of up to 12 feet above the height limit of the district. The height of the hotel building is 25 feet (exclusive of the elevator shaft which is 29 feet 2 inches above average natural grade) and the previous project was approved at a height of 31 feet 3 inches from average natural grade. As part of the upgrade of the facility, in order to adequately screen the facility, the project requests approval to extend the existing FRP rooftop

screen on the northwest elevation by an additional 10' wide and 7' tall and constructing a second 7' tall x 12' wide rooftop screen on the northeast elevation. The proposed height of the extension would match the existing FRP screen height at 31 feet 3 inches above average natural grade.

PROJECT ANALYSIS:

Background/ Discussion:

The hotel at this location was originally approved in 1984. The existing wireless telecommunication facility was first permitted in 2006 under Coastal Development Permit #CP0-126 and Conditional Use Permit #UP0-184. This permit approval allowed for the installation of the unmanned telecom facility at its current height of approximately 31 feet 3 inches based on MBMC 17.48.070 which allows for height projections such as this. In 2017, CP0-465 and UP0-411 was approved by Planning Commission for modifications and addition to the existing unmanned telecom facility. The 2017 approval allowed for upgrading the antennas, associated equipment and expanded the FRP screening to conceal the new antennas and other related equipment.

Other existing AT&T facilities in the city in addition to this location, include a lattice tower installation at 475 Radcliff, and a third facility at 800 Quintana which is also a rooftop installation at a commercial building. There are three additional AT&T cell sites outside of city limits in unincorporated areas of the County at 2614 Adobe Road (south of City limits), 3030 Bear Ridge Road (east of City limits), and 2710 Nutmeg Avenue (north of City limits).

Project Coverage and Objectives:

The Applicant has included coverage maps (Exhibit E) that depict the existing and proposed LTE coverage in the area for AT&T users. The goal of the project is to address a gap in local wireless coverage to meet increasing customer demand. As explained by the Applicant (Exhibit E), there is no increase in the number of antennas, but rather the goal of the project is to provide additional frequencies in order to optimize the facility and improve service. This specific site will be equipped with First Net, which is AT&T's First Responder's Network which is a prioritized non-commercial network available for first responders. Propagation maps show the increase in coverage that will be achieved with the proposed project modifications. AT&T is not proposing to add additional antennas with this project. The site will remain at 9 antennas.

Projects Detail and Design

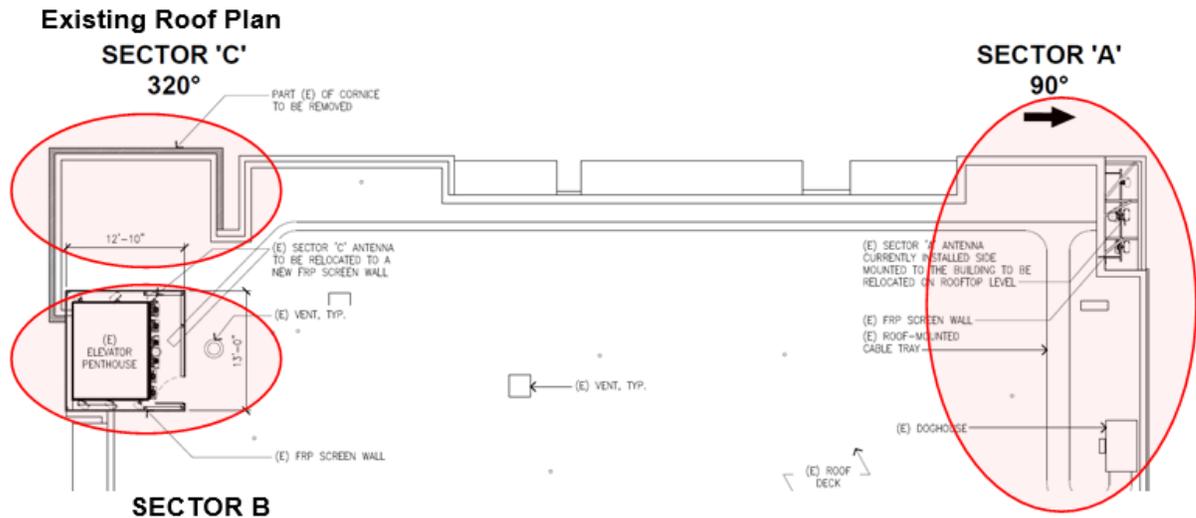
The project plans show the proposed removal, relocation, and replacement of 9 panel antennas, RRUs, and associated telecommunication equipment upgrades in the ground level equipment cabinet. The site plan shows the location of the telecom facility on the roof arranged as sector A in the northeast corner and sectors B and C in the northwest corner area of the building. Six of the existing antennas will be replaced with upgraded panel antennas (2 at three sectors of the building – northwest and northeast building elevation, and three existing antennas will be relocated, with one relocated to each sector for a total of three antennas in each sector (see Site Plan, A-1). The nine RRUs will be upgraded and reconfigured for 3 RRUs at each sector. The DC power plant and batteries in the existing ground level equipment cabinet room would also be upgraded along with removal of other associated supporting equipment. To conceal the

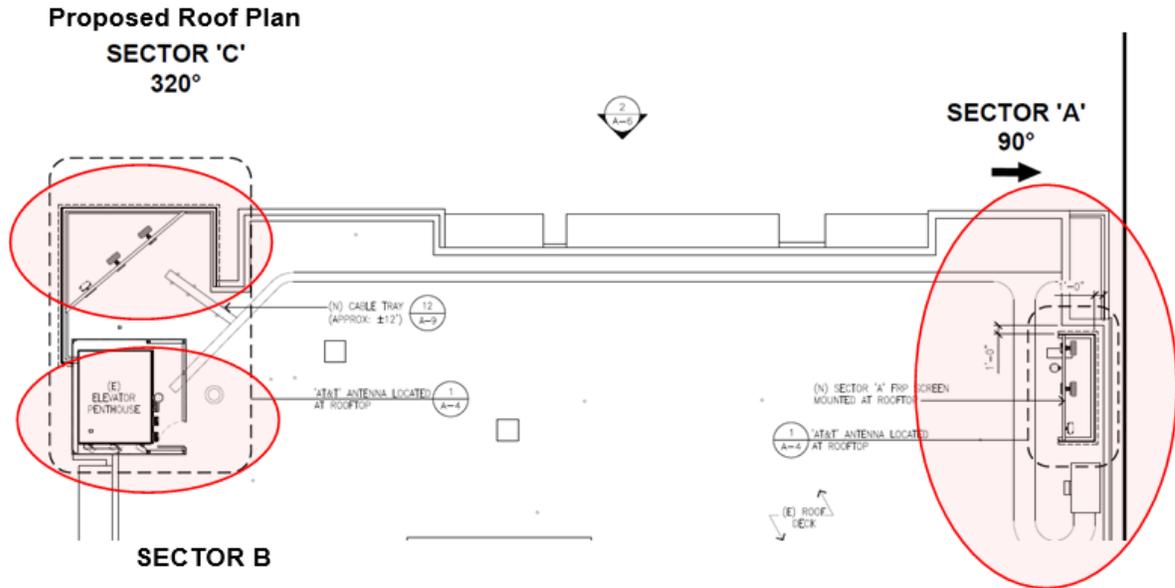
equipment, the project proposes to extend the FRP screen wall enclosure at the northwest building elevation and construct a FRP screen wall enclosure at the northeast building elevations to screen that would be painted and textured to match the existing building. No additional antennas are being added to the site.

At the northwest elevation at sector C (plan sheet A-2), a part of the existing cornice would be removed and replaced with the extended FRP screen wall enclosure. The screening would conceal the antennas, remote radio units, and surge suppressor. A new roof-mounted cable tray would be installed to connect the antennas. The antennas and radio equipment would be screened by extending the existing rooftop screen on the northwest elevation by an additional 10' wide and 7' tall.

At the northeast elevation at sector A, the three existing antennas which are currently screened and side-mounted to the building would be relocated off the wall and moved up to the rooftop level with two upgraded antennas and one existing antenna for a total of 3 antennas in this sector screened behind the 7' tall x 12' wide rooftop FRP screen on the northeast elevation to conceal the relocated antennas. Project proposes to match existing 31'3" height and materials of existing screening.

In sector B, mounted against the elevator shaft are currently six antennas and remote radio units which three of the antennas would be upgraded and moved to sector C, and the RRUs would be removed and replaced.





The equipment cabinet is located on the ground floor level at the southeast corner of the building. Proposed equipment upgrades include a new battery rack and DC power plant and related supporting equipment. The overall size of the equipment cabinet room is not proposed to increase.

The roof FRP screening extension has been designed to blend in with the hotel architecture and is proposed to be painted and textured to match the existing hotel. The height of the proposed FRP extension is also proposed to match the existing 31 feet 3 inches in height.

Project plans also show Elevation pages on sheet number A-5 through A-8 which show the proposed removal, relocation, and replacement of the existing 9 panel antennas, three of which would be screened behind the FRP screen wall at the northwest elevation. A second FRP screen wall extension at the northeast elevation would also conceal 3 relocated antennas.

Visual Analysis:

Staff reviewed the project for impacts to visual aesthetics based on photo visual simulations submitted showing existing and proposed (Exhibit B). The photo visual simulations submitted depict existing and proposed angles of the hotel from the intersection of Morro and Marina looking southeast, as well as a view looking southwest from Marina Street and a third viewpoint from Morro Avenue looking northeast at the site. To ensure consistency in style with the existing hotel, the FRP screen is proposed to be painted to match existing color, texture, and architectural design of the hotel.

Visual Simulations:





Hazards/Hazardous Materials

A Radio Frequency (RF) report was prepared by Fox Hill Telecom dated January 9, 2023, to determine radio frequency emissions (RF) exposure levels for the AT&T rooftop site. The report concluded that with required warning signage installed at the site as mitigation, the site would be in compliance with Federal Communications Commission (FCC) regulations. The report is attached as Exhibit C to this staff report. The report analyzed the site plan with proposed antenna locations in Sectors A, B, and C, and determined compliance based on theoretical modeling using modeling tools, RF signage placement recommendations, using proposed antenna inventory in the project plans and the type and level of restricted access to the antennas at the site whether occupational/controlled exposure or general public/ uncontrolled exposure limits. The report stated that based on theoretical modeling analysis performed, there are areas at the site that exceed the FCC's General Public and Occupational limits. But with proper mitigation installed at the site, it would be determined to be in compliance based on FCC regulations which regulates Maximum Permissible Exposure (MPE).

The proposed AT&T antennas would not be accessible to the general public. As with other wireless telecommunication facilities, antennas are typically mounted above ground level and due to the short wavelength of personal communication (PCS) services, the antennas require line of sight paths for good propagation. Antennas at facilities such as this are constructed to concentrate energy towards the horizon, with as little energy as possible scattered towards the ground or the sky. At roof-level the anticipated power density value is calculated in the RF report as 5,947.90% of FCC's allowable limit for General Population exposure and 1,189.58% of the FCC's allowable Occupational limit. At ground level, the maximum power density value is 3.12% of FCC allowable limit for General Population exposure to radio frequency emission and 0.62% of the allowable Occupational limit. It should be noted that these results include worst-case scenario assumptions and therefore are expected to overstate actual power density levels. Modeling assumes all antennas are operating at full power and all channels are transmitting simultaneously. As a result of these assumptions the predicted signal levels (and associated exposure levels) are likely higher than actual signal levels will be. The report explains the calculation methodology used to determine power density prediction models as approved by the FCC based on the type of proposed antennas and the antenna pattern data. The goal was to use a methodology to predict the emitted radio frequency energy more accurately in any given direction based upon test results from the antenna system manufacturers.

The required signage discussed in the RF report would bring the project into compliance with FCC requirements and would not be allowed to operate by the FCC if found out of compliance. To ensure that RF report signage requirements are incorporated into building plans submitted for approved, staff has recommended a condition of approval that the RF report signage requirements are included on building plans submitted for approval that include explanatory warning signs be posted to be readily visible from any angle of approach (See Planning condition 4). The RF report includes a site map of proposed rooftop barrier location and proposed warning signs.

U.S. Federal Communications Commission

The project has been designed to be in compliance with FCC regulations. The Federal Communications Commission (FCC) regulates interstate and international communications by radio, television, wire, satellite and cable. It was established by the Communications Act of 1934 and operates as an independent U.S. government agency overseen by Congress. Section 332(c)(7) of the Communications Act was added by Congress in the Telecommunications Act of 1996 which imposes limitations on local governments that they may not unreasonably discriminate among providers of functionally equivalent services, may not prohibit provision of personal wireless services, must act on requests within a reasonable period of time, must make any denial decision in writing, supported by substantial evidence, and may not regulate radio frequency (RF), but may require applicant to satisfy FCC rules.

The report submitted by the applicant indicates that the project would be in compliance with FCC standards with the required signage in place. Per the Telecommunications Act of 1996:

No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's (FCC) regulations concerning such emissions.

The regulations contained within the Telecommunications Act of 1996 prohibit City from denying the requested wireless telecommunications facility based upon the environmental or health effects of radio frequency emissions because the proposed project is well below maximum radio frequency emission limits permitted by the FCC.

ENVIRONMENTAL DETERMINATION

Environmental review was performed for this project. Staff determined the project is eligible for a Categorical Exemption Class 3, CEQA Guidelines Section 15303 (e), (New construction of small structures). This exemption applies to the construction and location of limited numbers of new, small facilities or structures and temporary use of land having no permanent effects on the environment for which the modification of an existing wireless facility and roof changes would apply.

PUBLIC NOTICE:

Notice of a public hearing on this item was posted at the site and published in the Tribune newspaper on May 5, 2023 and mailed directly to all property owners of record and occupants within 500 feet of the subject site. The notices invited the public to attend the hearing and express any concerns they may have regarding the proposed project.

CONCLUSION:

The project is an upgrade of an existing approved wireless telecommunication facility. The goal of the project is to provide improved wireless communication abilities for AT&T customers which are a community need from the standpoint of both public safety and convenience in the modern era. The increased coverage is proposed to provide additional frequencies in order to optimize and provide better coverage to customers. Based upon the photo simulations and proposed project design as shown on plans, staff has determined that the proposed project would not

significantly degrade the aesthetics of the site and appropriately camouflages or screens the hotel rooftop telecommunication facility. The project, as proposed, is consistent with all required development standards of the Zoning Ordinance and all applicable provisions of the General Plan and Local Coastal Plan with incorporation of the recommended conditions of approval.

Staff recommends that the Planning Commission approve the requested Major Modification permit #MAJ22-001 for modification of existing telecommunication facility at 590 Morro Avenue. Project includes upgrade of antennas in rooftop telecom facility with new construction of FRP screening at northwest and northeast elevation to screen new upgraded telecommunication antennas and equipment as well as associated equipment cabinet upgrades located on the ground level of the property with the incorporation of the conditions of approval attached herein.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 08-23
- Exhibit B – Visual Simulations, Existing and Proposed
- Exhibit C – Radio Frequency Compliance Report dated January 9, 2023
- Exhibit D – Project Plans received March 27, 2023
- Exhibit E – Justification Package with existing and proposed coverage maps

RESOLUTION NO. PC 08-23

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING MAJOR MODIFICATION PERMIT #MAJ22-001 TO COASTAL DEVELOPMENT PERMIT #CP0-465 AND CONDITIONAL USE PERMIT #UP0-411 FOR MODIFICATION OF AT&T EXISTING ROOFTOP WIRELESS TELECOMMUNICATION FACILITY AT HOTEL AVISA HOTEL. PROJECT INCLUDES REMOVAL AND UPGRADE OF EXISTING ANTENNAS, REMOTE RADIO UNITS, AND ASSOCIATED EQUIPMENT. NEW EXTENDED ROOFTOP SCREENING IS PROPOSED TO CONCEAL TELECOMMUNICATION FACILITY AT HEIGHT OF 31' 3" AT BOTH NORTHWEST AND NORTHEAST ELEVATION TO MATCH EXISTING APPROVED HEIGHT AT 590 MORRO AVENUE

WHEREAS, the Planning Commission of the City of Morro Bay (the "City") conducted a public hearing on May 16, 2023 in a hybrid format with both an in-person meeting at the Morro Bay Veterans Memorial Building, 209 Surf Street, Morro Bay, CA 93442 as well as through virtual public participation provided telephonically through Zoom, for the purpose of considering approval of Major Modification #MAJ22-001 ("Project"); and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

A. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15303, Class 3: New construction of small structures. This exemption applies to the construction and location of limited numbers of new, small facilities or structures and temporary use of land having no permanent effects on the environment. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

Coastal Development Permit Findings

A. That the project is an allowable use in its zoning district and is also in accordance with the certified Local Coastal Program and the General Plan for the City of Morro Bay. "Antennas" and "Public Utility Facilities" are both listed as uses that may be permitted in any zone district with an approved Conditional Use Permit (Zoning Ordinance Section 17.30.0030 (F) & (P), respectively).

Conditional Use Permit Findings

- A. That the project is an allowable use in its zoning district and is also in accordance with the certified Local Coastal Program and the General Plan for the City of Morro Bay. "Antennas" and "Public Utility Facilities" are both listed as uses that may be permitted in any zone district with an approved Conditional Use Permit (Zoning Ordinance Section 17.30.0030 (F) & (P), respectively). In addition, the project has been designed consistent with the 2022 Zoning Code where pursuant to Section 17.30.250 the project is a stealth facility which is designed to look like building appurtenances and support equipment are hidden from view and the project meets design and screening requirements in that the structure has been located, designed, and screened to blend with the existing natural or built surroundings, so as to reduce visual impacts to the extent feasible and the antenna (1997 Zoning Ordinance Section 17.48.070 and 2022 Zoning Ordinance Section 17.30.250); and
- B. The establishment, maintenance, or operation of the use applied for will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use in that the project will be consistent with all applicable zoning and plan requirements as indicated in the attached staff report, and a RF report prepared by Fox Hill Telecom dated January 9, 2023 found the site to be in compliance with FCC rules and regulations upon implementation of the site compliance and signage recommendations in the report.; and
- C. The proposed use conforms with the specific purposes of Section 17.30.250 and any special standards applicable to the proposed facility; and
- D. The applicant has made good faith and reasonable efforts to locate the proposed facility on a support structure because the structure proposed is an existing commercial building with an existing rooftop facility that is being upgraded and the proposed design of the FRP screening wall conceals the antennas equipment in an architectural style consistent with the hotel architecture; and the project is a upgrade of an existing on-site facility and not a new facility. and
- E. The proposed site results in fewer or less severe environmental impacts than any feasible alternative site in that this is an existing facility and number of antennas are not being increased; and
- F. The proposed facility will not be readily visible, or it is not feasible to incorporate additional measures that would make the facility not readily visible.
- G. The proposed wireless facility would be unmanned and thus would not generate traffic nor impact the physical character or capacity of surrounding streets. The proposed telecommunication facility is otherwise not occupied; therefore parking requirements are not applicable; and
- H. There are no signs intended for the proposed project other than those required for safety purposes, which will meet the requirements of the Municipal Code; and

- I. The proposed use will not be detrimental to the health, safety, and general welfare of persons residing or working in the neighborhood of such proposed use. The modifications proposed to the existing rooftop wireless telecommunication facility include removal, relocation, and upgrade of existing antennas. No additional antennas will be added to the site. The FRP screen appropriately conceals the upgraded panel antennas, remote radio units, and associated equipment which is located and designed to minimize the visual impact on surrounding properties and from public streets, through use of consistent material, color, and architectural design. The proposed wireless facility is designed in a manner that is sensitive to surrounding properties and to blend with its natural surroundings; and

Architectural Consideration

- A. As required by Ordinance Section 17.48.200 the Planning Commission finds that the architectural treatment and general appearance of proposed structures, are in keeping with the character of the surrounding areas, are compatible with any design themes adopted by the city, and are not detrimental to the orderly and harmonious development of the city or to the desirability of investment of occupation in the area.

Section 2. Action. The Planning Commission does hereby approve Major Modification permit #MAJ22-001 subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated May 9, 2023, for the project at 590 Morro Avenue depicted on plans received March 27, 2023, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for MAJ22-001, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor

shall require the filing of an application for a permit amendment subject to Planning Commission review.

4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

Building Conditions:

A. CONDITIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by

- others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
 4. The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
 5. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
 6. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
 7. BUILDING PERMIT APPLICATION: To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.
 8. The Title sheet of the plans shall include, but not limited to:
 - Street address, lot, block, tract and Assessor Parcel Number
 - Occupancy Classification(s)
 - Construction Type
 - Maximum height of the building allowed and proposed
 - Floor area of the building(s)
 - Fire sprinklers proposed or existing
 - Minimum building setback allowed and proposed

All construction will conform to the 2022 California Building Code (CBC), 2022 California Residential Code (CRC), 2022 California Fire Code (IFC), 2022 California Mechanical Code (CMC), 2022 California Plumbing Code (CPC), 2022

California Electrical Code (CEC), 2022 California Energy Code, 2022 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by the application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

1. **SITE MAINTENANCE:** During construction, the site shall be maintained to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained through the duration of the project. The storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.
2. **ARCHAEOLOGICAL MATERIALS:** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
3. **FOUNDATION SETBACK VERIFICATION:** Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some lot types.
4. **BUILDING HEIGHT VERIFICATION:** Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some site-specific projects.

5. **EXISTING BUILDINGS:** Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the maximum sill height requirements of section R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2022 California Residential Code.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:

1. Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.
2. Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
3. If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
4. If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.

Fire Department Conditions:

1. **Fire Prevention:** Per Zoning Code requirement 17.30.250.C.8, the building plans submitted for approval shall include design of the facility in a manner that will minimize the risk of igniting a fire or intensifying one that otherwise occur and shall include the following specifications:
 - a. At least one-hour fire resistant interior surfaces shall be used in the construction of all buildings.
 - b. The exterior walls and roof covering of all above-ground equipment shelters and cabinets shall be constructed of materials rated as non-flammable in the Building Code.
 - c. Monitored automatic fire extinguishing systems shall be installed in all equipment buildings and enclosures.
 - d. Openings in all above-ground equipment shelters and cabinets shall be protected against penetration by fire and wind-blown embers to the extent feasible.
2. Required access to roof. Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for

emergency access by the fire department. The access ladder to the roof shall remain unlocked from the interior and be free of storage to maintain a clear aisle width of 36 inches (minimum).

3. Provide approved signage on rooftop locations to include: "CAUTION-ENERGIZED ELECTRICAL EQUIPMENT".
4. Cabinets shall have exterior labels that identify the manufacturer and model number of system and electrical rating (voltage and current) of the contained battery system and Emergency shutoff. There shall be signs within the cabinet that indicate the relevant electrical, chemical and fire hazard.

Public Works Department Conditions:

1. Grading and Drainage: Project plans submitted for Building permit approval shall include on plans whether any existing drainage from roof will be disrupted as part of this project. If so, show location of new downspouts and other drainage pipes & structures. (CBC 107.2.1)
2. Building plans submitted for approval shall add the following Notes to the Plans: Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.

Planning Conditions:

1. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval for both the Conditional Use Permit and the Coastal Development Permit shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
2. Inspection: The applicant shall comply with all City conditions of approval and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.
3. Surety Bond: Per Zoning Code requirement 17.30.250.C.9, as a condition of approval, an applicant for a building permit to erect or install a telecommunication facility shall be required to post a cash or surety bond in a form and amount acceptable to the City Attorney to cover removal costs of the facility in the event that its use is abandoned or the approval is otherwise terminated.
4. Signage recommendations to bring the project into compliance with FCC requirements as described in the RF-EME report prepared by Fox Hill Telecom dated January 9, 2023 and that include explanatory warning signs shall be shown on building plans submitted for approved and installed prior to final

occupancy. The signs shall be posted to be readily visible from any angle of approach.

5. RF signage shall include the RF engineer contact name and phone number.
6. A post-construction RF report shall be prepared with name of responsible RF engineer verifying compliance with FCC requirements once the facility is operational.
7. All conditions previously approved with Coastal Development Permit #CP0-465 and Conditional Use Permit #UP0-411 shall remain in full force and effect unless otherwise modified by this approval.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 16th day of May 2023 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

William Roschen, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 16th day of May 2023.



at&t

Exhibit B

CLU 1270/CLL01270
VN0004-01 TWIN DOLPHIN HOTEL



590 MORRO AVENUE MORRO BAY CA 93442

VIEW 1



EXISTING



PROPOSED

LOOKING SOUTHEAST FROM MARINA STREET



at&t

Exhibit B

CLU 1270/CLL01270
VN0004-01 TWIN DOLPHIN HOTEL

ARTISTIC
engineering
AESims.com
877.9AE.sims

590 MORRO AVENUE MORRO BAY CA 93442

VIEW 2



EXISTING



PROPOSED

LOOKING SOUTHWEST FROM MARINA STREET



at&t

Exhibit B

CLU 1270/CLLO1270
VN0004-01 TWIN DOLPHIN HOTEL



590 MORRO AVENUE MORRO BAY CA 93442

VIEW 3



EXISTING

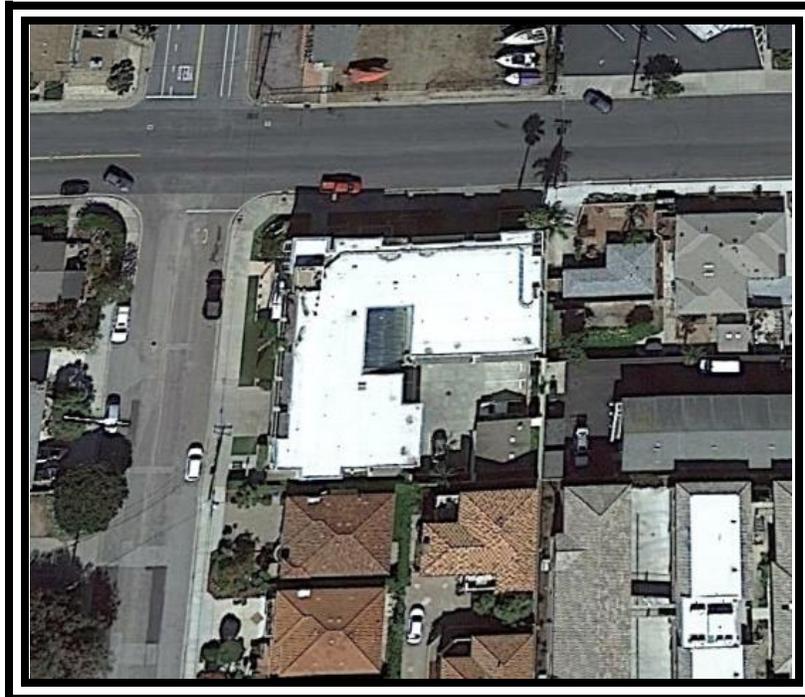


PROPOSED LOOKING NORTHEAST FROM MORRO AVENUE



Radio Frequency Theoretical Modeling Jurisdictional Report

AT&T Wireless Rooftop Facility



Site ID: CLU1270

Site Name: Twin Dolphin Hotel

Report Date: 1/9/2023

Address: 590 Morro Avenue
Morro Bay, CA 93442

Prepared For: Smartlink
3300 Irvine Avenue, Suite 300
Newport Beach, CA 92660

County: San Luis Obispo County

Latitude: 35.363833

Longitude: -120.850944

Site Structure Type: Rooftop

Report Author: Erin Mahaney

Report Reviewer: Ryan McManus

Fox Hill Project Number: 222121

Compliance Status:

AT&T will be compliant with FCC Regulations upon installation of recommended mitigation measures as presented in Section 3.0 of this report.

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2.0	Results Snapshot and Mitigation Measures	3
3.0	Site Map	5
4.0	Results and Compliance Recommendations	6
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1.0 Introduction

Fox Hill Telecom, Inc. has been contracted by AT&T to produce a theoretical assessment of the potential radio frequency emissions at the proposed AT&T rooftop site. FCC OET Bulletin 65 – Edition 97-01 recommends that theoretical calculations should be done to yield a worst-case scenario. This theoretical analysis will provide a worst-case assessment of potential emissions and will assume all transmitters are operating at highest capacity and power. This will provide AT&T with a guideline of how to proceed with mitigating the site to ensure the site will be compliant with FCC regulations at any instance.

Most licensed wireless system operators are required to perform periodic assessments of potential impacts to humans due to radio frequency emissions from active transmitters at the site. The Federal Communications Commission (“FCC”) considers two levels of standards based on access controls to the site and the level of knowledge of the effects of radio frequency to humans.

A controlled/occupational environment assumes that anyone accessing the site is fully trained in RF safety and is aware of the effects of the exposure to radio frequency emissions to humans,

An uncontrolled/general population environment assumes that access is not restricted to RF trained individuals and other members of the general population may be able to access the site for any reason, occupation or otherwise.

2.0 Results Snapshot and Mitigation Measures

Based on the theoretical modeling analysis performed, there are areas at this site that exceed the FCC’s General Public and Occupational limits. AT&T must ensure proper mitigation is installed at the site in order to bring the site into compliance.

Signage and barriers are the primary means of mitigating access to accessible areas of exposure. A site scaled map can be found in section 3.0 which details the locations where mitigation should be installed to bring the site into compliance with FCC regulations. To reduce the risk of exposure, Fox Hill Telecom recommends that access to areas associated with the active antenna installation be restricted and secured where possible.

Below is a summary of **recommended mitigation** at this AT&T facility.

Access:

- No signage required

Sector A:

- Yellow Caution 2 signs posted on the front of the screen wall on each side
- Yellow Caution 2 signs posted on the mount behind antennas

Sector B:

- Red Warning 1B signs posted on the penthouse wall in front of the antennas
- Red Warning 1B signs posted on the penthouse wall behind the antennas
- Red Warning 1B signs posted on each stanchion of the proposed barrier
- 11' x 25' barrier

Sector C:

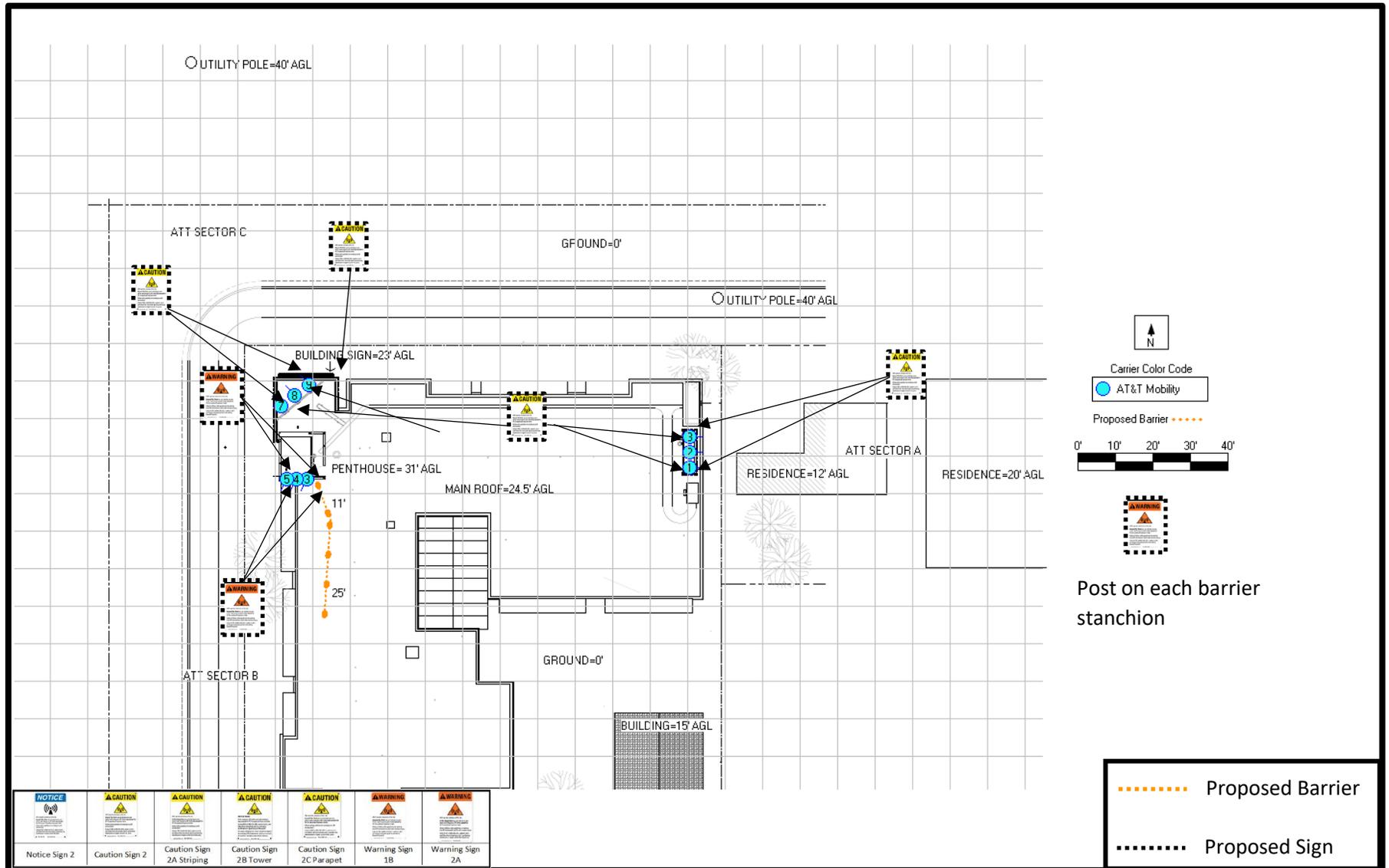
- Yellow Caution 2 signs posted on the front of the screen wall on each side
- Yellow Caution 2 signs posted on the mount behind antennas

Additional Mitigation:

- Yellow Caution 2 signs posted above the building sign in front of Sector C

The parapet on the rooftop is less than 39" in height. Barriers are only recommended for installation within 6 feet of the edge of the rooftop

3.0 Site Map



4.0 Results and Compliance Recommendations

Based on the theoretical modeling analysis performed, there are areas at this site that exceed the FCC's General Public and Occupational limits. AT&T must ensure proper mitigation is installed at the site in order to bring the site into compliance.

At the **main roof level (24.5' AGL)**, the maximum power density value (% MPE) calculated for AT&T's antennas is **5,947.90 %** of the FCC's allowable limit for General Population exposure to radio frequency emissions (**1,189.58 %** of the FCC's allowable Occupational limit).

At the **ground level (0' AGL)**, the maximum power density value (% MPE) calculated for AT&T's antennas is **3.12 %** of the FCC's allowable limit for General Population exposure to radio frequency emissions (**0.62 %** of the FCC's allowable Occupational limit).

The FCC mandates that if a site is found to be out of compliance with regard to emissions that any system operator contributing 5% or more to areas exceeding the FCC's allowable limits, as outlined in this report, will be responsible for bringing the site into compliance. There are no other carriers at this site.

6.0 FCC Guidelines

All power density values used in this report were analyzed as a percentage of current Maximum Permissible Exposure (% MPE) as listed in the FCC OET Bulletin 65 Edition 97-01 and ANSI/IEEE Std C95.1. The FCC regulates Maximum Permissible Exposure in units of microwatts per square centimeter ($\mu\text{W}/\text{cm}^2$). The number of $\mu\text{W}/\text{cm}^2$ calculated at each sample point is called the power density. The exposure limit for power density varies depending upon the frequencies being utilized. Wireless Carriers and Paging Services use different frequency bands each with different exposure limits, therefore it is necessary to report results and limits in terms of percent MPE rather than power density.

All results were compared to the FCC (Federal Communications Commission) radio frequency exposure rules, 47 CFR 1.1307(b)(1) – (b)(3), to determine compliance with the Maximum Permissible Exposure (MPE) limits for General Population/Uncontrolled environments as defined below.

General Population/Uncontrolled exposure limits apply to situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public would always be considered under this category when exposure is not employment related, for example, in the case of a telecommunications tower that exposes persons in a nearby residential area.

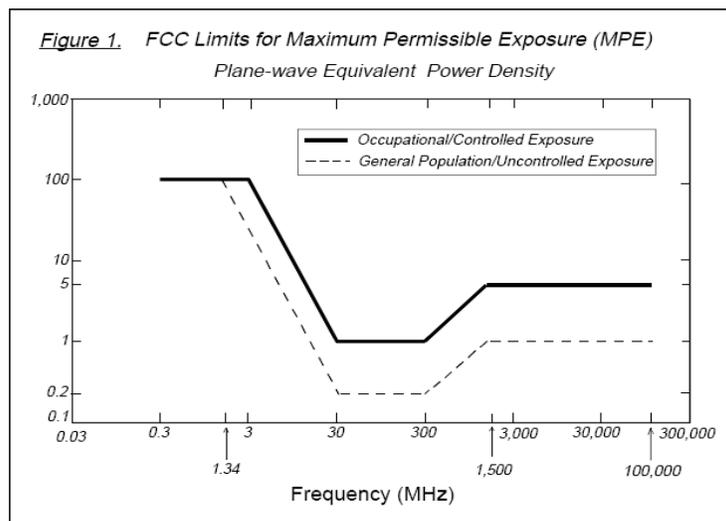
Public exposure to radio frequencies is regulated and enforced in units of microwatts per square centimeter ($\mu\text{W}/\text{cm}^2$). The general population exposure limit for the 700 and 800 MHz Bands is approximately 467 $\mu\text{W}/\text{cm}^2$ and 567 $\mu\text{W}/\text{cm}^2$ respectively, and the general population exposure limit for the 1900 MHz PCS and 2100 MHz AWS bands is 1000 $\mu\text{W}/\text{cm}^2$. Because each carrier will be using different frequency bands, and each frequency band has different exposure limits, it is necessary to report percent of MPE rather than power density.

Occupational/Controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure, have been properly trained in RF safety and can exercise control over their exposure. Occupational/Controlled exposure limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/uncontrolled limits (see below), as long as the exposed person has been made fully aware of the potential for exposure, have been trained in RF safety and can exercise control over his or her exposure by leaving the area or by some other appropriate means. The Occupational/Controlled exposure limits all utilized frequency bands is five (5) times the FCC's General Public / Uncontrolled exposure limit.

Table 1: Limits for Maximum Permissible Exposure (MPE)				
(A) Limits for Occupational/Controlled Exposure				
Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time [E] ² , [H] ² , or S (minutes)
0.3-3.0	614	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f ²)*	6
30-300	61.4	0.163	1.0	6
300-1,500	--	--	f/300	6
1,500-100,000	--	--	5	6
(B) Limits for General Public/Uncontrolled Exposure				
Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time [E] ² , [H] ² , or S (minutes)
0.3-1.34	614	1.63	(100)*	30
1.34-30	824/f	2.19/f	(180/f ²)*	30
30-300	27.5	0.073	0.2	30
300-1,500	--	--	f/1,500	30
1,500-100,000	--	--	1.0	30

f = Frequency in (MHz)

* Plane-wave equivalent power density



7.0 Calculation Methodology

Fox Hill Telecom has performed theoretical calculations on all transmission equipment located on this facility. All calculations have been performed using Waterford Consultants' RoofMaster™ 2020 Version 35.5.26.2022. RoofMaster™ employs several power density prediction models based on the computational approaches set forth in the Federal Communications Commission's Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields, OET Bulletin 65 utilizing both cylindrical and far-field modelling (calculated using antenna manufacturers pattern data).

For this analysis, power density calculations were performed by Fox Hill Telecom on two antenna models including a static beam antenna used for the UMTS and 4G radios and a dynamic beam-forming antenna for the 5G radio broadcast. The static beam results in a fixed coverage area based upon the electrical characteristics of the antenna as specified by the antenna manufacturer. The dynamic beam-forming antenna functions by allowing the carrier to shift a narrow "talk channel" beam to each user in the antennas service area for the provision of service to the user's device by varying the phase of transmission by each active element in the element array inside the antenna to produce the desired resulting vector for the narrow beam. This allows greater gain in a given direction while producing intentional nulls in non-service areas to produce greater signal quality.

For the power density calculations for the UMTS / 4G static beam antennas the Cylindrical (Sula9) model was used to allow for a more pessimistic approach resulting from the transmission power being captured within the 3dB power roll off points of the antennas horizontal pattern. Calculations performed for the narrow beam 5G Traffic Beams were performed using a Far Field model based upon the antenna manufacturers antenna pattern data for both horizontal and vertical gain values. The selection of the Far Field model was done to prevent large overprediction areas of power density values close in to the antenna resulting from the extremely narrow window produced by the 3db power roll off points which define the power spreading area with a Cylindrical Model. Both models are discussed in further detail below.

A statistical factor which reduces the transmit power of the 5G beam forming antennas identified in this report to 32% of maximum theoretical transmit power for this antenna was used in the outlined calculations. This factor was utilized to account for the spatial distribution of users, network utilization, time division duplexing, and scheduling time typically experienced in these dynamic radio environments. This power factor more accurately predicts the emitted radio frequency energy in any given direction based upon test results from the antenna system manufacturers and AT&T recommends the use of this factor based on this guidance from its antenna system manufacturers as well as supporting international industry standards, industry publications, and its extensive experience.

The Cylindrical Model Implementation (Sula9)

In OET-65, the Cylindrical Model is presented as an approach to determine the spatially averaged power density in the near field directly in front of an antenna. In order to implement this model in all directions, RoofMaster™ utilizes the antenna manufacturer horizontal pattern data. Additionally, RoofMaster™ incorporates factors that reduce the power density by the inverse square of horizontal and vertical distance beyond the near field region.

Power density is calculated as follows:

$$S = \left(\left(\frac{360}{\text{Beamwidth}} \right) \frac{P_{in} G_H H_r V_r}{2 \pi R h} \right) \frac{\mu W}{\text{cm}^2}$$

- S is the spatially averaged power density value
- R is the horizontal distance meters to the study point
- h is the aperture length in meters
- P_{in} is power into the antenna input port in Watts
- RoofMaster™ Implementation:
 - G_H is gain offset to study point as specified in manufacturer horizontal pattern
 - P_{in} is adjusted by the portion of the antenna aperture in the 0-6 ft vertical study zone
 - H_r accounts for 1/R² Far Field roll off which starts at 2xh
 - V_r accounts for 1/ (vertical distance)² roll off from antenna bottom to the top of the 0-6ft study zone (or antenna top to bottom of 0-6ft study zone)

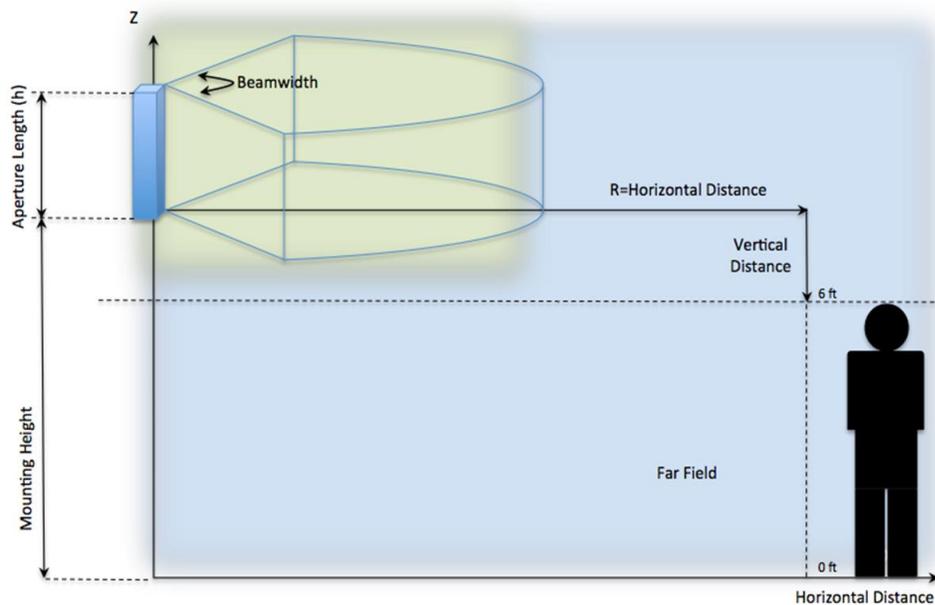


Figure 1: Cylindrical Model Implementation.

The Far Field Model

In OET-65, a far field model is presented to calculate the spatial peak power density. The RoofMaster™ implementation of this model incorporates antenna manufacturer's horizontal and vertical pattern data to determine the power density in all directions. Power density is calculated as follows:

$$S = \frac{13.05 P_{in} G}{R^2} \frac{\mu W}{cm^2}$$

- Does not include 100% reflection factor
- P_{in} is Watts
- R is meters to study point
- G is gain to study point as specified in manufacturer horizontal and vertical patterns

A worst-case prediction is described in OET-65 where field strength may double due to 100% reflection of the incoming radiation. Considering an EPA recommendation that a multiplier of 1.6 is a more realistically representation of this effect is rewritten as follow:

$$S_{FF} = \frac{33.4 \cdot P_{in} \cdot G_{dBd}}{R^2} \quad (\mu W/cm^2)$$

This model yields the power density at a single point in space. In order to determine the spatial power density for comparison to the FCC limits, the average of several points calculated within the human profile (0 to 6 feet) must be conducted.

RoofMaster™ calculates seven power density values between 0 and 6 feet above the specified study plane and performs a linear spatial average.

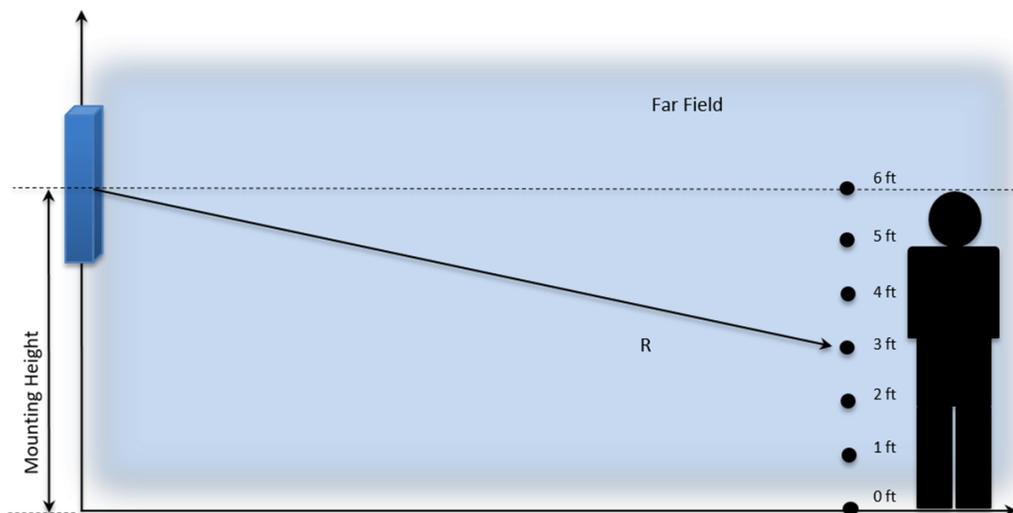


Figure 2 Far Field Model Implementation.

Predicted power densities are displayed as a percentage of the applicable FCC standards

8.0 Certifications

I, Erin Mahaney, preparer of this report certify that I am fully trained and aware of the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation. I have been trained in the procedures and requirements outlined in AT&T's RF Exposure: Responsibilities, Procedures & Guidelines document.



1/9/2023

This report has been reviewed and approved by California registered professional engineer,
Michael McGuire.



sealed 09jan2023

Michael McGuire, Electrical Engineer



SITE NUMBER: CLU1270/CSL01270

SITE NAME: VN0004-01 TWIN DOLPHIN HOTEL

FA NUMBER: 10100071

**PACE NUMBER: MRLOS071799/MRLOS071986/
MRLOS072002/MRLOS071991/MRLOS071997**

PROJECT: LTE 4C

SITE TYPE: ROOFTOP (INDOOR)

**SITE ADDRESS: 590 MORRO AVENUE
MORRO BAY, CA 93442**



UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA
800-227-2600

48 HOURS BEFORE YOU DIG

SITE INFORMATION

PROPERTY OWNER: NATHU & HANSABEN PATEL
590 MORRO AVENUE
MORRO BAY, CA 93442

CONTACT PERSON: HERMANT PATEL
PHONE: (805) 801-1224

APPLICANT ADDRESS: AT&T MOBILITY
1452 EDINGER AVE.
TUSTIN, CA 92780

LATITUDE (NAD 83): 35° 21' 49.799" N (35.3638333°)

LONGITUDE (NAD 83): 120° 51' 03.399 W (-120.8509444°)

GROUND ELEVATION: -

OCCUPANCY: GROUP R1

CONSTRUCTION TYPE: TYPE I-B

APN #: 066-133-001

ZONING JURISDICTION: CITY OF MORRO BAY

CURRENT ZONING: R-2, S-4

PROPOSED USE: UNMANNED TELECOM FACILITY

MAX HEIGHT OF BUILDING: 31'-3" (ALLOWED AND PROPOSED)

FLOOR AREA: SEE ATTACHED PAGE C-1

FIRE SPRINKLERS:

PROPOSED OR EXISTING: "N/A" THERE IS NOT ANY IN AT&T'S SECTORS

LEGAL DESCRIPTION:
590 MORRO AVE, MORRO BAY, CA 93442 LOTS 7 AND 8 IN BLOCK 17, OF THE TOWN OF MORRO, IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, ACCORDING TO MAP SURVEYED BY C. MATHERS, JUNE 1872 AND FILED FOR RECORD APRIL 22, 1887 IN BOOK A AT PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. APN: 066-133-001

SETBACKS OF MORRO BAY (SEE SHEET A-1):
SIDE SETBACK SHALL BE SEVEN FEET EIGHT INCHES AND TWENTY FOOT NINE INCHES AND THE REAR SETBACK SHALL BE FIVE FEET NINE INCHES EXCEPT THAT ON A CORNER LOT, THE SETBACK FROM THE SIDE STREET SHALL BE THE REQUIRED BUILDING SETBACK PLUS FIVE. IN ALL OTHER DISTRICTS, THE SETBACK SHALL BE THE SAME AS THE REQUIRED BUILDING SETBACK.

R-2/PD/S.4 ZONE DISTRICT (CURRENT ZONING CODE 1997)
TMU ZONE DISTRICT (NEW ZONING CODE, 2022)

FRONT SETBACK EXISTING 10'-1" AND PROPOSED IS 8'-7".
SIDE SETBACK EXISTING IS 23'-4" AND PROPOSED IS 7'-8".
PROPOSED HEIGHT OF ALPHA ROOFTOP SCREEN IS 31'-3" FROM ANG., WILL MATCH THE EXISTING BETA/GAMMA SCREEN HEIGHT.

PROJECT TEAM

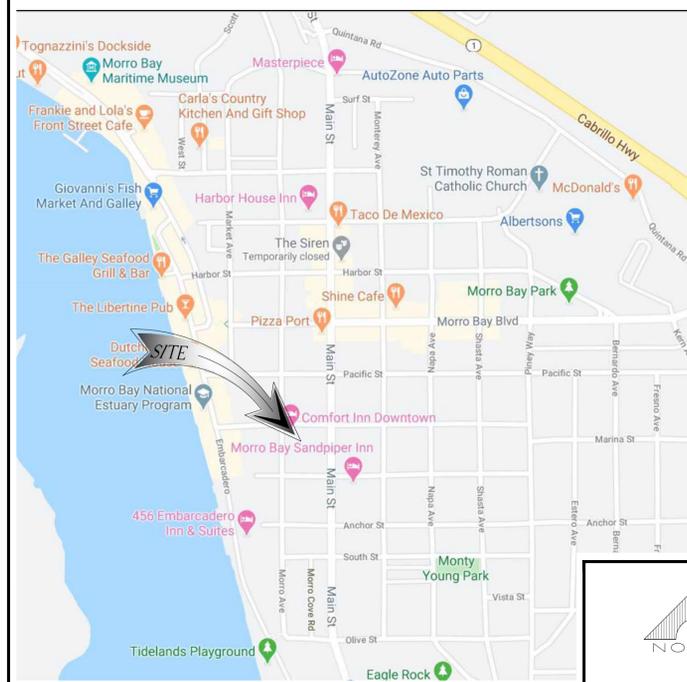
PROJECT MANAGER: SMARTLINK, LLC
CONTACT: SYDNEY SYKES
PHONE: (443) 789-0010

ENGINEER: CASA INDUSTRIES, INC.
CONTACT: LUIS H. CARDONA
PHONE: (562) 652-5330
EMAIL: LCardona@casaind.com

APPLICANT: AT&T
1452 EDINGER AVE.
TUSTIN, CA 92780

LOCATION MAPS

VICINITY MAP



LOCAL MAP



DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE:
HEAD SOUTHWEST TOWARD AT&T. TURN RIGHT TOWARD AT&T. TURN LEFT TOWARD AT&T. TURN RIGHT ONTO AT&T. TURN LEFT ONTO EDINGER AVE. TURN LEFT ONTO NEWPORT AVE. TURN RIGHT TO MERGE ONTO CA-55 N/ STATE RTE 55 N. MERGE ONTO CA-55 N/ STATE RTE 55 N. USE THE RIGHT 2 LANES TO TAKE EXIT 10B TO MERGE ONTO I-5 N TOWARD SANTA ANA. KEEP LEFT AT THE FORK TO CONTINUE ON US-101 N. FOLLOW SIGNS FOR LOS ANGELES N/ CIVIC CENTER. USE THE RIGHT 3 LANES TO TAKE THE US-101 N EXIT TOWARD VENTURA/ VENTURA FWY. CONTINUE ONTO US-101 N/ VENTURA FWY. TAKE EXIT 101B FOR STATE STREET TOWARD CA-154/ CACHUMA LAKE. CONTINUE STRAIGHT ONTO CALLE REAL. TURN RIGHT ONTO CA-154 W/ SAN MARCOS PASS RD. AT THE TRAFFIC CIRCLE, TAKE THE 2ND EXIT AND STAY ON CA-154 W/ SAN MARCOS PASS RD. TURN RIGHT TO MERGE ONTO US-101 N. FOLLOW US-101 N TO OSOS ST IN SAN LUIS OBISPO. TAKE EXIT 203A FROM US-101 N. MERGE ONTO US-101 N. TAKE EXIT 203 A FOR OSOS ST. CONTINUE ONTO OSOS ST. TURN LEFT ONTO WALNUT ST. TURN LEFT AT THE 1ST CROSS STREET ONTO CA-1 N/SANTA ROSA ST. TAKE EXIT 278 FOR MORRO BAY BLVD. AT THE TRAFFIC CIRCLE, CONTINUE STRAIGHT TO STAY ON MORRO BAY BLVD. TURN LEFT ONTO PINEY WAY. TURN RIGHT ONTO PACIFIC ST. TURN LEFT ONTO MAIN ST. TURN RIGHT AT THE 1ST CROSS STREET ONTO MARINA ST. TURN LEFT ONTO MORRO AVE. DESTINATION WILL BE ON THE LEFT.

DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

CONSTRUCTION DRAWINGS

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

PROJECT DESCRIPTION

AT&T MOBILITY PROPOSES TO MODIFY AN EXISTING APPROVED WIRELESS FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE 6 (E) PANEL ANTENNAS (2 PER SECTOR).
- REMOVE 3 (E) RRU-11 B12 (1 PER SECTOR).
- REMOVE 3 (E) RRU-11 B4 WITH A2 RADIO B4 (1 PER SECTOR).
- REMOVE 3 (E) RRU-12 B2 WITH A2 RADIO B25 (1 PER SECTOR).
- REMOVE 1 (E) DC POWER PLANT.
- REMOVE (E) 2V BATTERIES.
- REMOVE ALL (E) UMTS TMA AND DIPLEXERS.
- INSTALL 4 (N) COMMSCOPE NNH-65A-R4 PANEL ANTENNAS (2 AT SECTOR 'A' AND 'C').
- INSTALL 2 (N) KATHREIN 840-370964K PANEL ANTENNAS (2 AT SECTOR 'B').
- INSTALL 3 (N) RRU-4449 B5/B12 (1 PER SECTOR).
- INSTALL 3 (N) RRU-4478 B14 (1 PER SECTOR).
- INSTALL 3 (N) RRU-8843 B2/B66A (1 PER SECTOR).
- INSTALL 1 (N) 6630 BASEBAND UNIT WITHIN (E) FIF RACK.
- INSTALL 1 (N) NEO. 20068 DC POWER PLANT.
- INSTALL 1 (N) NEO.15312 BATTERY CABINET WITH 4 (N) 185 AH BATTERY STRINGS (16 TOTAL BATTERIES).
- INSTALL 8 (N) NEO.15930 RECTIFIERS MODULES ON (N) DC POWER PLANT.
- INSTALL 2 (N) NEO. 15929 CONVERTER MODULES ON (N) DC POWER PLANT.
- INSTALL (N) FRP SCREEN WALL ENCLOSURE FOR SECTOR 'A' AND 'C'. PAINT AND TEXTURE TO MATCH BUILDING.
- INSTALL 1 (N) DC-6 (SIB) (AT SECTOR 'C').
- INSTALL 4 (N) POWER TRUNK AND 2 (N) FIBER TRUNK (FOR SECTORS 'B' AND 'C').
- INSTALL 1 (N) DC-12 UNIT WITHIN (E) FIF RACK.
- INSTALL (N) CABLE TRAY.
- INSTALL 1 (N) IDLE CABLE.

EDGE TO EDGE SEPARATION:
A: 36"/36"
B: 20"/20"
C: 36"/36"

ANTENNA TO FRP SEPARATION:
A: 20"
B: 1"
C: 20"

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
GN-1	GENERAL NOTES
GN-2	BATTERY SPECIFICATIONS
A-1	SITE PLAN
A-2	ROOF PLAN
A-3	EQUIPMENT PLAN AND ANTENNA/RRU SCHEDULE
A-4	ANTENNA PLAN
A-5	ELEVATIONS
A-6	ELEVATIONS
A-7	ELEVATIONS
A-8	ELEVATIONS
A-9	EQUIPMENT SPECIFICATIONS
A-10	DETAILS
S-1	STRUCTURAL PLANS & DETAILS
S-2	STRUCTURAL PLANS & DETAILS
E-1	ELECTRICAL/GROUNDING PLAN, GROUNDING DETAILS AND NOTES

CODE COMPLIANCE

- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA FIRE CODE (IFC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING CODE (CGBC)
- TITLE 14 AND 17 OF THE MORRO BAY MUNICIPAL CODE.

ALL WORKS AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.



3300 IRVINE AVENUE, SUITE 300
NEWPORT BEACH, CA 92660
TEL: (949) 861-2201
FAX: (949) 468-0931



4430 E. MIRALOMA AVE. SUITE D
ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
1	03/09/23	PLANNING COMMENTS
6	01/10/23	PLANNING COMMENTS
5	10/13/22	REVISED PER CM'S COMMENT
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0	06/19/20	100% CONSTRUCTION DRAWINGS
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CLU1270 (CLL01270)
VN0004-01 TWIN DOLPHIN HOTEL
590 MORRO AVENUE
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ROOFTOP (INDOOR)

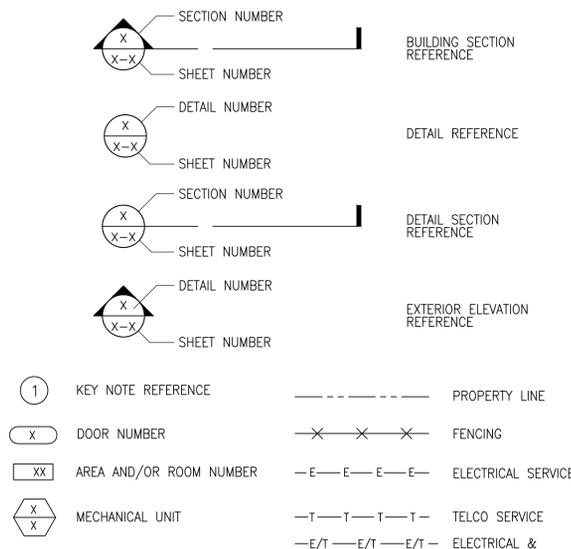
SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

ABBREVIATIONS

AB	ANCHOR BOLT	LAM	LAMINATED
AC	ASPHALTIC CONCRETE	LBS	POUNDS
A/C	AIR CONDITIONING	LT	LIGHT
ADJ	ADJUSTABLE	LA	LIGHTNING ARRESTOR
A.F.F.	ABOVE FINISH FLOOR	LNA	LOW NOISE AMPLIFIER
APPROX	APPROXIMATELY	MFR	MANUFACTURER
A.G.L.	ABOVE GRADE LEVEL	MAT	MATERIAL
A.M.S.L.	ABOVE MEAN SEA LEVEL	MAX	MAXIMUM
		MECH	MECHANICAL
BD	BOARD	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BLKG	BLOCKING	ML	METAL LATH
BOT	BOTTOM	MO	MASONRY OPENING
BSMT	BASEMENT	MS	MACHINE SCREW
BTS	BASE TRANSCIVER STATION	MTD	MOUNTED
		MTL	METAL
C	COURSE(S)	(N)	NEW
CEM	CEMENT	NIC	NOT IN CONTRACT
CL	CHAIN LINK	NO	NUMBER
CLG	CEILING	NT	NOT TO SCALE
CLR	CLEAR	OA	OVERALL
COL	COLUMN	O.C.	ON CENTER
CONC	CONCRETE	OPNG	OPENING
CONST	CONSTRUCTION	OPP	OPPOSITE
CONT	CONTIGUOUS		
CORR	CORRIDOR	PARTN	PARTITION
CO	CONDUIT ONLY	PL	PLATE
		PLAS	PLASTER
DIA	DIAMETER	PLYWD	PLYWOOD
DBL	DOUBLE	POC	POINT OF CONNECTION
DEPT	DEPARTMENT	PROP	PROPERTY
DEMO	DEMOLITION	PT	PRESSURE TREATED
DIM	DIMENSION	R	RISER
DN	DOWN	REQD	REQUIRED
DR	DOOR	RD	ROOF DRAIN
DTL	DETAIL	RM	ROOM
DWG	DRAWING	RMS	ROOMS
		RO	ROUGH OPENING
(E)	EXISTING	SC	SOLID CORE
EA	EACH	SCHED	SCHEDULE
ELEC	ELECTRIC	SECT	SECTION
ELEV	ELEVATION	SH	SHIELD
EQUIP	EQUIPMENT	SH	SHEET
EXP	EXPANSION	SIM	SIMILAR
EXT	EXTERIOR	SIM	SPECIFICATIONS
		SS	STAINLESS STEEL
FA	FIRE ALARM	STL	STEEL
FB	FLAT BAR	STL	STORAGE
FF	FINISH FLOOR	STRUC	STRUCTURAL
FH	FLAT HEAD	SUSP	SUSPENDED
FIN	FINISH(ED)	SW	SWITCH
FLR	FLOOR	SWBO	SWITCHBOARD
FOS	FACE OF STUDS		
FS	FINISH SURFACE	THK	THICK
FT	FOOT, FEET	TI	TENANT IMPROVEMENT
FTG	FOOTING	TMA	TOWER MOUNTED AMPLIFIER
FW	FINISH WALL	TOS	TOP OF SURFACE
F.G.	FINISH GRADE	TS	TUBE STEEL
FUT	FUTURE	TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	VCT	VINYL COMPOSITION
GALV	GALVANIZED		
GL	GLASS		
GR	GRADE		
GYP	GYPSUM		
GFCI	GROUND FAULT CIRCUIT INTERRUPT		
GND	GROUND	VERT	VERTICAL
		V.F.	VERIFY IN FIELD
		VG	VERTICAL GRAIN
HC	HOLLOW CORE	W/	WITH
HDW	HARDWARE	WD	WOOD
HTR	HEATER	WR	WATER RESISTANT
HM	HOLLOW METAL	WT	WEIGHT
HORIZ	HORIZONTAL		
HR	HOUR	XFMR	TRANSFORMER
HT	HEIGHT		
HV	HIGH VOLTAGE	@	AT
ID	INSIDE DIMENSION	⌈	CHANNEL
INS	INSULATION	⌋	CENTERLINE
INT	INTERIOR	∠	ANGLE
		⌞	PROPERTY LINE
JT	JOINT		

SYMBOLS:



GENERAL:

- THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS, AND NOTES PRIOR TO STARTING CONSTRUCTION. INCLUDING BUT NOT LIMITED BY DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE ENGINEER.
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDUMS, OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT DRAWINGS TO THE ENGINEER AT THE CONCLUSION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE FROM START OF PROJECT TO COMPLETION OF PROJECT.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES.
- ALL CONSTRUCTION THROUGH THE PROJECT SHALL CONFORM TO THE 2019 C.B.C. AND ALL THE OTHER LATEST GOVERNING CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. THE ENGINEER WILL NOT ADVISE ON NOR PROVIDE DIRECTION AS TO SAFETY PRECAUTIONS AND PROGRAMS.
- THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF SAID DOCUMENT.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHALL APPROVED MATERIALS TO FILL/SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
- NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR UNLESS NOTED OTHERWISE IN THE PLANS.
- WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
- ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
- ALL DEBRIS AND REFUGE IS TO BE REMOVED FROM THE PROJECT DAILY. PREMISES SHALL BE LEFT IN A CLEAN BROOM FINISHED CONDITION AT ALL TIMES.
- ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES AND SEQUENCES OF PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTORS SHALL VISIT THE SITE PRIOR TO BID TO ASCERTAIN CONDITIONS WHICH MAY ADVERSELY AFFECT THE WORK OR COST THEREOF.
- THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSION, ELEVATION, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND SHALL BE CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ENGINEER. UNAUTHORIZED CHANGES RENDER THESE DRAWINGS VOID.
- ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK. GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS, PRIOR TO STARTING WORK.

SITE PREPARATION NOTES:

- THE PREPARATION OF THE SITE FOR CONSTRUCTION SHALL INCLUDE THE REMOVAL OF ALL BROKEN CONCRETE, TREE TRUNKS AND ANY OTHER DEBRIS THAT WOULD BE DAMAGING TO THE FOOTINGS OF THE NEW STRUCTURE.
 - BACK FILLING AT TRENCHES SHALL BE OF CLEAN, STERILE SOIL HAVING A SAND EQUIVALENT OF 30 OR GREATER. BACK FILLING SHALL BE DONE IN 8 INCH LAYERS, MOISTURE CONDITIONED AND PROPERLY COMPACTED. ADEQUATE DRAINAGE SHALL BE PROVIDED SUCH THAT NO PONDING OCCURS.
 - ALL FOUNDATION FOOTINGS SHALL EXTEND INTO AND BEAR AGAINST NATURAL UNDISTURBED SOIL OR APPROVED COMPACTED FILL. FOOTINGS SHALL EXTEND INTO SOIL DEPTH AS INDICATED IN PLANS.
 - SHOULD ANY LOOSE FILL, EXPANSIVE SOIL, GROUND WATER OR ANY OTHER UNEXPECTED CONDITIONS BE ENCOUNTERED DURING THE EXCAVATION FOR THE NEW FOUNDATION, THE ENGINEER SHALL BE NOTIFIED AND ALL FOUNDATION WORK SHALL CEASE IMMEDIATELY.
 - WITHIN AN AREA A MINIMUM OF 5 FEET BEYOND THE BUILDING LIMITS, EXCAVATE A MINIMUM OF 4" OF AN EXISTING SOIL. REMOVE ALL ORGANICS, PAVEMENT, ROOTS, DEBRIS AND OTHERWISE UNSUITABLE MATERIAL.
 - THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED BY PROBING OR TESTING TO CHECK FOR POCKETS OF SOFT OR UNSUITABLE MATERIAL. EXCAVATE UNSUITABLE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
 - PROOFROLL THE SURFACE OF THE EXPOSED SUBGRADE WITH A LOADED TANDEM AXLE DUMP TRUCK. REMOVE ALL SOILS WHICH PUMP OR DO NOT COMPACT PROPERLY AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
 - FILL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL. PLACE IN 8" LOOSE LIFTS AND THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-698. COMPACT TO A MINIMUM OF 90% RELATIVE COMPACTION.
 - THE STRUCTURAL DRAWINGS HERE IN REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY AND INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.
 - WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.
 - PRIOR TO PROCEEDING WITH ANY WORK WITHIN THE EXISTING FACILITY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.
- SUBMITTALS:
- SUBMITTALS FOR SHOP DRAWINGS, MILL TESTS, PRODUCT DATA, ECT. FOR ITEMS DESIGNED BY THE ENGINEER OF RECORD SHALL BE MADE TO THE ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW THE SUBMITTAL BEFORE FORWARDING TO THE ENGINEER. SUBMITTALS SHALL BE MADE IN ADVANCED TO ENGINEER. SUBMITTALS REQUIRED FOR EACH SECTION OF THESE NOTES ARE SPECIFIED IN THAT SECTION.
- SHOP DRAWING REVIEW:
- REVIEW BY THE ENGINEER IS FOR GENERAL COMPLIANCE WITH THE DESIGN CONCEPT AND THE CONTRACT DOCUMENTS. MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, NOR DEPARTURES THEREFROM. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTION FABRICATION PROCESSES.

ACCESSIBILITY NOTE:

THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN HEREON THESE PLANS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT: MOBILITY, SIGHT, AND/OR HEARING. THEREFORE, PER 2019 C.B.C. CHAPTER 11B, THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

BID WALK NOTES:

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS BEFORE SUBMITTAL OF FINAL BIDS, START OF CONSTRUCTION AND/OR FABRICATION. AFTER THOROUGHLY EXAMINING THE PLANS AND EXISTING SITE CONDITIONS NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES OR ANY ITEMS NEEDING CLARIFICATIONS PRIOR TO SUBMITTING FINAL BIDS.
- IF THE ENGINEER IS NOT NOTIFIED OF ANY DISCREPANCIES OR CLARIFICATIONS IN WRITING AS DESCRIBED IN #1 IT WILL BE CONFIRMED THAT THE CONTRACTOR HAS CONSIDERED ALL ITEMS THAT WILL AFFECT THE COST OF THE CONSTRUCTION OF THE SITE UNDER THE MOST STRINGENT CONDITIONS. THE CONTRACTOR WILL NOT BE ENTITLED TO ANY ADDITIONAL COMPENSATION AFTER THE FINAL BIDS HAVE BEEN SUBMITTED AND AWARDED FROM THE CARRIER.

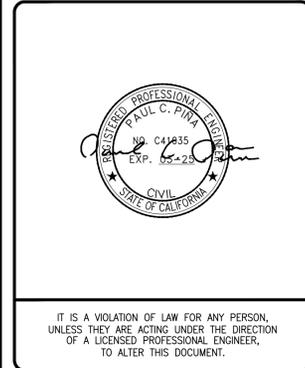
STRUCTURAL STEEL:

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST REVISED EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION, WHICH INCLUDES THE SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, THE CODE OF STANDARD PRACTICE AND THE AWS STRUCTURAL WELDING CODE. IDENTIFY AND MARK STEEL PER AISC 14TH EDITION AND C.B.C. 2019.
- STRUCTURAL STEEL SHOP DRAWINGS SHALL BE REVIEWED BY THE ENGINEER PRIOR TO FABRICATION.
- GROUTING OF COLUMN BASE PLATES: BASE PLATES SHALL BE DRYPACKED OR GROUTED WITH NON-SHRINK, NON-FERROUS GROUT. MINIMUM COMPRESSIVE STRENGTH SHALL BE 4,000 PSI AT 28 DAYS. ALL SURFACES SHALL BE PROPERLY CLEANED OF FOREIGN MATERIAL PRIOR TO GROUTING.
- ALL EXPOSED WELDS SHALL BE FILLED AND GROUND SMOOTH WHERE METAL COULD COME IN CONTACT WITH THE PUBLIC.
- NO HOLES OTHER THAN THOSE SPECIFICALLY DETAILED SHALL BE ALLOWED THRU STRUCTURAL STEEL MEMBERS. BOLT HOLES SHALL CONFORM TO AISC SPECIFICATION, AND SHALL BE STANDARD HOLES UNLESS NOTED OTHERWISE. NO CUTTING OR BURNING OF STRUCTURAL STEEL WILL BE PERMITTED WITHOUT PRIOR CONSENT OF THIS ENGINEER.
- WELDING: CONFORM TO AWS D1 1. WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH WAGO REQUIREMENTS. USE E70 ELECTRODES OF TYPE REQUIRED FOR MATERIALS TO BE WELDED.
- BOLTING: ASTM A307 BOLTS SHALL BE INSTALLED "SNUG TIGHT" PER AISC. SECTION RCSC 8(C) ASTM A325 BOLTS SHALL CONFORM TO THE RCSC SPECIFICATION SECTION 8 (D).
- FABRICATION: CONFORM TO AISC SPECIFICATION SEC M2 "FABRICATION" AND AISC CODE SEC 6 "FABRICATION AND DELIVERY" PERFORM WORK ON PREMISES OF A FABRICATOR APPROVED BY THE BUILDING OFFICIAL.
- GALVANIZING: ALL EXPOSED STEEL OUTSIDE THE BUILDING ENVELOPE SHALL BE HOT-DIPPED GALVANIZED. APPLY FIELD TOUCH-UPS PER SPECIFICATIONS. PER ASTM A153.
- MATERIALS: CONFORM TO

ANCHOR BOLTS (HEADED):	ASTM A307
ANCHOR BOLTS (J-TYPE):	ASTM A36
BARS AND PLATES:	ASTM A36
BOLTS:	ASTM A307
C-, M-, AND ANGLE SHAPES:	ASTM A36
DEFORMED WELDED WIRE FABRIC:	ASTM A497
EPOXY AND EXPANSION ANCHORS:	HILTI OR EQUIVALENT
GROUT:	EMBECO OR EQUIVALENT
HIGH-STRENGTH BOLTS:	ASTM A325SC OR (A325N)
OTHER STRUCTURAL SHAPES:	ASTM A36
REINFORCING BARS:	ASTM A615, GRADE 60, DEFORMED BARS
SMOOTH WELDED WIRE FABRIC:	ASTM A185
STRUCTURAL WF SHAPES:	ASTM A572-GR50
STEEL PIPE:	ASTM A53, GRADE B
TIE WIRE:	16.5 GAGE OR HEAVIER, BLACK ANNEALED
TUBE STEEL AND PIPE COLUMNS:	ASTM A500, GRADE B
WELDING ELECTRODES:	E70XX
W - SHAPES:	ASTM A992, GRADE 50
- HOLES IN STEEL SHALL BE DRILLED OR PUNCHED. ALL SLOTTED HOLES SHALL BE PROVIDED WITH SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE SITE IS NOT PERMITTED.
- ALL FRAMING CONNECTORS SUCH AS CONCRETE ANCHORS, HOLD-DOWNS, POST BASES, FRAMING CAPS, HANGER AND OTHER MISCELLANEOUS STRUCTURAL METALS SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE CO. OR APPROVED EQUAL.



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CLU1270 (CLLO1270)
VN0004-01 TWIN DOLPHIN HOTEL
590 MORRO AVENUE
MORRO BAY, CA 93442
ROOFTOP (INDOOR)

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-1

FIRE DEPARTMENT NOTES

GENERAL

- 1.0 ADDRESS NUMBERS:
- APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY.
- 2.0 FIRE EXTINGUISHERS, IF REQUIRED:
- PROVIDE A FIRE EXTINGUISHER (MINIMUM 2A-10BC) WITHIN A RECESSED OR SEMI-RECESSED CABINET WITHIN 75 FEET TRAVEL DISTANCE FROM ALL POINTS IN THE OCCUPANCY; THE EXTINGUISHER SHALL BE MOUNTED ON A HOOK WITHIN THE CABINET (ELEVATED OFF CABINET FLOOR); THE TOP OF THE EXTINGUISHER SHALL BE NO HIGHER THAN 48 INCHES (1219 mm) ABOVE THE FLOOR; EXTINGUISHER SHALL BE PLACED IN A EASILY ACCESSIBLE LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE.
- 3.0 DOOR OPERATIONS:
- ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE, OR EFFORT. THE UNLATCHING OF ANY EXIT DOOR SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- 4.0 ADDITIONAL PERMIT:
- PRIOR TO THE FINAL INSPECTION, OBTAIN A HAZARDOUS MATERIALS PERMIT FROM THE FIRE DEPARTMENT. CONTACT THE ENVIRONMENTAL MANAGEMENT CENTER OF THE CITY.
- 5.0 REQUIRED INSPECTIONS:
- THE FIRE DEPARTMENT INSPECTION FOR THIS PROJECT INCLUDE THE FOLLOWING:
 - HAZARDOUS MATERIALS FINAL INSPECTION.
 - FIRE PREVENTION BUREAU FINAL INSPECTION – CONTRACTOR MUST REQUEST A SEPERATE INSPECTION. INSPECTION INCLUDES, BUT IS NOT LIMITED TO: FIRE EXTINGUISHERS; SIGNAGE; DOOR HARDWARE AND MEANS OF EGRESS; EMERGENCY/EXIT LIGHTING; ETC.

NOTE: TO SCHEDULE INSPECTIONS: CALL OFFICE OF STATE FIRE MARSHALL OF THE CITY AT LEAST 48 HOURS IN ADVANCE.

FIRE DEPARTMENT

2

NOTES

GENERAL

- PER CFC SECTION 2704.2.2 "THE OGREGATE QUANTITIES OF HAZARDOUS MATERIALS STORED OR USED IN A SINGLE FABRICATION AREA SHALL BE LIMITED AS SPECIFIED IN THIS SECTION" AND REFERRING TO CFC 2019 SECTION 608.1 STATIONARY STORAGE BATTERY SYSTEMS HAVING AN ELECTROLYTE CAPACITY OF MORE THAN 50 GALLONS (189 L) FOR FLOODED LEAD-ACID, NICKEL CADMIUM (NI-CD) AND VALVE REGULATED LEAD-ACID (VRLA), OR MORE THAN 1,000 POUNDS (454 KG) FOR LITHIUM-ION AND LITHIUM METAL POLYMER, USED FOR FACILITY STAND BY POWER, EMERGENCY POWER OR UNINTERRUPTIBLE POWER SUPPLIES SHALL COMPLY WITH THIS SECTION AND TABLE 608.1
- PER CFC SECTION 602.1 AND PER CBC 2019 SECTION 307.2 THE DEFINITIONS:

VALVE-REGULATED LEAD ACID (VRLA) BATTERY (CBC 2019-CFC 2019-SECTION 202 GENERAL DEFINITIONS):
A LEAD-ACID BATTERY CONSISTING OF SEALED CELLS FURNISHED WITH A VALVE THAT OPENS TO VENT THE BATTERY WHENEVER THE INTERNAL PRESSURE OF THE BATTERY EXCEEDS THE AMBIENT PRESSURE BY A SET AMOUNT. IN VRLA BATTERIES, THE LIQUID ELECTROLYTES IN THE CELLS IS IMMOBILIZED IN A ABSORPTIVE GLASS MAT (AGM CELLS OR BATTERIES) OR BY THE ADDITION OF A GELLING AGENT (GEL CELL OR GELLED BATTERIES).

CORROSIVE (CBC 2019-CFC 2019-SECTION 202 GENERAL DEFINITIONS):
A CHEMICAL THAT CAUSES VISIBLE DESTRUCTION OF, OR IRREVERSIBLE ALTERATIONS IN, LIVING TISSUE BY CHEMICAL ACTION AT THE POINT OF CONTACT. A CHEMICAL SHALL BE CONSIDERED CORROSIVE IF, WHEN TESTED ON THE INTACT SKIN OF ALBINO RABBITS BY THE METHOD DESCRIBED IN D019 49 CFR, PART 171.137, SUCH A CHEMICAL DESTROYS OR CHANGES IRREVERSIBLY THE STRUCTURE OF THE TISSUE. AT THE POINT OF CONTACT FOLLOWING AN EXPOSURE PERIOD OF 4 HOURS. THIS TERM DOES NOT REFER TO ACTION ON INANIMATE SURFACES.

HAZARDOUS MATERIALS (CBC 2019-CFC 2019-SECTION 202 GENERAL DEFINITIONS):
THOSE CHEMICALS OR SUBSTANCES THAT ARE PHYSICAL HAZARDS OR HEALTH HAZARDS AS DEFINED AND CLASSIFIED IN THIS SECTION AND THE CALIFORNIA FIRE CODE, WHETHER THE MATERIALS ARE IN USABLE OR WASTE CONDITION.

HEATH HAZARD (CBC 2019-CFC 2019-SECTION 202 GENERAL DEFINITIONS):
A CLASSIFICATION OF A CHEMICAL FOR WHICH THERE IS STATISTICALLY SIGNIFICANT EVIDENCE THAT ACUTE OR CHRONIC HEALTH EFFECTS ARE CAPABLE OF OCCURRING IN EXPOSED PERSONS. THE TERM "HEALTH HAZARD" INCLUDES CHEMICALS THAT ARE TOXIC OR HIGHLY TOXIC, AND CORROSIVE.

PHYSICAL HAZARD (CBC 2019-CFC 2019-SECTION 202 GENERAL DEFINITIONS):
A CHEMICAL FOR WHICH THERE IS EVIDENCE THAT IS A COMBUSTIBLE LIQUID, CRYOGENIC FLUID, EXPLOSIVE, FLAMMABLE (SOLID, LIQUID, OR GAS), ORGANIC PEROXIDE (SOLID OR LIQUID), OXIDIZER (SOLID OR LIQUID), OXIDIZING GAS, PYROPHORIC (SOLID, LIQUID, OR GAS), UNSTABLE (REACTIVE) MATERIAL (SOLID, LIQUID, OR GAS), OR WATER REACTIVE MATERIAL (SOLID OR LIQUID).

BATTERY NOTES

3

NEW BATTERY RACK

BATTERY TYPE	AMP HOUR RATING/STRING	DIMENSIONS (WxDxH)	WEIGHT	TOTAL # OF BATTERIES
GS "PYL12V185FT"	185AH	4.9"x21.9"x12.5"	133.8 lbs	16
				16

185AH BATTERY SPECIFICATIONS

PYL12V185FT 12V 185Ah-8Hr Rev. 10-22-2012

- **Float Charge Voltage: 13.65V +/- 0.15V**
- **Temperature Compensation: The recommended compensation factor is -3mV/°C/cell. The standard center point for temperature compensation is 25°C.**
- **Internal Resistance: Approximately 3.5 mΩ measured with 1kHz AC bridge**
- **Terminal Torque: 90 in.lbs. (13mm, top); 43.5 in.lbs. (10mm, front)**

GS Battery (U.S.A.), Inc.
1150 Northmeadow Parkway, Suite 110
Roswell, GA 30076
800-472-2879
www.gsbattery.com

ISO 9001 Certified International Certification (1) ISO 9001, TS16949 (2) UL approval, Code 1MH12970

GS PYL12V185FT 12V 185Ah-8Hr

Proven in the real world, the Pyl Series of telecom batteries provides security and long life in extreme climates where other VRLA batteries just don't survive. The Pyl technology utilizes proprietary lead alloys and active material additives. The Pyl Series is the most cost effective battery solution over the total life cycle and for initial installation in your network.

- **Primary lead for Long Life**
- **UL94 V-0 flame retardant case**
- **High temperature, long life design**
- **AGM and spill-proof construction**
- **Harnesses/connecting bars available**
- **No maintenance required**
- **10+ years design life**
- **GR-4228 compliant**
- **UL recognized**
- **ABS plastic case for durability**

SPECIFICATIONS

* Maximum Charge Current is 25% of the 8 Hr. Rate

Nominal Voltage (V)	Rated Capacity Rate in Ah - 8 Hr	Ambient Temperature		Outer Dimensions						Weight		Terminal		
		Charge / Discharge	Storage	L	W	H	TH	kg	lbs.					
12	185 Ah	-15 to 50°C (5 to 122°F)	-15 to 45°C (5 to 113°F)	556	21.9	125	4.9	317	12.5	317	12.5	60.7	133.8	Front-M8 Bolt

Amperes to Final voltage: 1.75V per cell @ 25°C (77°F)

DISCHARGE TIME (Hr)										
2	3	4	5	6	7	8	9	10	12	20
71.2	52.0	41.3	34.4	30.0	26.0	23.1	21.0	19.3	17.7	10.2

Watts to Final voltage: 1.75V per cell @ 25°C (77°F)

DISCHARGE TIME (Hr)										
2	3	4	5	6	7	8	9	10	12	20
829	609	487	407	351	315	275	250	232	215	123

AT&T
1452 EDINGER AVE.
TUSTIN, CALIFORNIA 92780

smartlink
3300 IRVINE AVENUE, SUITE 300
NEWPORT BEACH, CA 92660
TEL: (949) 861-2201
FAX: (949) 468-0931

CASA INDUSTRIES
4430 E. MIRALOMA AVE. SUITE D
ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
1	03/09/23	PLANNING COMMENTS
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4	07/20/22	SECTOR 'C' FRP SCREEN REDESIGN
5	11/09/21	REVISED PER UPDATED BDM
6	02/17/21	REVISED PER UPDATED BDM
7	12/02/20	PLAN CHECK
8	06/19/20	100% CONSTRUCTION DRAWINGS
9	05/27/20	90% CONSTRUCTION DRAWINGS

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CLU1270 (CLLO1270)
VN0004-01 TWIN DOLPHIN HOTEL
590 MORRO AVENUE
MORRO BAY, CA 93442
ROOFTOP (INDOOR)

SHEET TITLE
BATTERY SPECIFICATIONS

SHEET NUMBER
GN-2

1

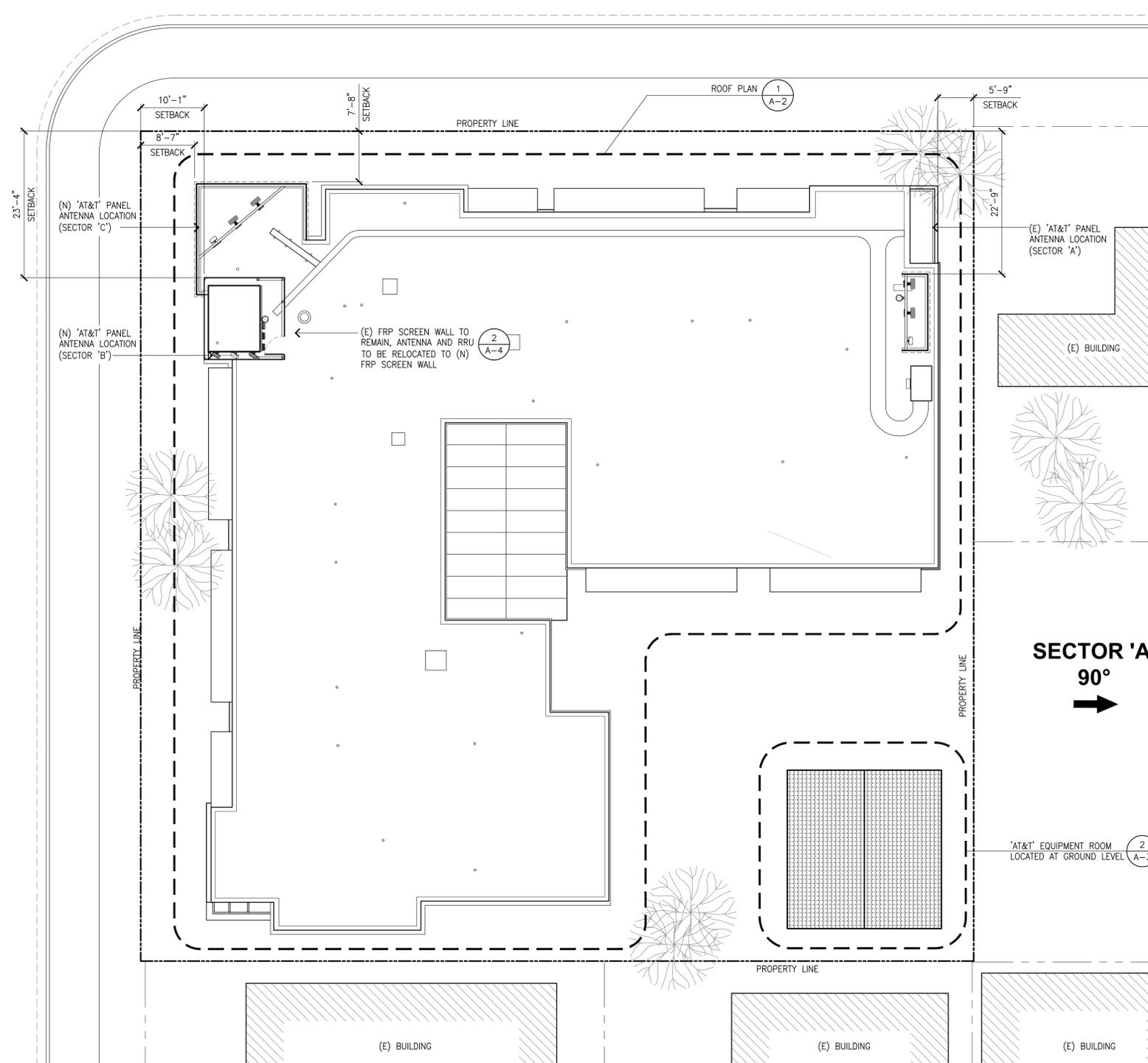
SECTOR 'C'
320°

MARINA STREET

MORRO AVENUE

SECTOR 'B'
210°

SECTOR 'A'
90°



NOTE:
THESE DRAWINGS HAVE BEEN CREATED BY INFORMATION GATHERED AT THE SITE, (E) AS-BUILTS PROVIDED BY AT&T AND WITHOUT A SURVEY.

SITE PLAN

SCALE: 1"=10'-0"

5' 10' 20'

1



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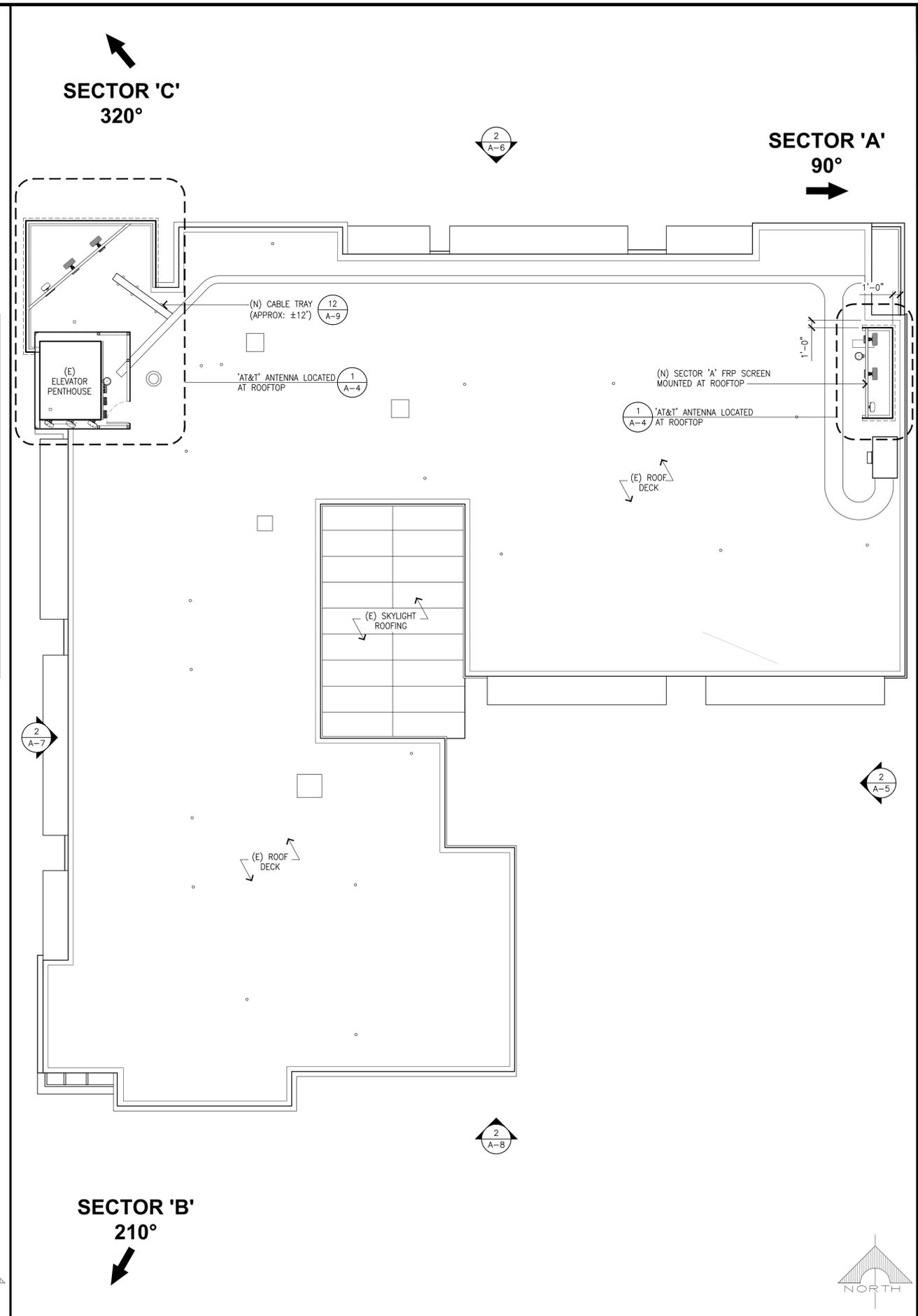
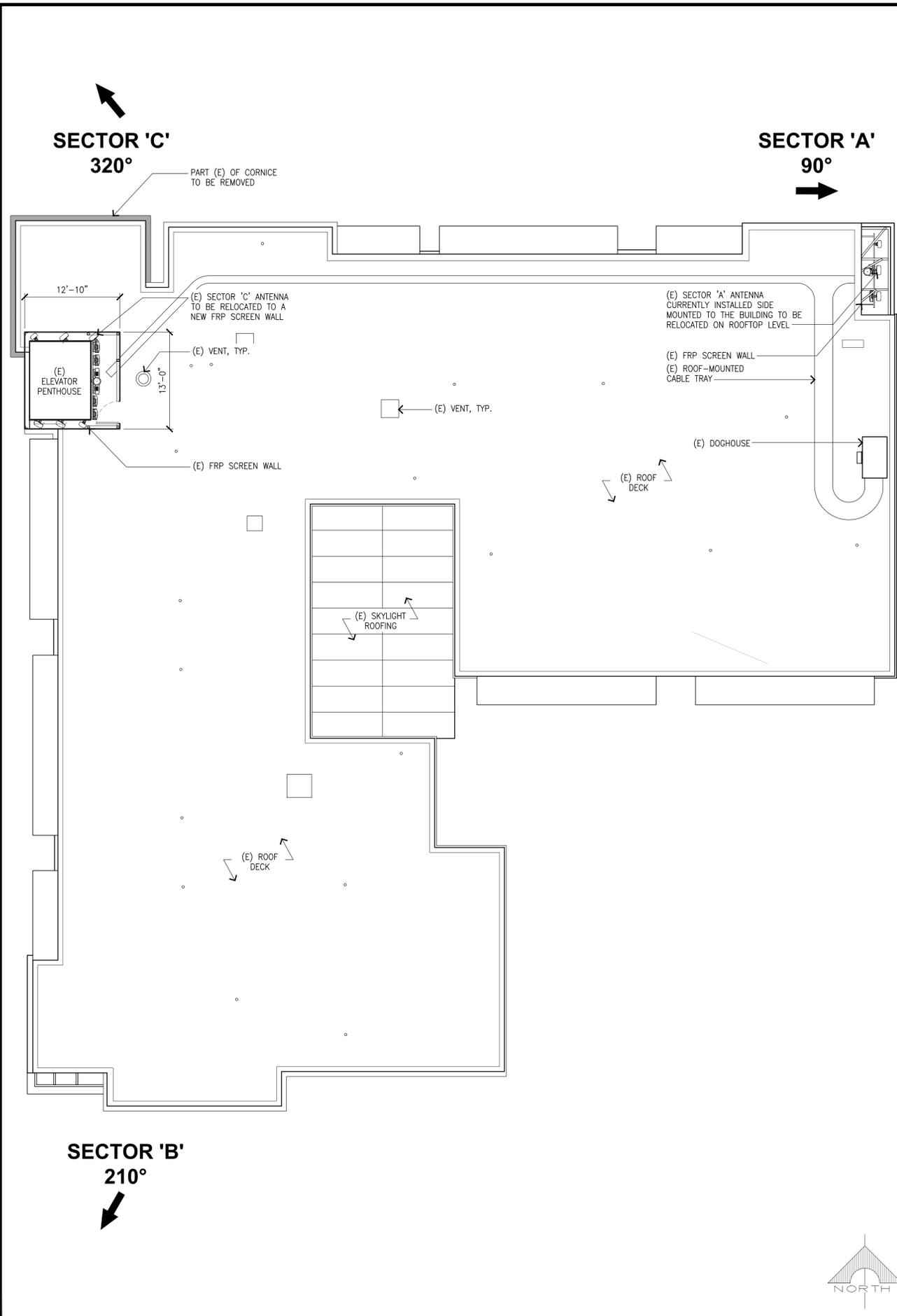


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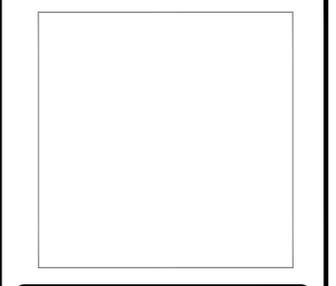
SHEET TITLE
SITE PLAN

SHEET NUMBER
A-1

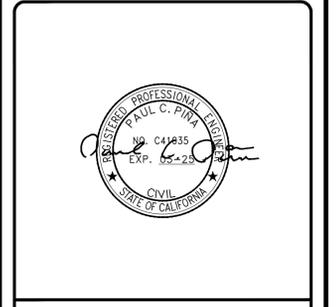


(E) ROOF PLAN SCALE: 1/8"=1'-0" 1

(N) ROOF PLAN SCALE: 1/8"=1'-0" 1



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ROOFTOP (INDOOR)

SHEET TITLE
ROOF PLAN

SHEET NUMBER
A-2

EXISTING PANEL ANTENNA SCHEDULE						
SECTOR	MANUFACTURER	MODEL NO.	SIZE	AZIMUTH	RAD CENTER	
A	A1	KATHREIN	800-10767K	4'	90°	22'-0"
	A2	KATHREIN	800-10767K	4'	90°	22'-0"
	A3	POWERWAVE	RA21.7770.00	4'	90°	22'-0"
B	B1	KATHREIN	800-10767K	4'	210°	28'-0"
	B2	KATHREIN	800-10767K	4'	210°	28'-0"
	B3	POWERWAVE	RA21.7770.00	4'	210°	28'-0"
C	C1	KATHREIN	800-10767K	4'	320°	28'-0"
	C2	KATHREIN	800-10767K	4'	320°	28'-0"
	C3	POWERWAVE	RA21.7770.00	4'	320°	28'-0"

PANEL ANTENNA COUNT = 9

FINAL PANEL ANTENNA SCHEDULE						
SECTOR	MANUFACTURER	MODEL NO.	SIZE	AZIMUTH	RAD CENTER	
A	A1	KATHREIN	800-10767K	4'	90°	28'-11"
	A2	COMMSCOPE	NNHH-65A-R4	4'	90°	28'-11"
	A3	COMMSCOPE	NNHH-65A-R4	4'	90°	28'-11"
B	B1	KATHREIN	840-370964K	4'	210°	28'-11"
	B2	KATHREIN	800-10767K	4'	210°	28'-11"
	B3	KATHREIN	840-370964K	4'	210°	28'-11"
C	C1	COMMSCOPE	NNHH-65A-R4	4'	320°	28'-11"
	C2	COMMSCOPE	NNHH-65A-R4	4'	320°	28'-11"
	C3	KATHREIN	800-10767K	4'	320°	28'-11"

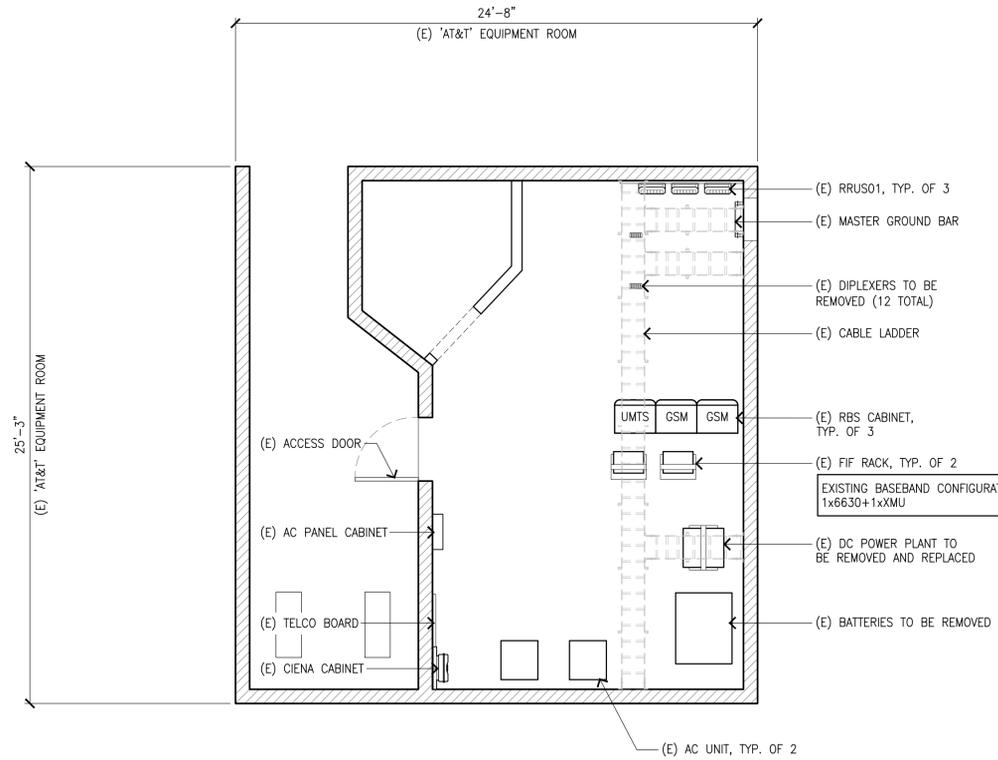
PANEL ANTENNA COUNT = 9

EXISTING REMOTE RADIO UNIT SCHEDULE									
SECTOR	700 (BC)			2100 (AWS)			1900 (PCS)		
	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION
A	A1	1	RRUS-11	UP	1	RRUS-11 W/A2 RADIO	UP		
	A2							1	RRUS-12 B2 WITH A2 RADIO B25
B	B1	1	RRUS-11	UP	1	RRUS-11 W/A2 RADIO	UP		
	B2							1	RRUS-12 B2 WITH A2 RADIO B25
C	C1	1	RRUS-11	UP	1	RRUS-11 W/A2 RADIO	UP		
	C2							1	RRUS-12 B2 WITH A2 RADIO B25

LTE REMOTE RADIO UNIT COUNT = 9

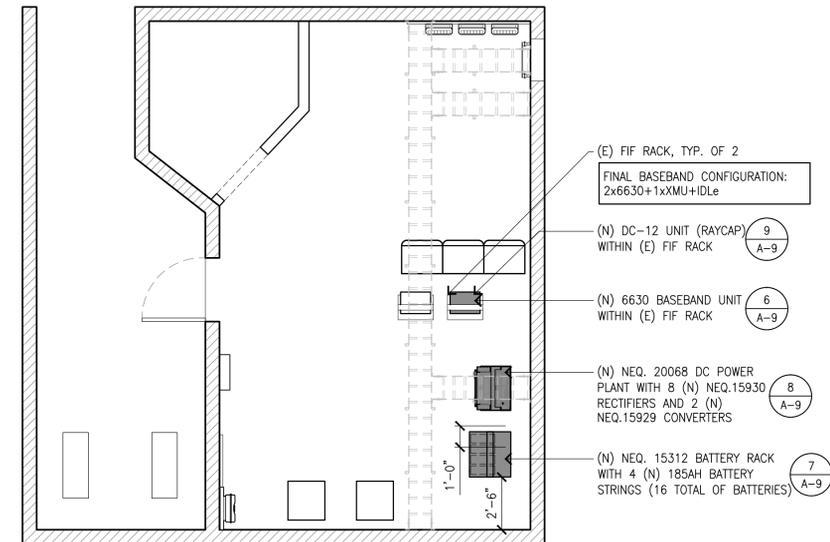
FINAL REMOTE RADIO UNIT SCHEDULE									
SECTOR	NEW REMOTE RADIO UNITS								
	700BC/850 (5G)			2100/1900 (4T4R AWS/PCS)			700 (D/E)		
	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION	QTY.	MODEL	LOCATION
A	A1								
	A2						1	RRUS-4478 B14	UP
	A3	1	RRUS-4449 B5+B12	UP	1	RRUS-8843 B2/B66A (SHARED)	UP		
B	B1	1	RRUS-4449 B5+B12	UP	1	RRUS-8843 B2/B66A (SHARED)	UP		
	B2								
	B3						1	RRUS-4478 B14	UP
C	C1	1	RRUS-4449 B5+B12	UP	1	RRUS-8843 B2/B66A (SHARED)	UP		
	C2								
	C3						1	RRUS-4478 B14	UP

LTE REMOTE RADIO UNIT COUNT = 9



(E) EQUIPMENT PLAN

SCALE: 1/4"=1'-0" 1



(N) EQUIPMENT PLAN

SCALE: 1/4"=1'-0" 2



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590 MORRO AVENUE
MORRO BAY, CA 93442
ROOFTOP (INDOOR)

SHEET TITLE
EQUIPMENT PLAN AND
ANTENNA/RRU SCHEDULE

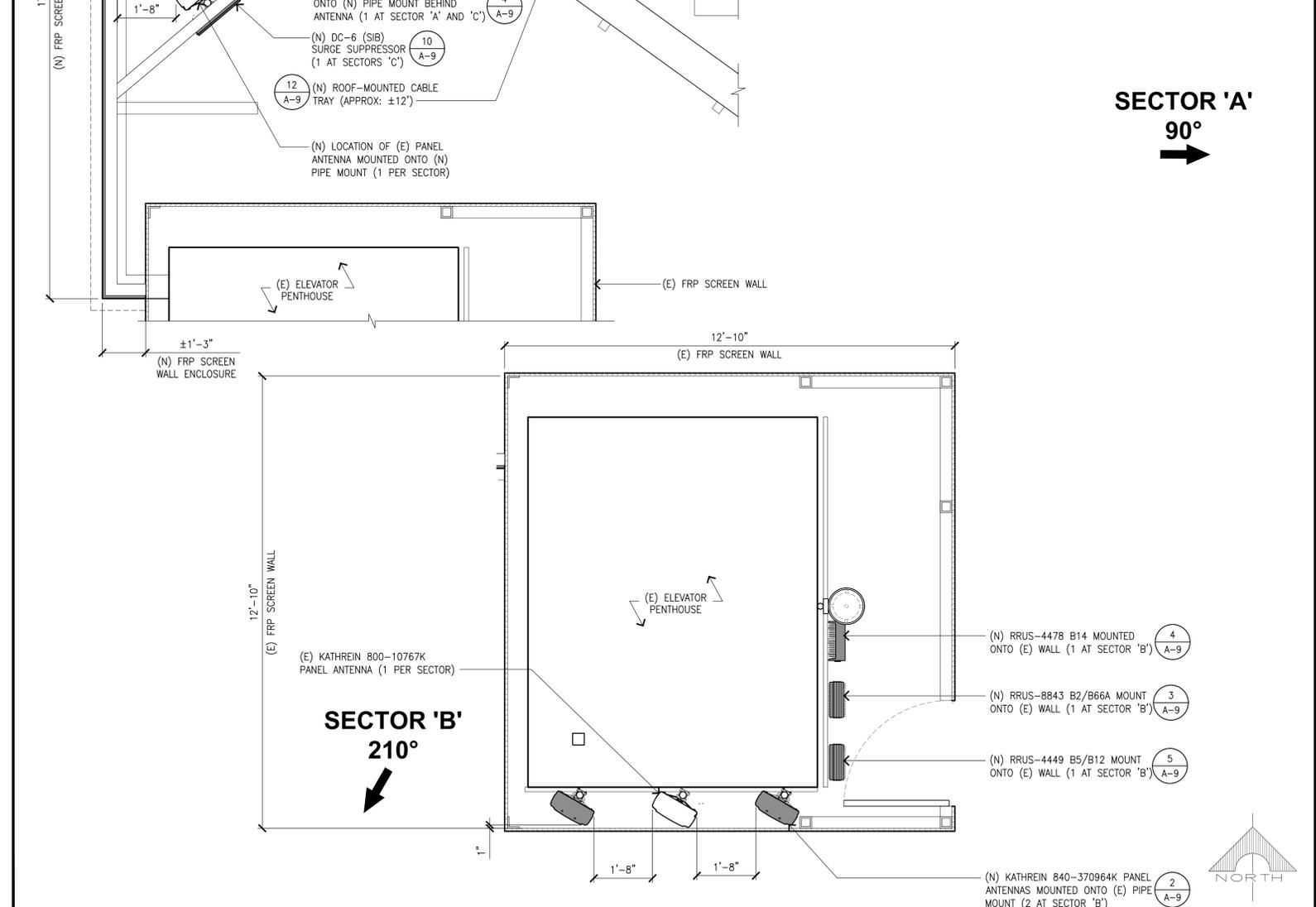
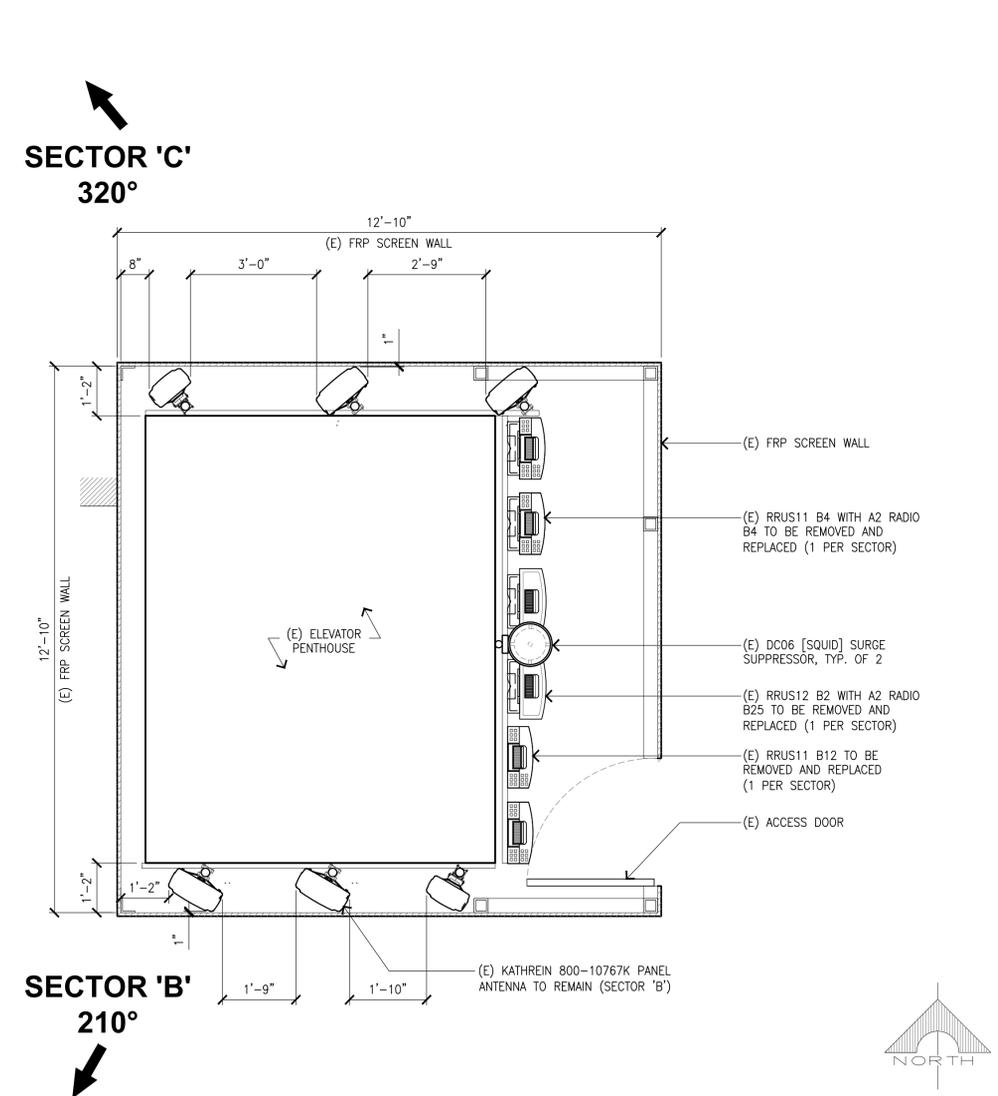
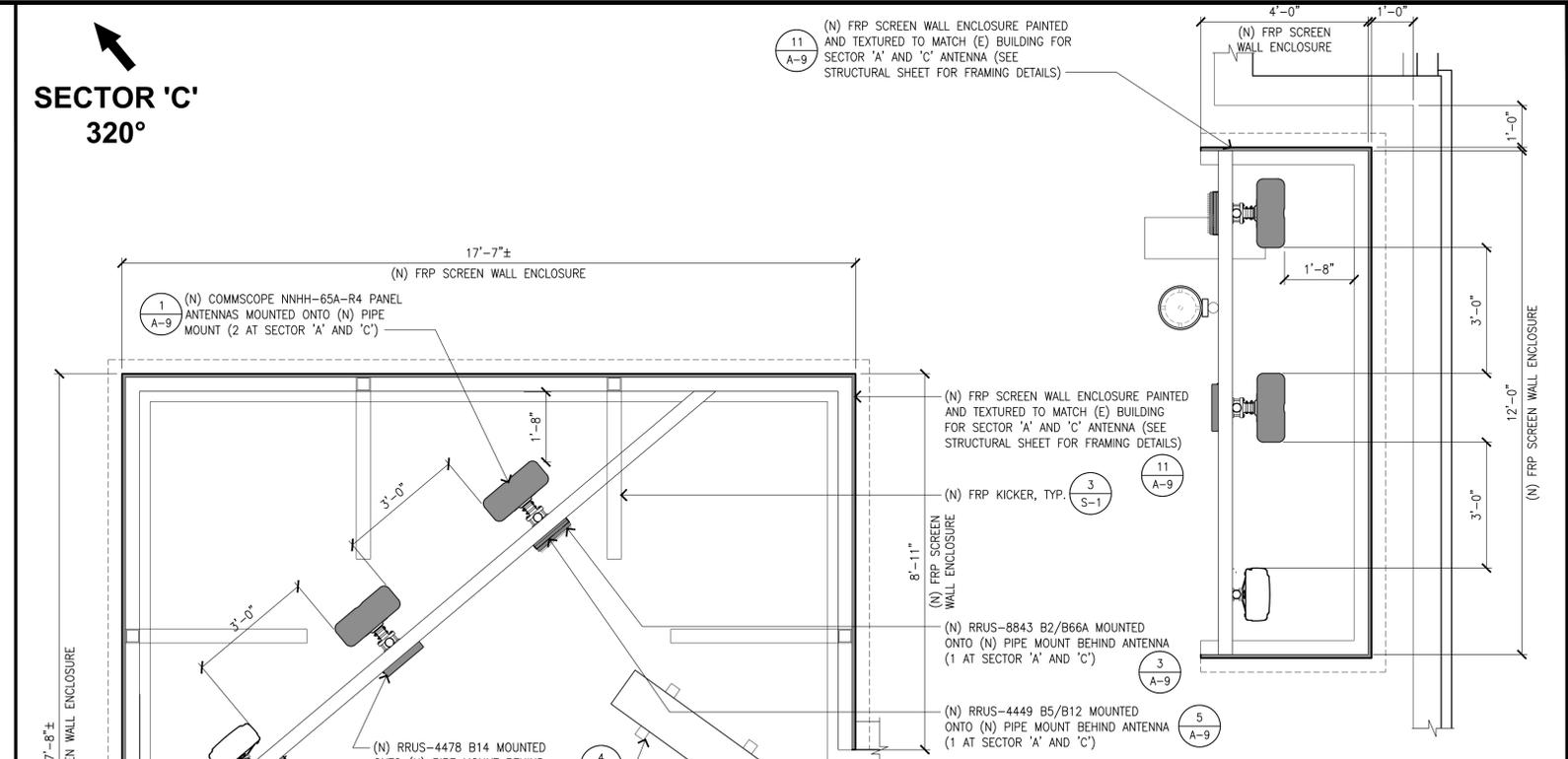
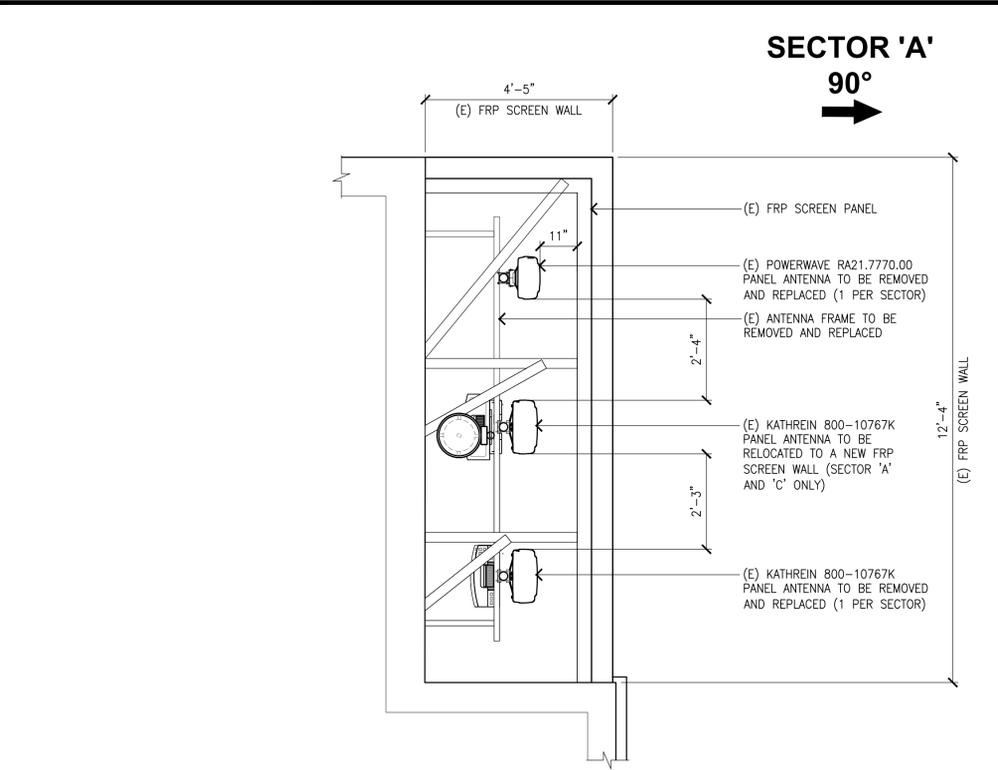
SHEET NUMBER
A-3

ANTENNA/RRUS SCHEDULE

3

(N) EQUIPMENT PLAN

SCALE: 1/4"=1'-0" 2



(E) ANTENNA PLAN
SCALE: 3/8"=1'-0" **2**

(N) ANTENNA PLAN
SCALE: 3/8"=1'-0" **1**

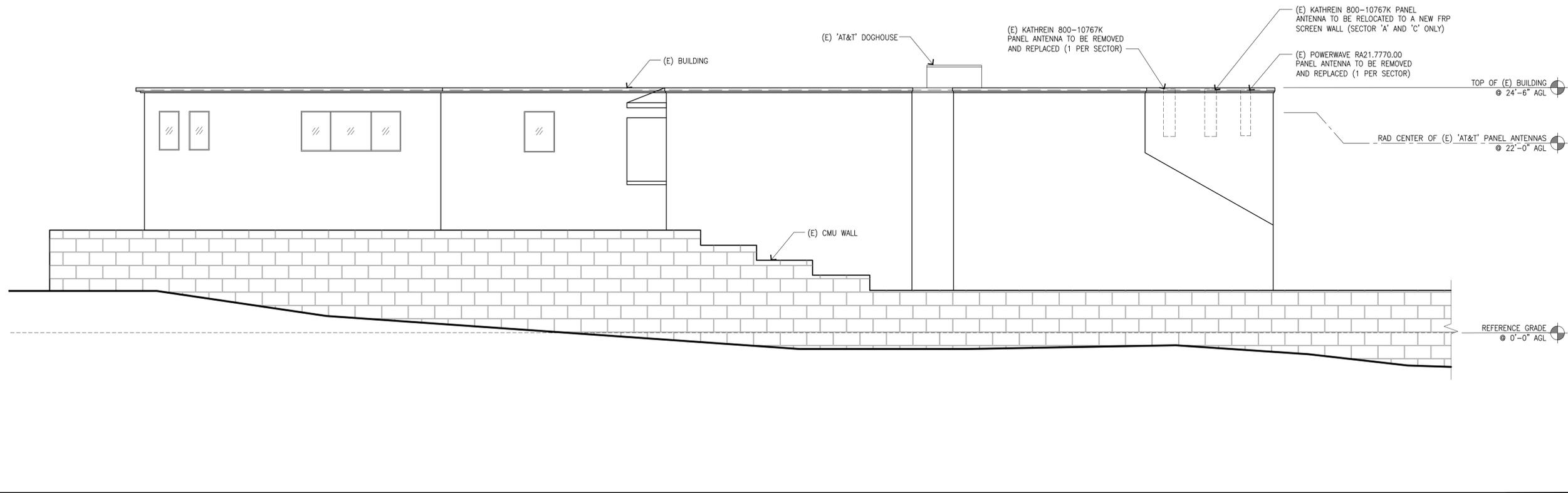
REV	DATE	DESCRIPTION
△	03/09/23	PLANNING COMMENTS
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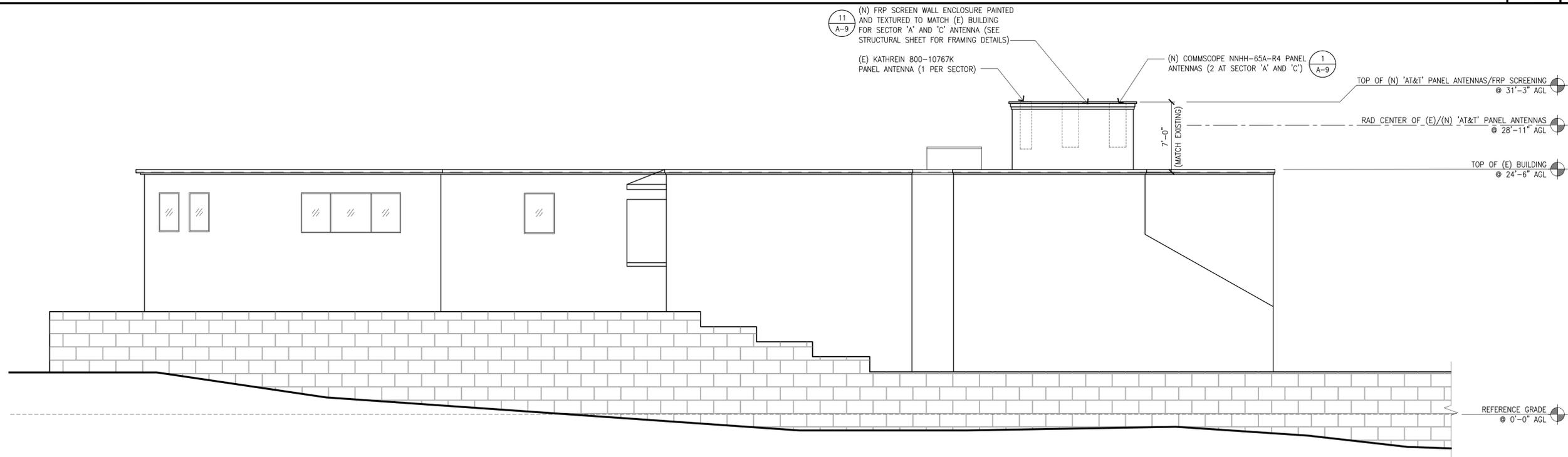
SHEET TITLE
ANTENNA PLAN

SHEET NUMBER
A-4



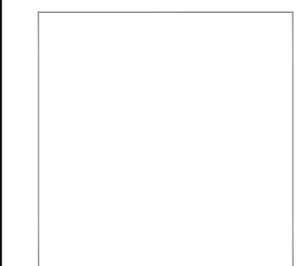
(E) EAST ELEVATION

SCALE: 1
3/16"=1'-0"

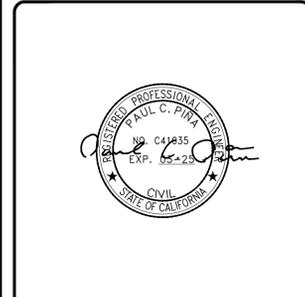


(N) EAST ELEVATION

SCALE: 2
3/16"=1'-0"



REV	DATE	DESCRIPTION
11	03/09/23	PLANNING COMMENTS
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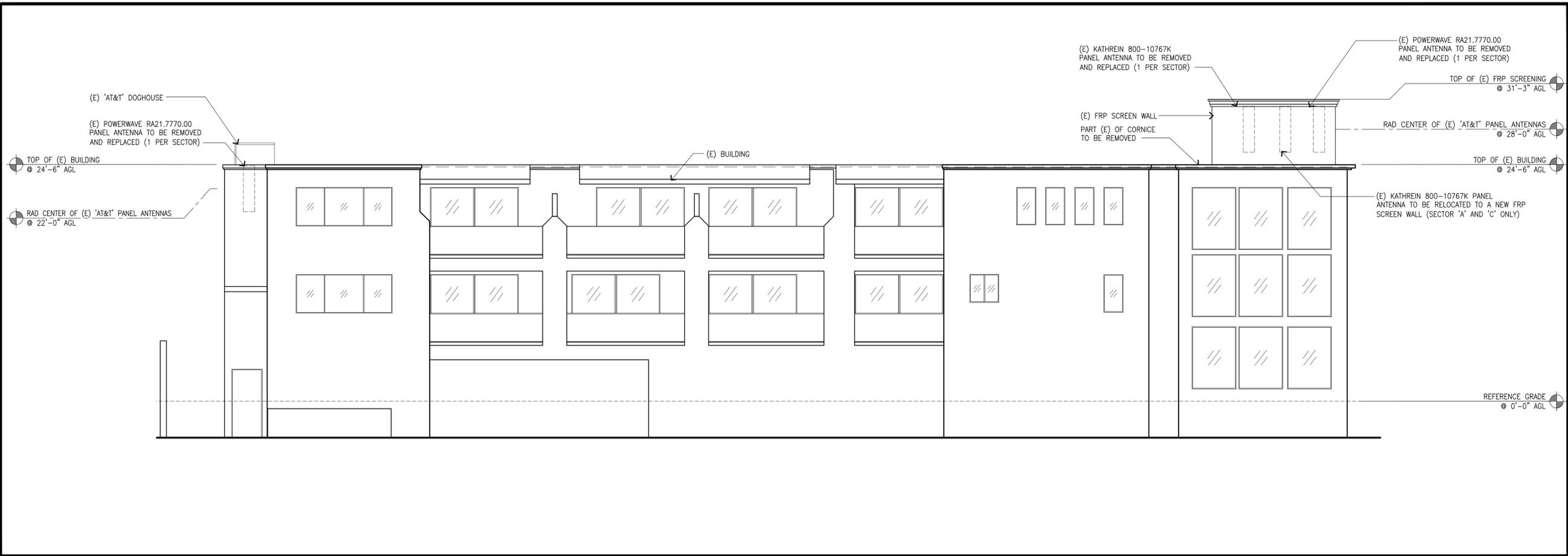


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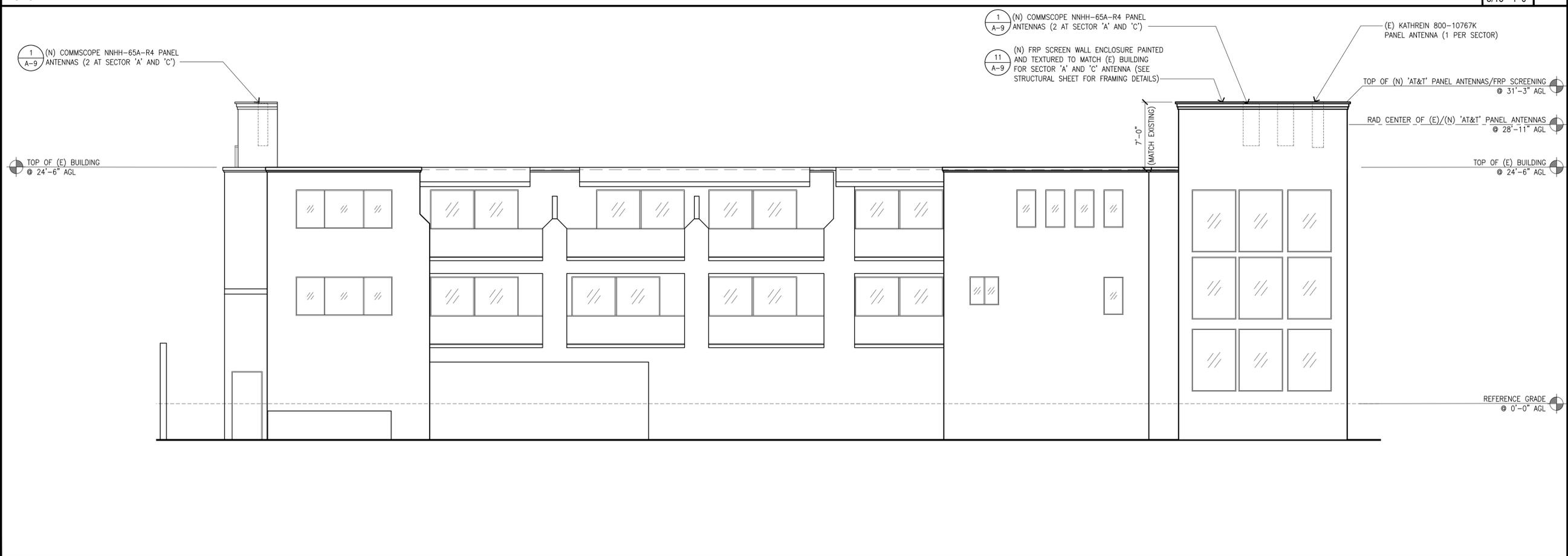
SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-5



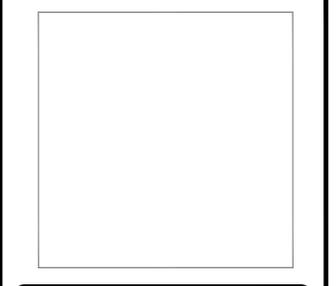
(E) NORTH ELEVATION

SCALE: 1
3/16"=1'-0"

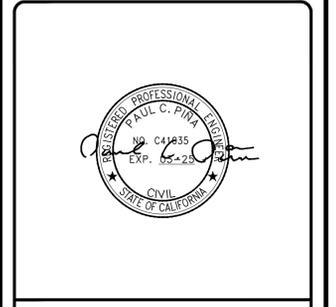


(N) NORTH ELEVATION

SCALE: 2
3/16"=1'-0"



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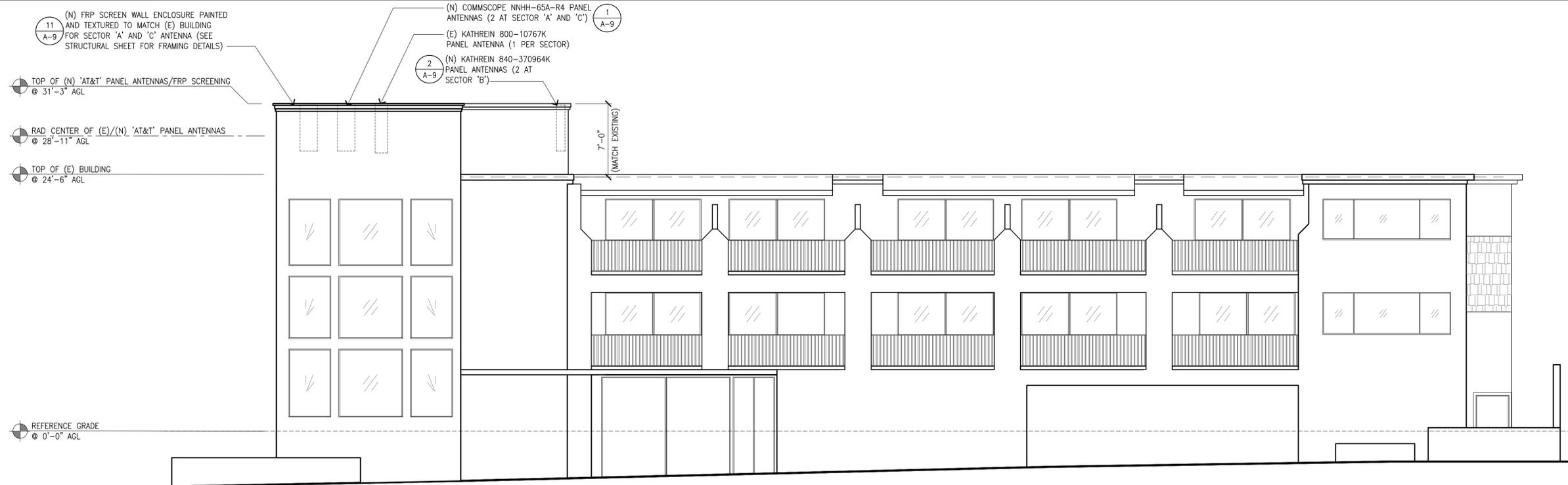
SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-6



(E) WEST ELEVATION

SCALE:
3/16"=1'-0" **1**



(N) WEST ELEVATION

SCALE:
3/16"=1'-0" **2**



REV	DATE	DESCRIPTION
1	03/09/23	PLANNING COMMENTS
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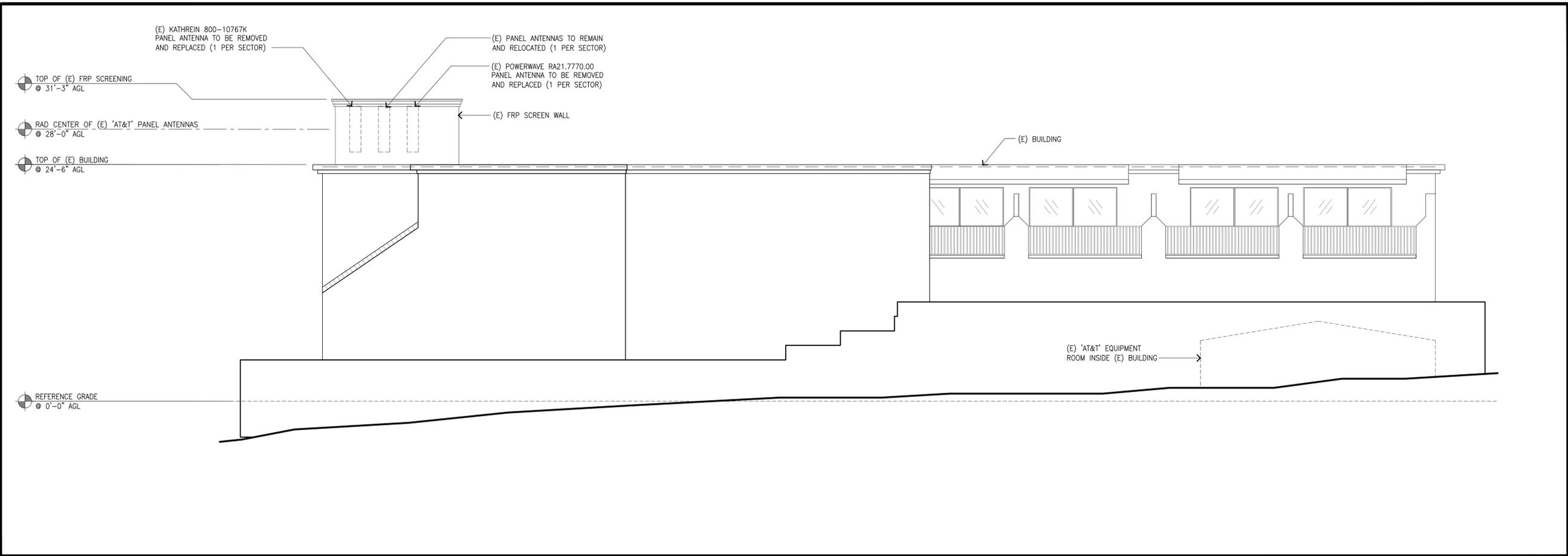


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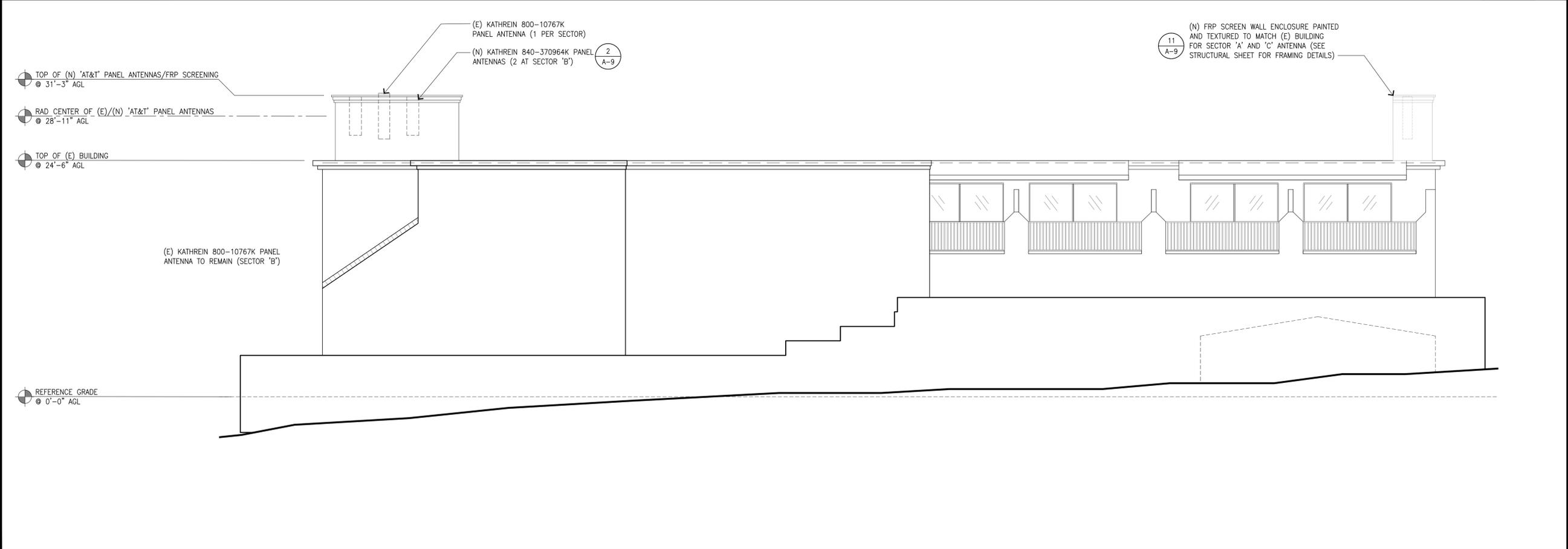
CLU1270 (CLLO1270)
VN0004-01 TWIN DOLPHIN HOTEL
590 MORRO AVENUE
MORRO BAY, CA 93442
ROOFTOP (INDOOR)

SHEET TITLE
ELEVATIONS

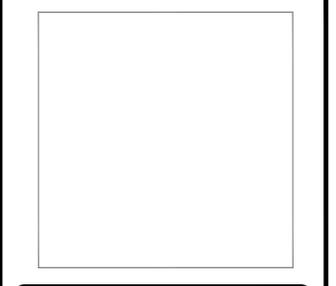
SHEET NUMBER
A-7



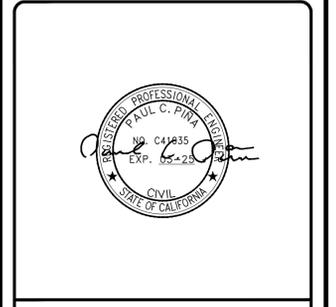
(E) SOUTH ELEVATION SCALE: 3/16"=1'-0" 1



(N) SOUTH ELEVATION SCALE: 3/16"=1'-0" 2



REV	DATE	DESCRIPTION
6	01/10/23	PLANNING COMMENTS
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0	06/19/20	100% CONSTRUCTION DRAWINGS
A	05/27/20	90% CONSTRUCTION DRAWINGS



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CLU1270 (CLLO1270)
VN0004-01 TWIN DOLPHIN HOTEL
590 MORRO AVENUE
MORRO BAY, CA 93442
ROOFTOP (INDOOR)

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-8

MANUFACTURER: RAYCAP
 MODEL NUMBER: DC6-48-60-18
 FIBER CONNECTION METHOD: LC-LC SINGLE MODE
 DIMENSIONS, HxDxW: 6.37"x20.06"x18.17"
 WEIGHT: 43.5 lbs

SIDE VIEW FRONT VIEW TOP VIEW

ORACLE NUMBER: NEQ. 15312
 WEIGHT (W/O BATTERIES): 600 lbs (3,260 FULLY LOADED)
 DIMENSIONS, HxDxW: 84" x 25.8" x 22.5"
 BATTERY STRINGS: NEW (4) 48V 185AH BATTERY STRINGS (16 BATTERIES)

SIDE VIEW FRONT VIEW

MANUFACTURER: ERICSSON
 MODEL NO.: RRUS 4478 B14
 DIMENSIONS, HxDxW: 15"x7.3"x13.2"
 WEIGHT: 59.4 lbs

SIDE VIEW FRONT VIEW TOP VIEW

MANUFACTURER: COMMSCOPE
 MODEL NO.: NNH4-65A-R4
 DIMENSIONS, HxDxW: 55.1"x19.6"x7.8"
 WEIGHT: 73.9 lbs

PLAN FRONT VIEW SIDE VIEW

REV	DATE	DESCRIPTION
6	03/09/23	PLANNING COMMENTS
5	01/10/23	PLANNING COMMENTS
4	10/13/22	REVISED PER CM'S COMMENT
3	07/20/22	SECTOR 'C' FRP SCREEN REDESIGN
2	11/09/21	REVISED PER UPDATED BDM
1	02/17/21	REVISED PER UPDATED BDM
0	12/02/20	PLAN CHECK
A	06/19/20	100% CONSTRUCTION DRAWINGS
A	05/27/20	90% CONSTRUCTION DRAWINGS

DC-6 (SIB) SURGE SUPPRESSOR 10

STEALTH OR PLYWOOD PANEL
 PANEL SEAM
 SENERGY BASE COAT
 SENERGY FIBER-REINFORCED REINFORCING MESH EMBEDDED IN BASE COAT
 SENERGY BASE COAT
 SENERGY TINTED PRIMER
 SENERGY FINISH COAT
 SENERGY 4" SELF ADHERING MESH OVER ALL SEAMS
 TYPICAL WALL
 2 1/4"
 1/4"
 1/2"
 1/4" REVEAL
 EIFS "V" CONTROL JOINT

BATTERY RACK SPECIFICATIONS 7

ORACLE NUMBER: NEQ.20068
 WEIGHT: 620 lbs
 WEIGHT (WITH BATTERIES): 2225.6 lbs
 DIMENSIONS, HxDxW: 84" x 25.8" x 23"

CONDUIT KNOCKOUTS LOCATED ON TOP, LEFT AND RIGHT SIDES
 AC INPUT CONNECTOR COVER
 NETSURE CONTROL UNIT
 (6) NEQ.15930 RECTIFIERS -48V, 40A/2000W, 120/208/240 VAC, SINGLE PHASE INPUT
 RECTIFIERS OR CONVERTER MOUNTING POSITIONS
 (2) NEQ.15929 CONVERTERS -48VDC TO +24VDC, 62.5A/1500W
 (24) RECTIFIER SLOTS
 MODULE MOUNTING SHELF(S)

RRUS SPECIFICATIONS 4

MANUFACTURER: ERICSSON
 MODEL: RRUS 4449 B5+B12
 DIMENSIONS, WxDxH: 13.1"x9.3"x14.9"
 WEIGHT (W/O MOUNTING HARDWARE): 30 Kg/66 lbs

FRONT VIEW SIDE VIEW BOTTOM VIEW

ANTENNA SPECIFICATIONS 1

MANUFACTURER: KATHREIN
 MODEL NO.: 840-370964K
 DIMENSIONS, HxDxW: 47.7"x14.9"x6.5"
 WEIGHT: 52.9 lbs.

FRONT VIEW SIDE VIEW

EIFS FINISH DETAIL 11

ANTENNA CABLE, TYP.
 18"W. MAX. x 4"H. STEEL CABLE TRAY W/ 16 GA. GALV. STL. COVER. SECURE TO SLEEPER W/ 1/2"x1 1/2" LAG SCREW, TYP.
 4"x4" PVC SLEEPER AT 4'-0" O.C., TYP.
 6" WIDE x 3/8" THK. TRAFFIC WALK PAD ADHERED UNDER SLEEPER
 ROOF DECK
 VARIES WITH CABLE TRAY WIDTH + 6"
 STEEL CABLE TRAY SYSTEM BY B-LINE SERIES 248 LADDER TYPE MATERIAL - HOT DIPPED GALVANIZED, 18 GA. RUNG SPACING - 12" O.C. WITH 16 GA. STEEL COVERS

NETSURE 7100 DC POWER SYSTEM 8

MANUFACTURER: RAYCAP
 MODEL: DC12-48-60-RM
 DIMENSIONS, WxDxH: (16.6"x15.5"x3.3")
 TOTAL WEIGHT: ± 20 lbs

TOP VIEW ISOMETRIC VIEW FRONT VIEW SIDE VIEW

RRUS SPECIFICATIONS 5

MANUFACTURER: ERICSSON
 MODEL: BASEBAND 6630

-48V DC POWER CONNECTION
 RRU CONNECTORS
 FRONT VIEW

ANTENNA SPECIFICATIONS 2

MANUFACTURER: ERICSSON
 MODEL: RRUS 8843 B2/B66A
 DIMENSIONS, WxDxH: 14.96"x13.19"x11.1"
 WEIGHT (W/O MOUNTING HARDWARE): 75 lbs

FRONT VIEW SIDE VIEW BOTTOM VIEW

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CLU1270 (CLLO1270)
 VN0004-01 TWIN DOLPHIN HOTEL
 590 MORRO AVENUE
 MORRO BAY, CA 93442
 ROOFTOP (INDOOR)

SHEET TITLE
EQUIPMENT SPECS

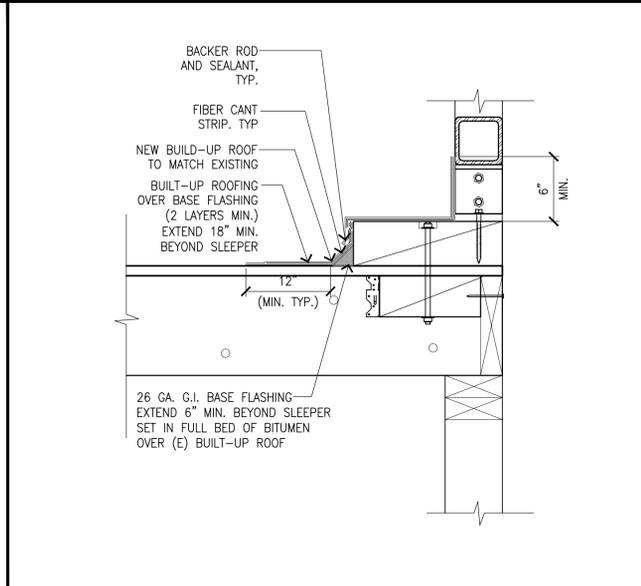
SHEET NUMBER
A-9

CABLE TRAY DETAIL 12

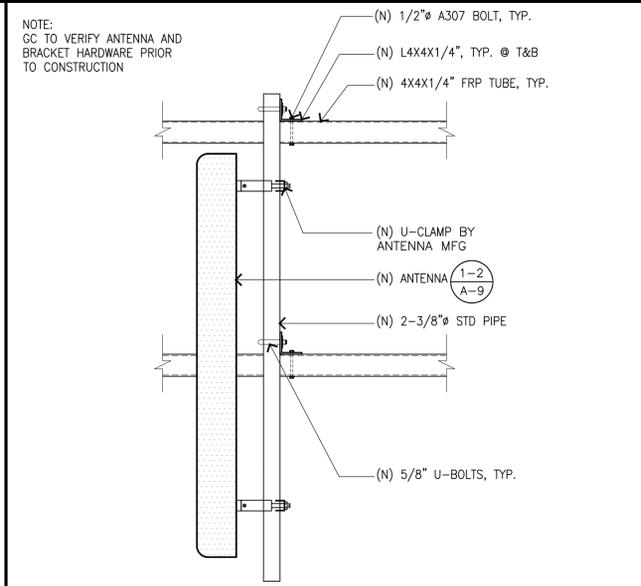
DC-12 SPECIFICATIONS 9

BASEBAND 6630 SPECIFICATIONS 6

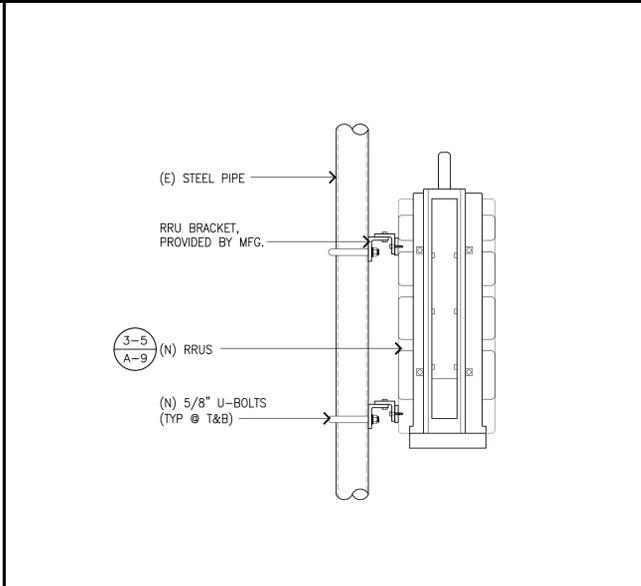
RRUS SPECIFICATIONS 3



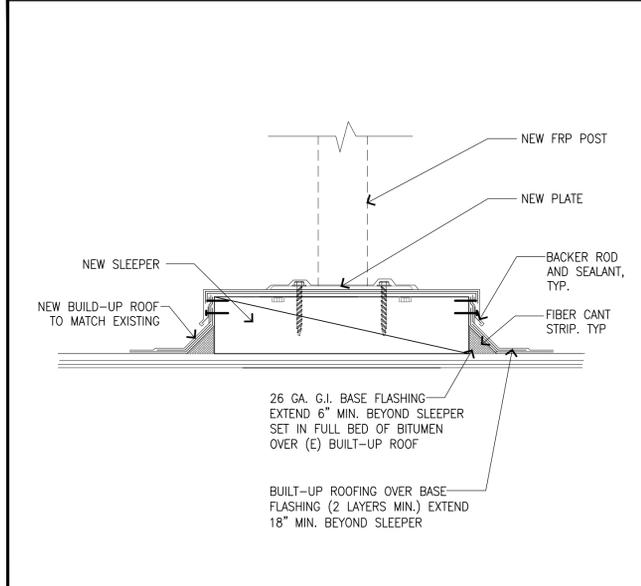
FLASHING DETAIL @ NEW FRP POST (BUILDING EDGE) 7



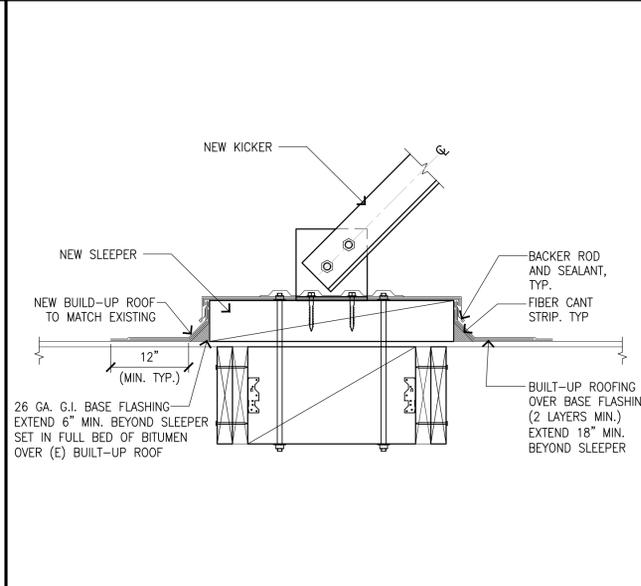
ANTENNA MOUNT 4



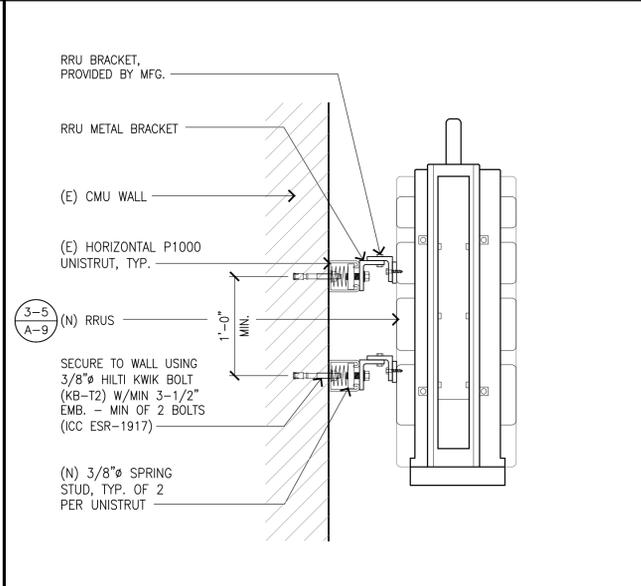
RRU MOUNT @ PIPE 1



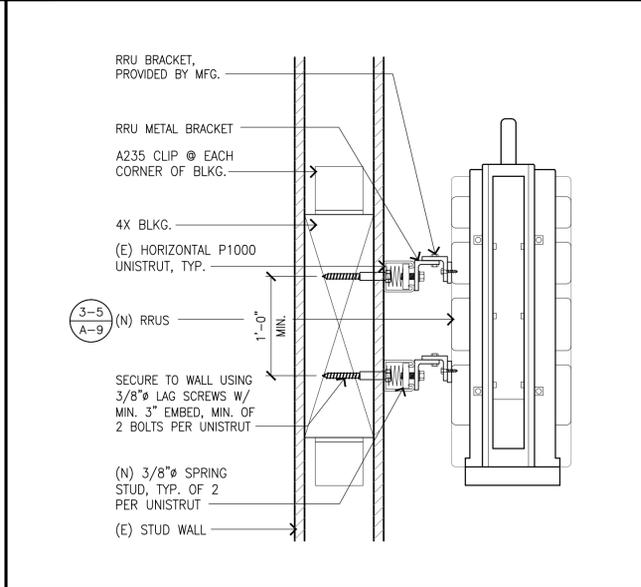
FLASHING DETAIL @ NEW FRP POST 8



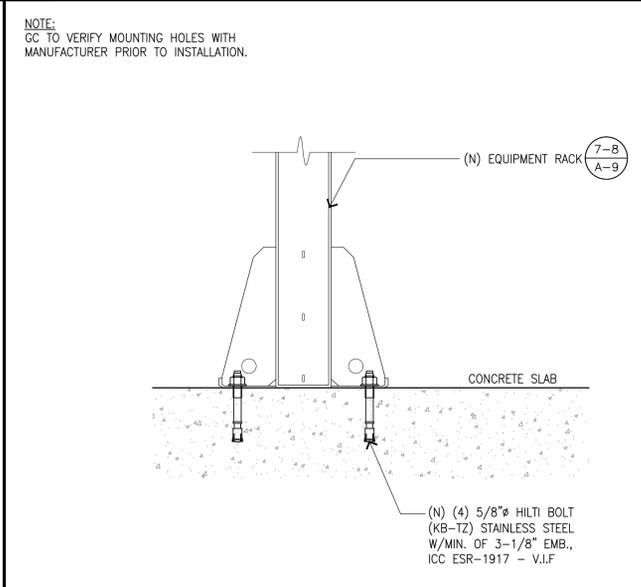
FLASHING DETAIL @ NEW FRP KICKER 5



RRU MOUNT @ MASONRY WALL 2



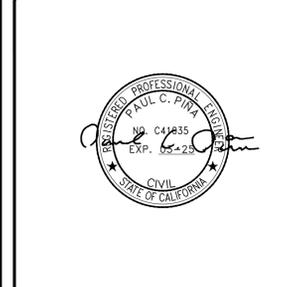
RRU MOUNT @ METAL STUD WALL 6



RACK ANCHORAGE 3



REV	DATE	DESCRIPTION
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0	12/02/20	PLAN CHECK
0	06/19/20	100% CONSTRUCTION DRAWINGS
0	05/27/20	90% CONSTRUCTION DRAWINGS

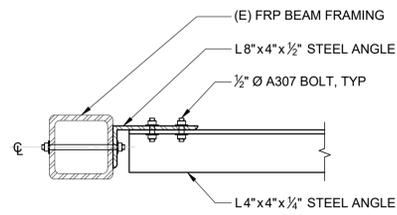


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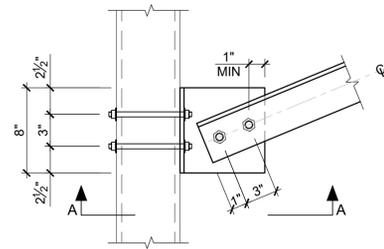
CLU1270 (CLLO1270)
 VN0004-01 TWIN DOLPHIN HOTEL
 590 MORRO AVENUE
 MORRO BAY, CA 93442
 ROOFTOP (INDOOR)

SHEET TITLE
DETAILS

SHEET NUMBER
A-10



SECTION 'A-A'

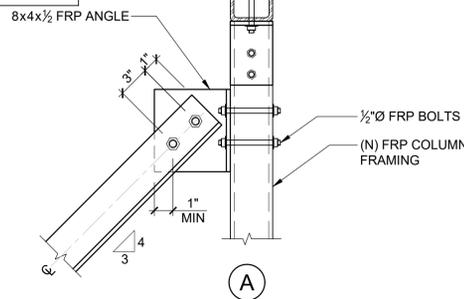


PLAN VIEW

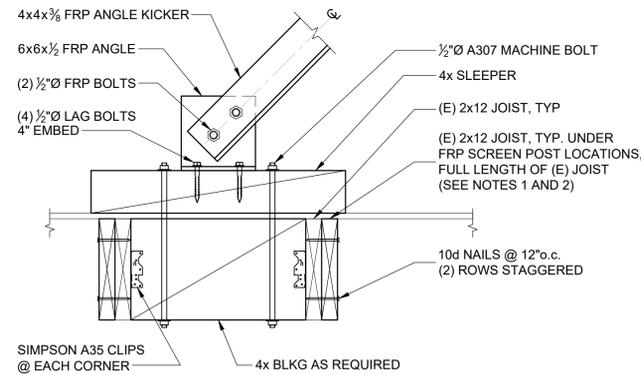
POST EXTENSION DETAIL

SCALE: 2

NOTE:
 1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE. ANY DISCREPANCIES SHALL BE RESOLVED WITH ARCH/ENGINEER PRIOR TO START OF CONSTRUCTION.
 2. IF (E) ROOF JOIST ORIENTATION IS ORTHOGONAL TO DETAILS 2C/- AND 2D/-, USE SIMILAR DETAILING FOR CONNECTIONS, BLOCKING AND JOIST SISTERING.



A

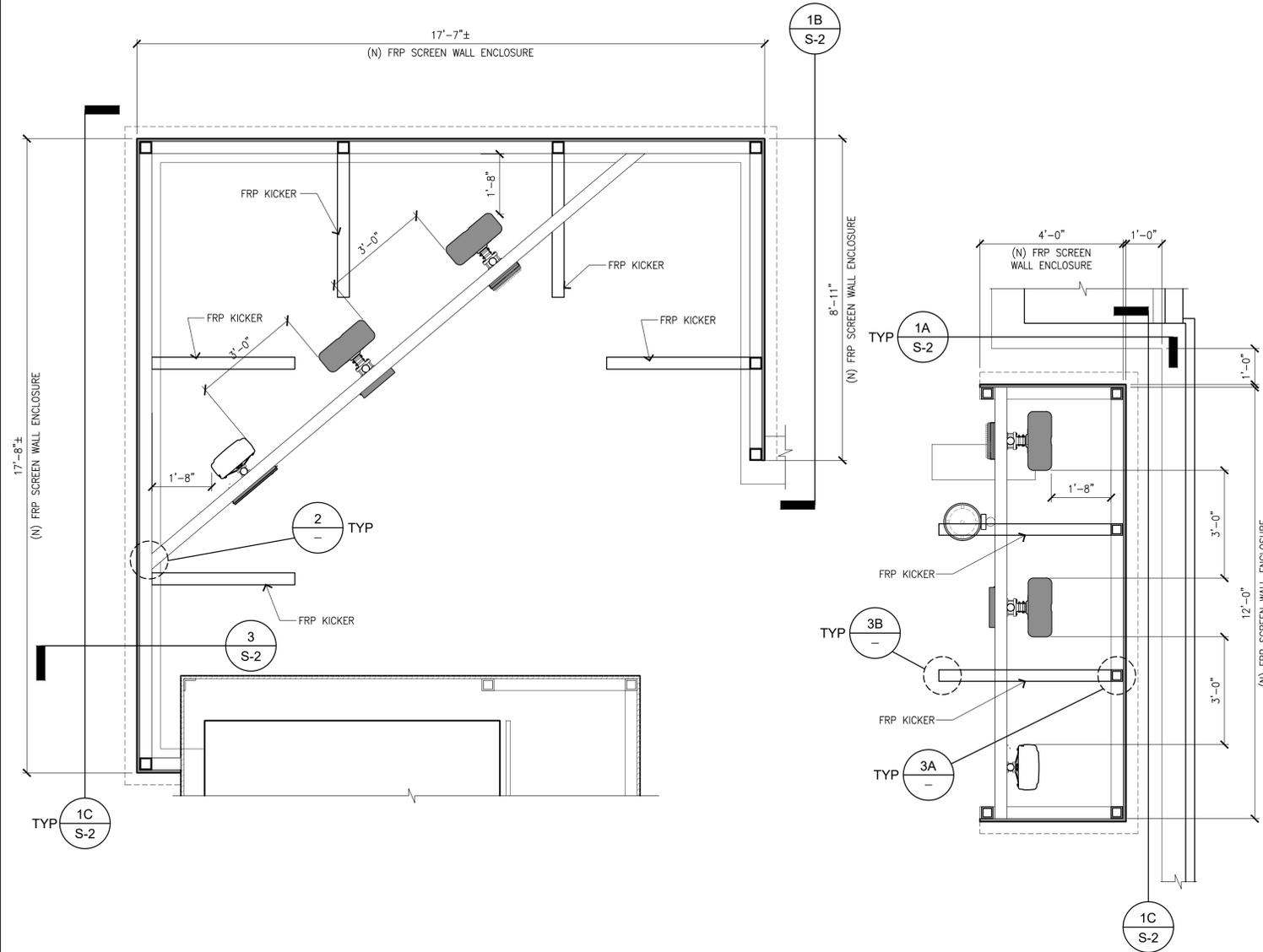


B

KICKER CONNECTIONS

SCALE: 3

SECTOR 'C'
320°



NOTE:
 THE DETAILS SHOULD COVER JOIST SIZE AND ORIENTATION ALTERNATIVES. OTHER INFORMATION MUST BE V.I.F.

SECTOR 'A'
90°



(N) ANTENNA PLAN

1

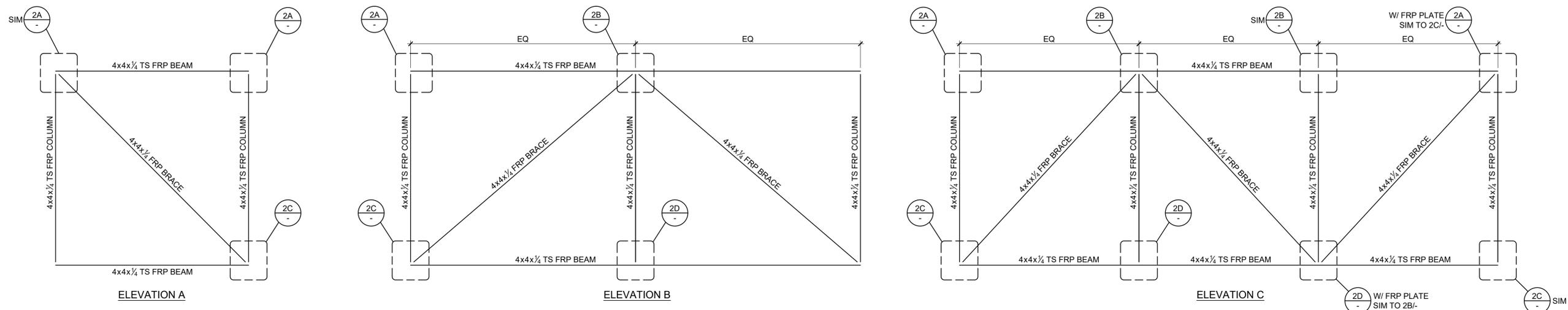
REV	DATE	DESCRIPTION
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0	06/19/20	100% CONSTRUCTION DRAWINGS
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 VN0004-01 TWIN DOLPHIN HOTEL
 590 MORRO AVENUE
 MORRO BAY, CA 93442
 ROOFTOP (INDOOR)

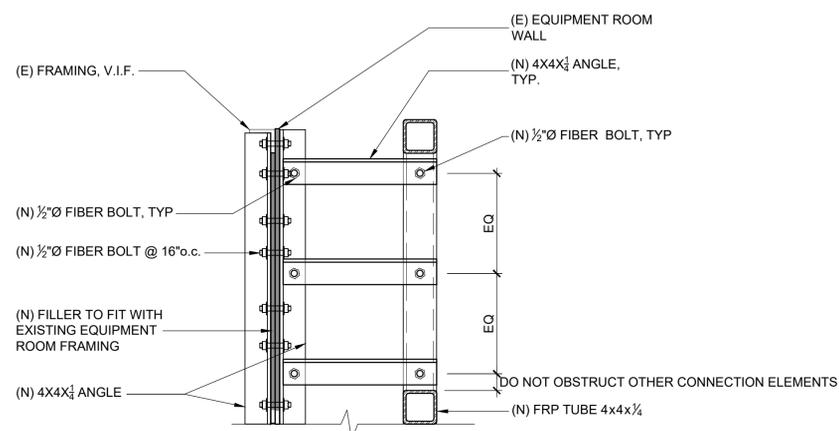
SHEET TITLE
 STRUCTURAL
 PLANS & DETAILS

SHEET NUMBER
 S-1



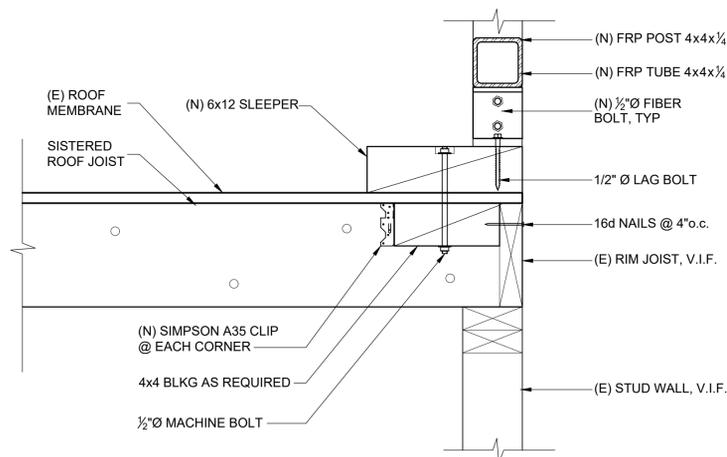
FRP SCREEN ELEVATIONS

SCALE: 1



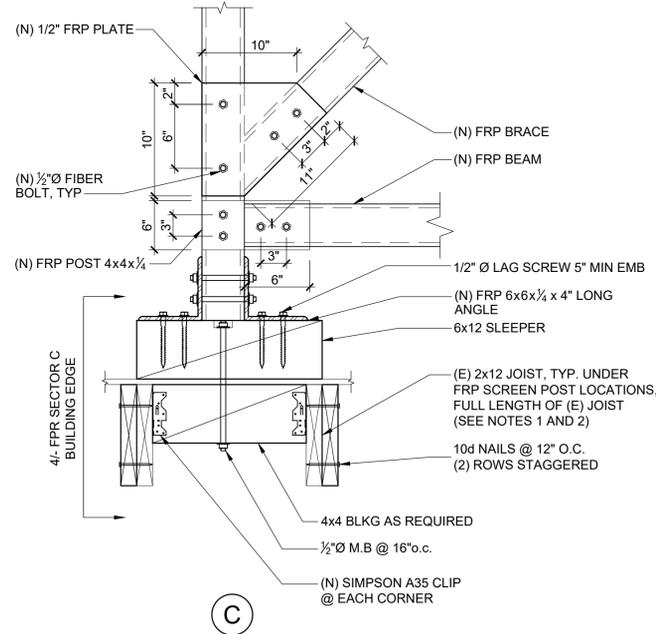
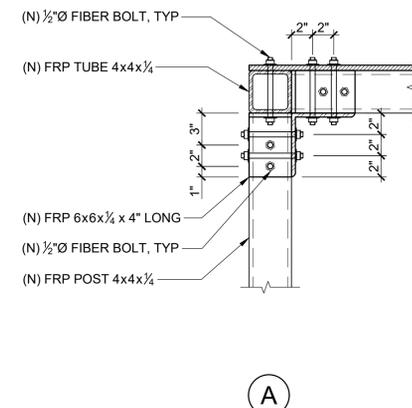
SECTION DETAILS

SCALE: 3



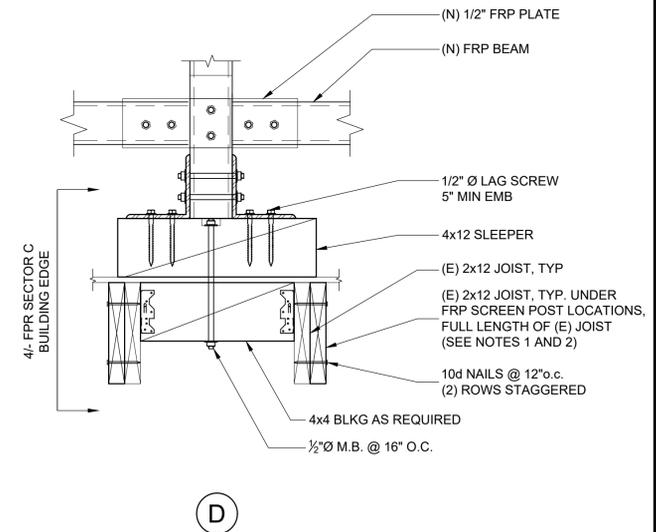
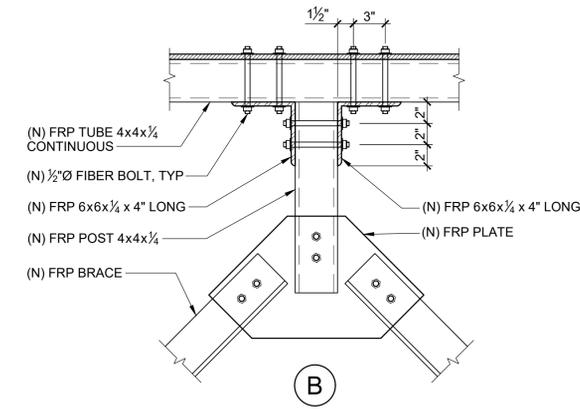
SECTION DETAILS

SCALE: 4



CONNECTION DETAILS

SCALE: 2



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 2. IF (E) ROOF JOIST ORIENTATION IS ORTHOGONAL TO DETAILS 2C/- AND 2D/-, USE SIMILAR DETAILING FOR CONNECTIONS, BLOCKING AND JOIST SISTERING.



3300 IRVINE AVENUE, SUITE 300
 NEWPORT BEACH, CA 92660
 TEL: (949) 861-2201
 FAX: (949) 468-0931



4430 E. MIRALOMA AVE. SUITE D
 ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
4	10/13/22	REVISED PER CM'S COMMENT
3	09/08/22	SECTOR 'C' FRP SCREEN REDESIGN
2	01/10/22	REVISION 2
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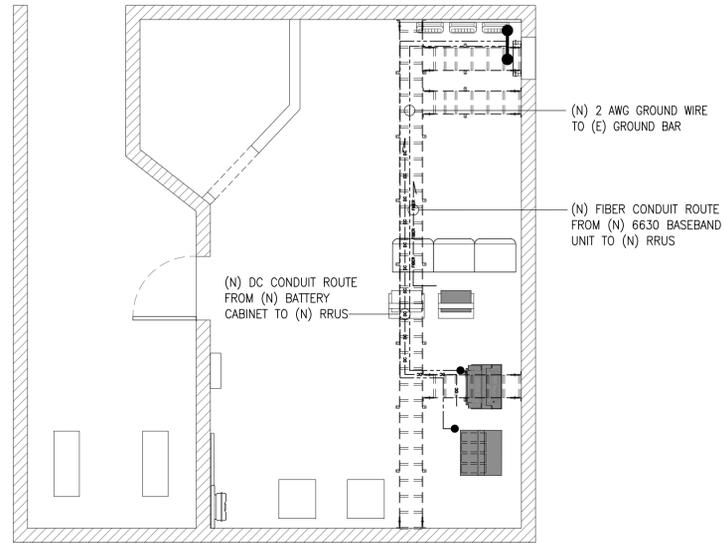


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CLU1270 (CLL01270)
 VN0004-01 TWIN DOLPHIN HOTEL
 590 MORRO AVENUE
 MORRO BAY, CA 93442
 ROOFTOP (INDOOR)

SHEET TITLE
**STRUCTURAL
 PLANS & DETAILS**

SHEET NUMBER
S-2



EQUIPMENT ELECTRICAL PLAN

SCALE: **1/4"=1'-0"** **5**

NOTES

- CONDUIT ROUTING AND GROUNDING ARE DIAGRAMMATICALLY SHOWN THE ON THE PLANS AND ARE ONLY APPROXIMATIONS. THE EXACT LOCATION AND ROUTING SHALL BE FIELD VERIFIED. FOR GROUNDING DETAILS SEE SHEET E-2.
- ALL ELECTRICAL EQUIPMENT AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED LAMICOID NAMEPLATES, INDICATING THE CIRCUITS ORIGINATION AND ALL EQUIPMENT TERMINATIONS.
- CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES, COAX CABLES, AND RET CONTROL CABLES. CABLE STRAIN-RELIEFS, CABLE SUPPORTS SHALL BE APPROVED FOR THE PURPOSE. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- SUBCONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS, AND CIRCUIT CONDUCTORS, AS REQUIRED FOR A COMPLETED SYSTEM AND SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL RESTORE ANY TRENCHED AREAS TO ORIGINAL CONDITIONS BY EITHER SEEDING OR SODDING GRASS AREAS, OR REPLACING ASPHALT OR CONCRETE AREAS TO ORIGINAL CROSS SECTION.
- ALL UNDERGROUND CONDUITS SHALL BE SCHEDULE 80 PVC, EXCEPT THAT ELBOWS AND RISERS SHALL BE RMC. ALL UNDERGROUND ELBOWS SHALL BE SWEEPING BENDS (2" MINIMUM REQUIRED).
- THE SUBCONTRACTOR SHALL SUPPLY AT&T WITH RESULTS FROM PRE-CONSTRUCTION AND POST-CONSTRUCTION OHM TESTING (GROUNDING) RESULTS.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A "FALL OF POTENTIAL" TEST ON THE PROPOSED SUPPLEMENTAL GROUNDING FIELD PRIOR TO FINAL CONNECTION OF THE GROUNDING SYSTEM TO EQUIPMENT. THE TEST SHALL BE PERFORMED BY A QUALIFIED AND CERTIFIED TESTING AGENT. PROVIDE INDEPENDENT TEST RESULTS TO THE PROJECT MANAGER FOR REVIEW. THE GROUNDING SYSTEM RESISTANCE TO EARTH GROUNDING SHALL NOT EXCEED FIVE (5) OHMS. IF THE GROUNDING TEST EXCEEDS THE MAXIMUM OF (5) OHMS, THE SUBCONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL GROUNDING RODS AND CONNECTIONS AS REQUIRED TO MEET THE (5) OHMS' MAXIMUM.
- THE INSPECTOR HAVING JURISDICTION SHALL INSPECT ALL GROUNDING CONNECTIONS FOR TIGHTNESS. EXOTHERMIC WELDED CONNECTIONS SHALL BE APPROVED BEFORE BEING PERMANENTLY CONCEALED.
- SUBCONTRACTOR SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE PERFORMED BY QUALIFIED WIREMEN IN COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION.

SECTION "P" - SURGE PROTECTORS

- CABLE ENTRY PORTS (HATCH PLATES) (2 AWG)
- GENERATOR FRAMEWORK (IF AVAILABLE) (2 AWG)
- TELCO GROUND BAR (2 AWG)
- COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND (2 AWG)
- +24V POWER SUPPLY RETURN BAR (2 AWG)
- 48V POWER SUPPLY RETURN BAR (2 AWG)
- RECTIFIER FRAMES.
- COAX SUPPRESSION

SECTION "A" - SURGE ABSORBERS

- INTERIOR GROUND RING (2 AWG)
- EXTERNAL EARTH GROUND FIELD (BURIED GROUND RING) (2 AWG)
- METALLIC COLD WATER PIPE (IF AVAILABLE) (2 AWG)
- BUILDING STEEL (IF AVAILABLE) (2 AWG)

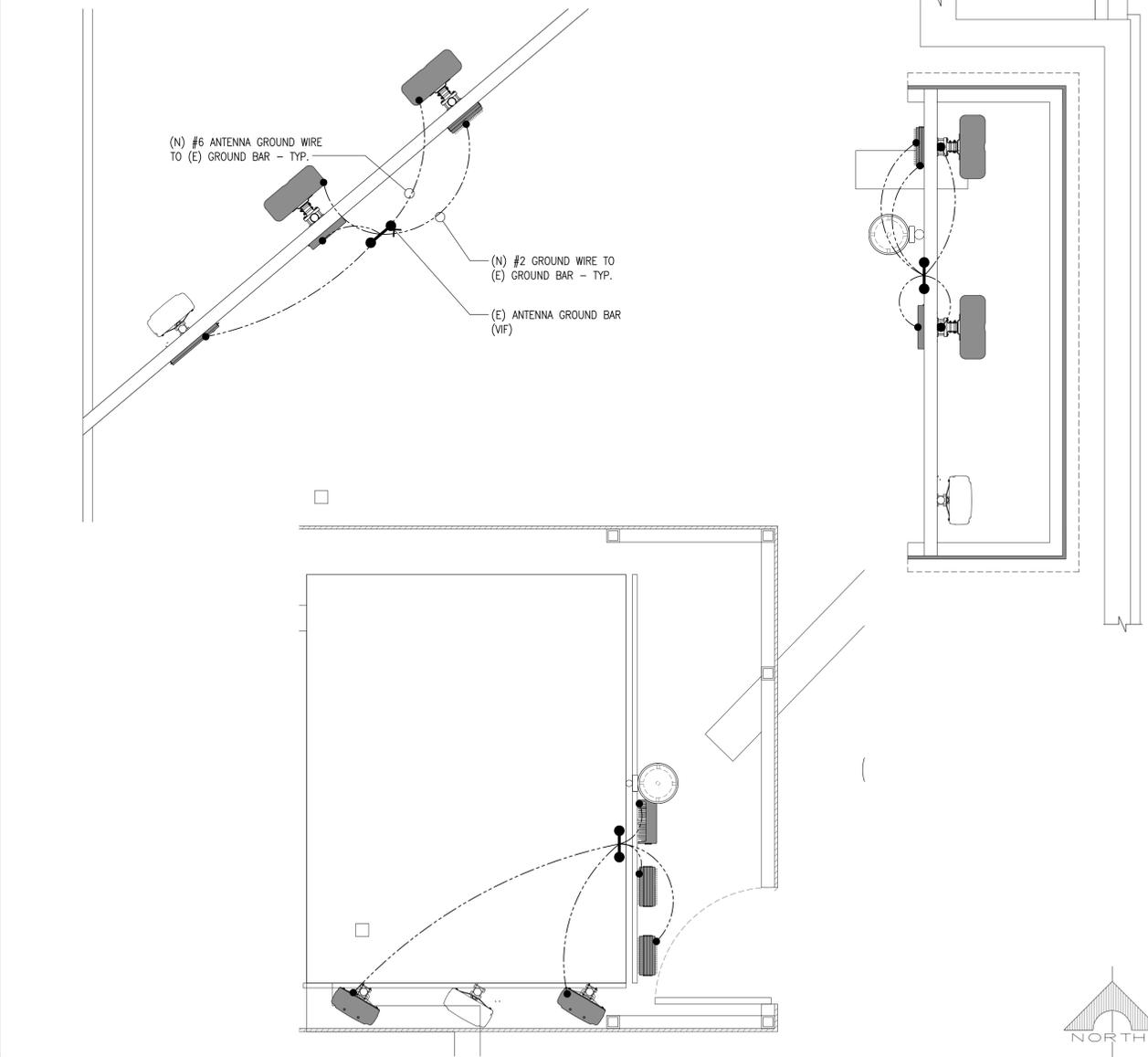
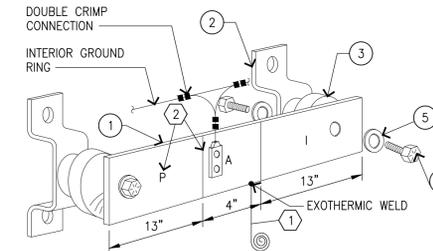
SECTION "I" - ISOLATED GROUND ZONE

- ALL COMMUNICATIONS EQUIPMENT FRAMES.
- ISOLATED GROUND BAR - IGB (2 AWG)

DETAIL NOTES:

- EXOTHERMICALLY WELD 2 AWG BARE TINNED SOLID COPPER CONDUCTOR TO GROUND BAR. ROUTE CONDUCTOR TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "I") WITH 1" HIGH LETTERS.

NEWTON INSTRUMENT COMPANY, INC. BUTNER, N.C. OR APPROVED EQUAL			
NO.	REQ.	PART NO.	DESCRIPTION
1	1	1/4"x4"x30"	SOLID GND. BAR
2	2	A-7056	WALL MTG. BRKT.
3	2	3061-4	INSULATORS
4	4	3012-1	5/8"-11x1" H.H.C.S.
5	4	3015-8	5/8" LOCKWASHER

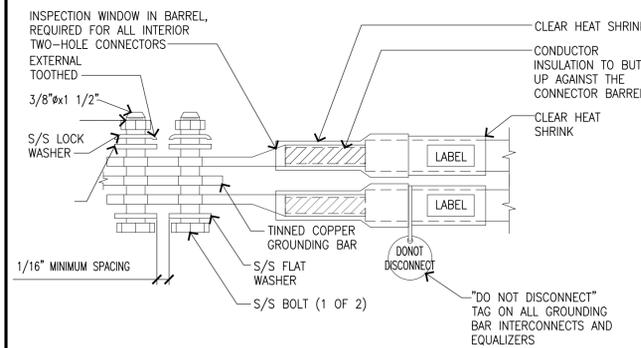


ANTENNA GROUNDING PLAN

SCALE: **3/8"=1'-0"** **6**

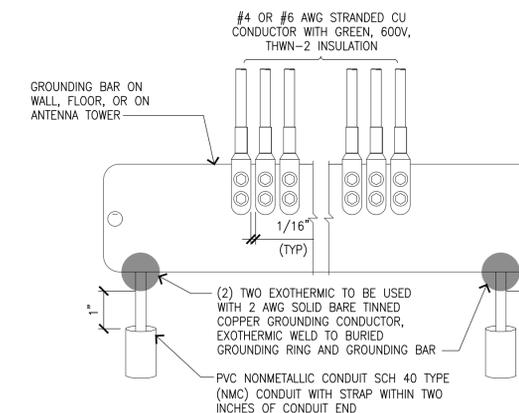
GROUNDING NOTES

3



GROUND BAR

1



INTERIOR TWO HOLE LUG

4

INSTL OF GRND CONDUCTOR

2



3300 IRVINE AVENUE, SUITE 300
NEWPORT BEACH, CA 92660
TEL: (949) 861-2201
FAX: (949) 468-0931



4430 E. MIRALOMA AVE. SUITE D
ANAHEIM, CALIFORNIA 92807

REV	DATE	DESCRIPTION
6	03/09/23	PLANNING COMMENTS
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CLU1270 (CLO1270)
VN0004-01 TWIN DOLPHIN HOTEL
590 MORRO AVENUE
MORRO BAY, CA 93442
ROOFTOP (INDOOR)

SHEET TITLE
ELECTRICAL AND GROUNDING PLAN

SHEET NUMBER

E-1

From: [Thomas Scully](#)
To: [Cindy Jacinth](#)
Cc: [Nichole Garcia](#)
Subject: RE: MAJ22-001 - 590 Morro Avenue, Morro Bay, CA 93442 - CLU1270
Date: Friday, May 05, 2023 1:23:21 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[CSL01270 Justification Package 05 03 2023.pdf](#)

CAUTION: This is an external email. Please take care when clicking links or opening attachments.

Hi Cindy,

In response to the city's question of why AT&T needs to upgrade the existing facility, there is a "gap" in wireless coverage. Per the attached propagation maps, when comparing the existing coverage to the planned coverage, there is a noticeable increase in coverage that comes with these proposed modifications. AT&T is not proposing to add additional antennas on this project. The site will remain at 9 antennas. What AT&T will be deploying are additional frequencies in order to optimize the wireless facility and provide better coverage to its customers. Adding frequencies is like adding a lane of traffic on a freeway. It helps mitigate the flow of cellular traffic and reduce drop calls. This is important, not only for the change that we have seen over the last three years with more remote workers than ever before but also, more importantly, for emergency coverage purposes. This specific site will be equipped with First Net, which is AT&T's First Responder's Network. This network will provide first responders coverage for neighboring commercial businesses, hotels, and residents located in Morro Bay. In addition to first responders coverage, AT&T's cellular network provides coverage for everyday necessities, including Wi-Fi, cell phone service, security cameras, payment terminals, electronic parking meters, remote control appliances, and light switches.

Here is a list of the AT&T facilities in Morro Bay. There are a total of six facilities per AT&T's records, including this site:

AT&T Cell Sites in Morro Bay
2614 Adobe Road, Morro Bay, CA 93442
3030 Bear Ridge Road, Morro Bay, CA 93442
590 Morro Avenue, Morro Bay, CA 93442
2710 Nutmeg Avenue, Morro Bay, CA 93442
800 Quintana Road, Morro Bay, CA 93442
475 Radcliff Avenue, Morro Bay, CA 93442

Thank you,
Tom

Site Justification Coverage Maps

Market Name : Southern California Market

Site ID : CSL01270

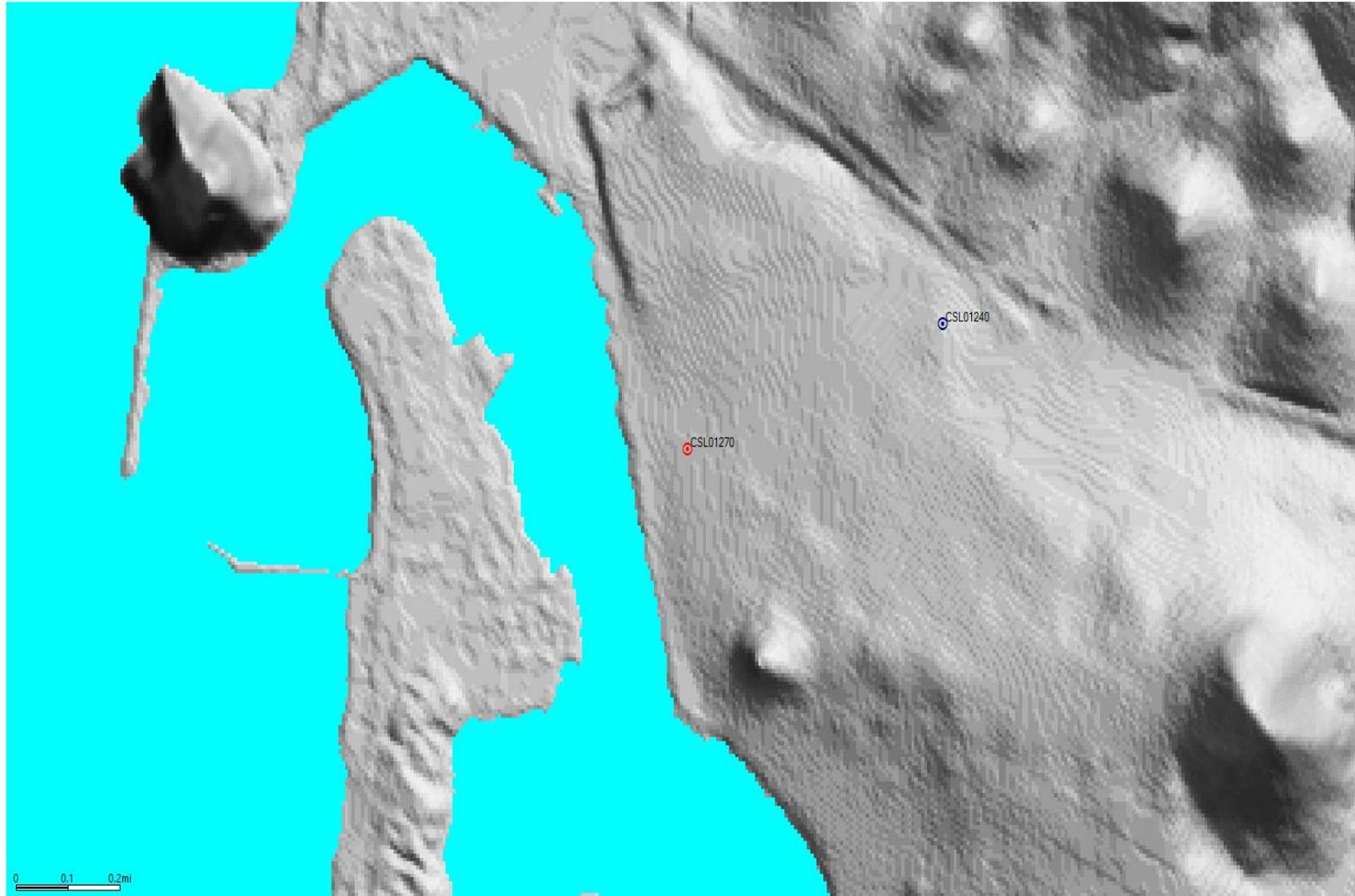
Site Address : 590 MORRO AVE., MORRO BAY, CA 93442

ATOLL Completion Date: May 03, 2023

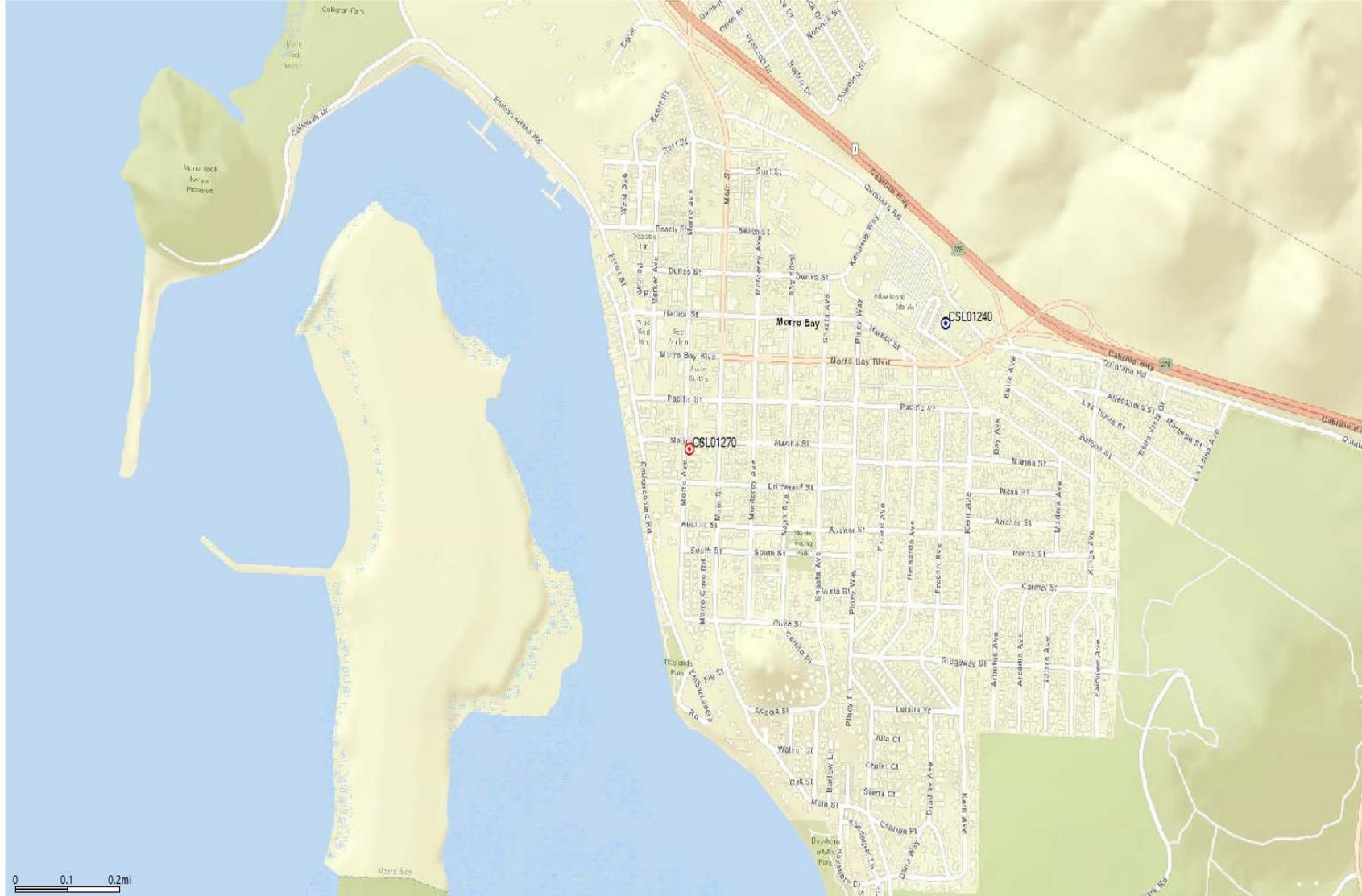
Assumptions

- ❖ Propagation of the Site Coverage Plots are based on our current Atoll RF Design Tool that shows the preferred design of the AT&T 4G-LTE Network Coverage.
- ❖ The propagation referenced in this package is based on Proposed LTE Coverage of AT&T users in the surrounding buildings, in-vehicles and at-street level.
- ❖ For your reference, the scale shown ranges from Good to Poor Coverage with gradual changes in coverage showing Best Coverage to Marginal and Poor Signal Levels.
- ❖ The Coverage Plots shown in the following slides are based on the following criteria:
 - Existing LTE Coverage Before the Referenced Site: Assuming all the planned neighboring sites are approved by the jurisdiction and On-Air and the Referenced Site is Off-Air, the propagation is displayed with the legends provided.
 - Planned LTE Coverage With the Referenced Site: Assuming all the planned neighboring sites along with the Referenced Site are now approved by the jurisdiction and now On-Air, the propagation is displayed with the legends provided.
 - Standalone Coverage of the Referenced Site: Assuming all the planned neighboring sites approved by the jurisdiction are Off-Air and only the Referenced Site is On-Air, the propagation is displayed with the legends provided.

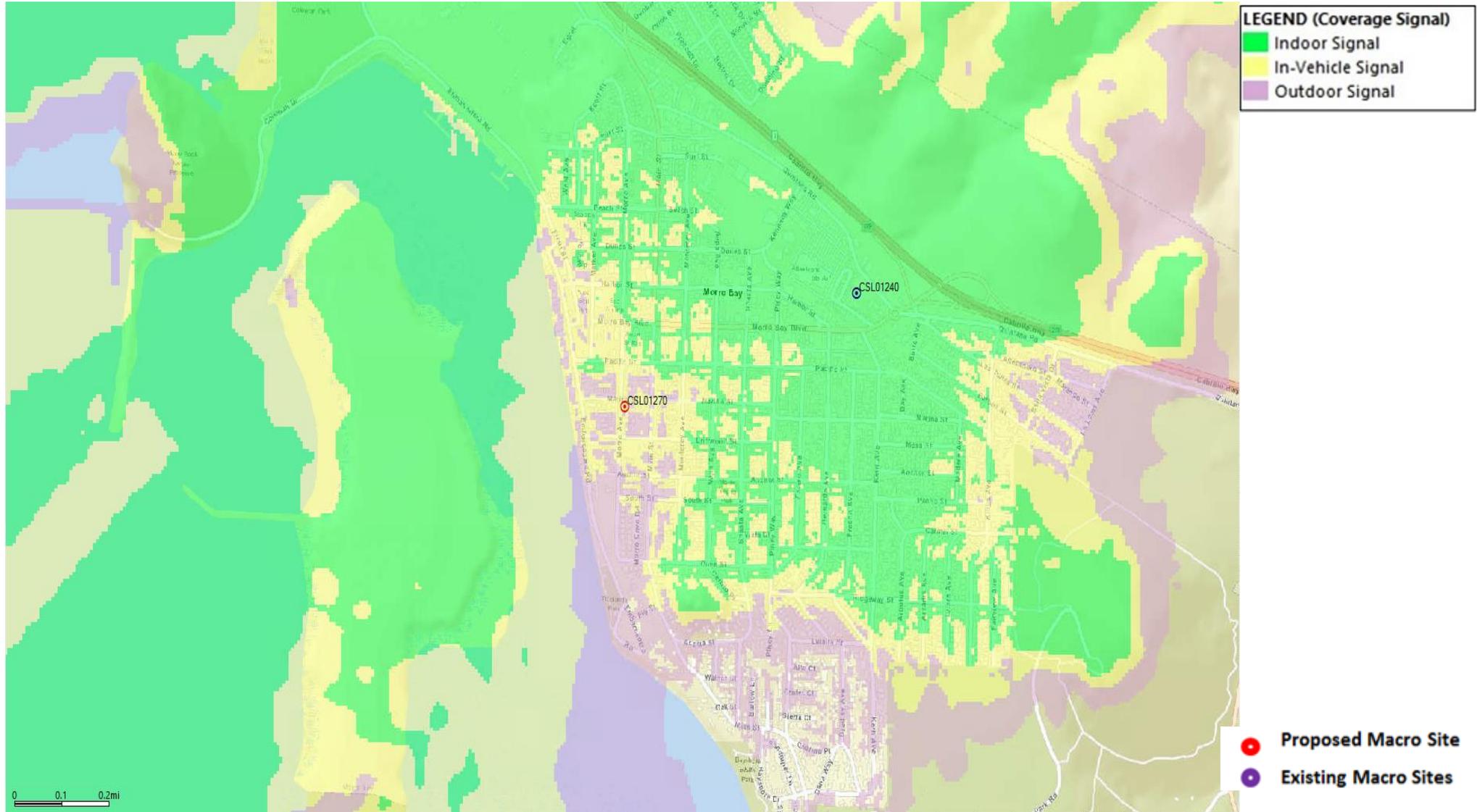
CSL01270 (Terrain Map)



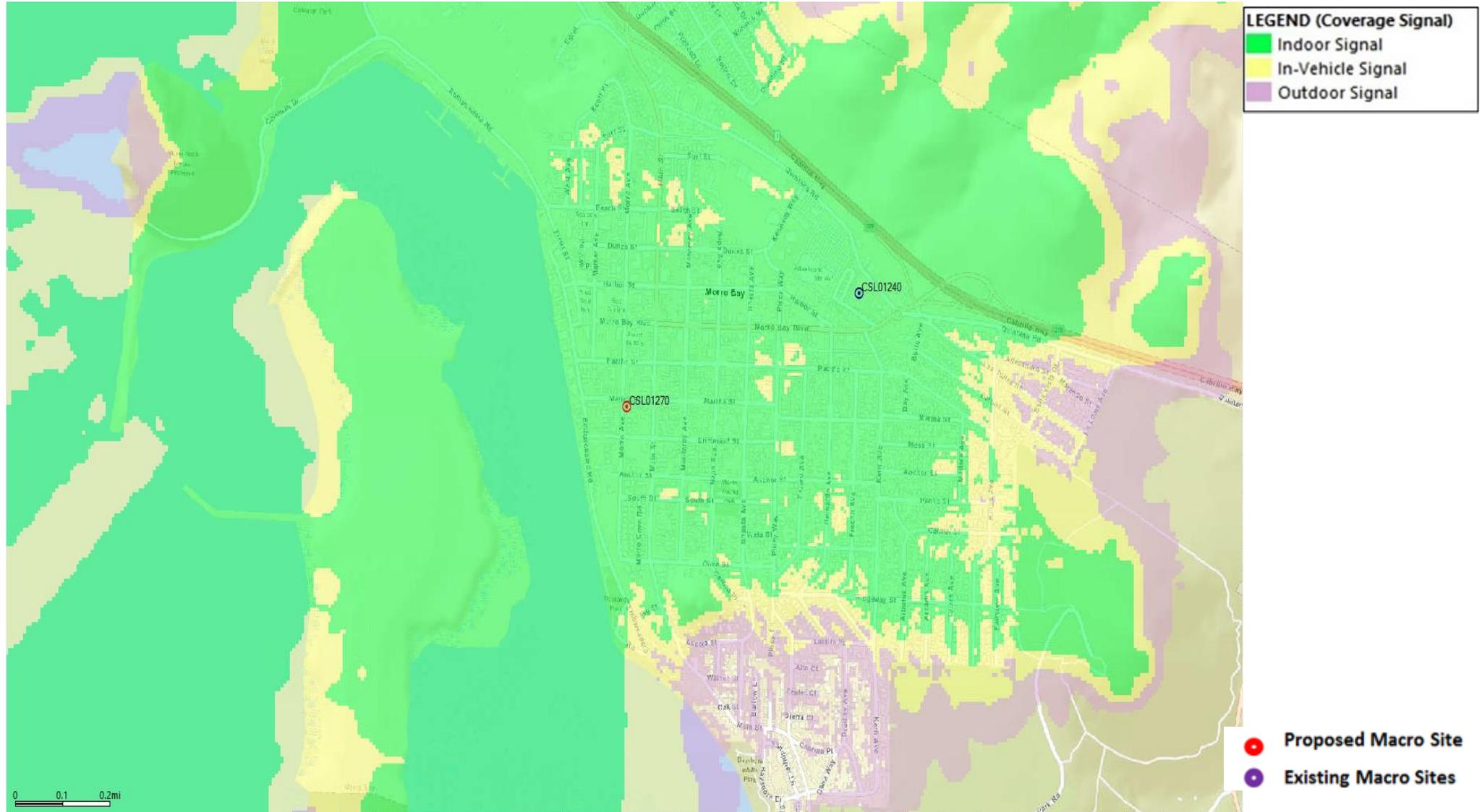
CSL01270 (Aerial Map)



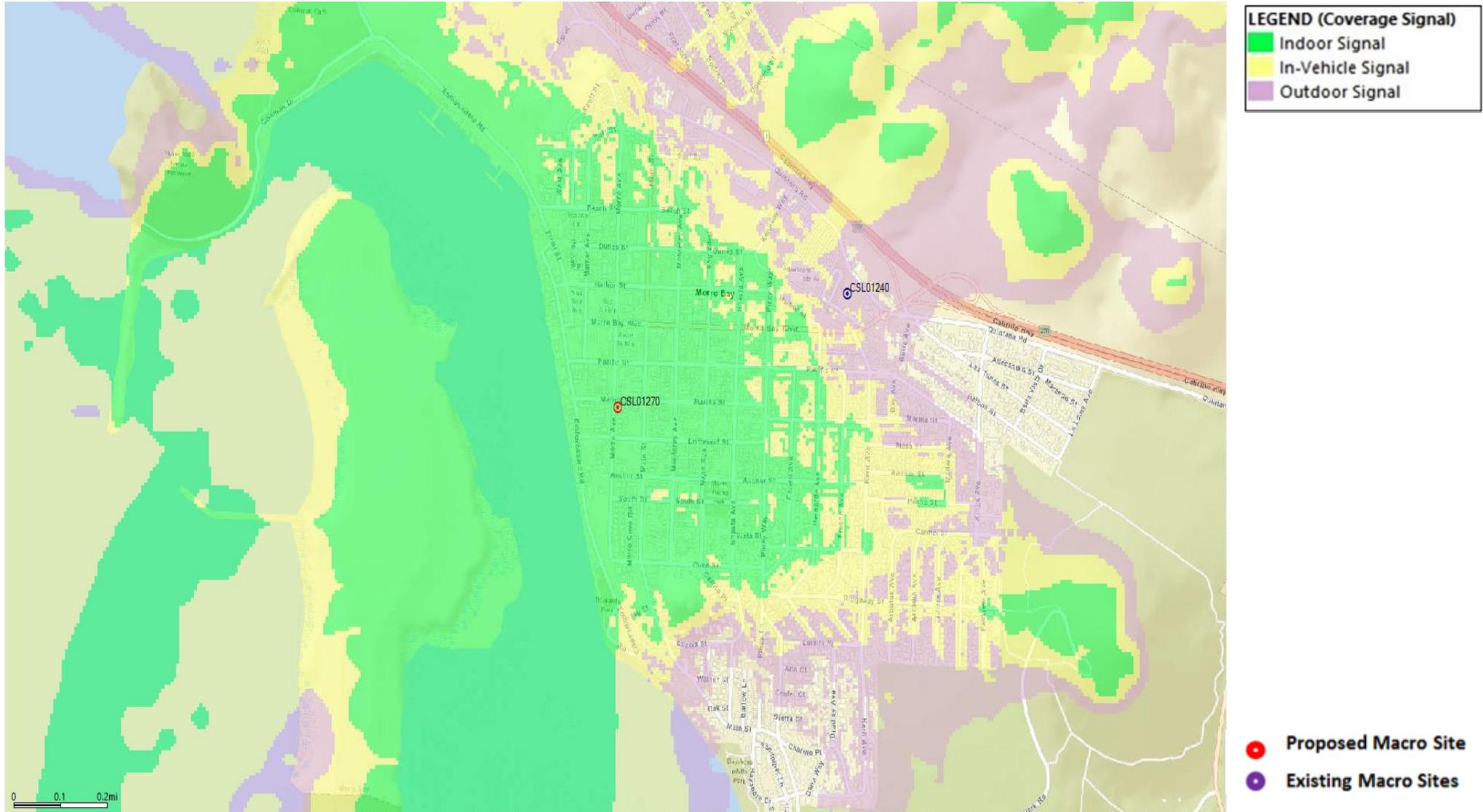
Existing LTE Coverage Before Site CSL01270



Planned LTE Coverage With Site CSL01270



Standalone Coverage Of Site CSL01270



Coverage Legend

Indoor Signal: In general, the areas shown in dark green should have the strongest signal strength and be sufficient for most in-building coverage. However, in-building coverage can and will be adversely affected by the thickness/construction type of walls, or your location in the building (i.e., in the basement, in the middle of the building with multiple walls, etc.)

In-Vehicle Signal: The areas shown in the yellow should be sufficient for on-street or in-the-open coverage, most in-vehicle coverage and possibly some in-building coverage.

Outdoor Signal: The areas shown in the purple should have sufficient signal strength for on-street or in-the-open coverage but may not have it for in-vehicle coverage or indoor signal coverage.





AGENDA NO: B-3

MEETING DATE: May 16, 2023

Staff Report

TO: Planning Commissioners

DATE: May 16, 2023

FROM: Scot Graham, Community Development Director
Nancy Hubbard, Contract Planner

SUBJECT: Objective Design Standards – Proposed Zoning Code Amendment - New standards for inclusion as Zoning Code Chapter 17.31

RECOMMENDATION:

Review Objective Design Standards, open public hearing, engage and consider public comments and forward a favorable recommendation for approval of the Objective Design Standards as Chapter 17.31 of the 2022 Zoning Code to City Council with finding that no further environmental review is required pursuant to State CEQA Guidelines Section 15162.

DISCUSSION:

The Zoning Code was adopted by the City Council on November 22, 2022, via Ordinance 654. Objective Design Standards (ODS) have been developed as implementation of the 2020-2028 Housing Element goals and policies. The ODS are proposed to be added as Chapter 17.31 to the 2022 Zoning Code. The consultant work to complete the Housing Element implementation policies was funded from the award to the City of Morro Bay of grant funding from CA Department of Housing and Community Development. The Objective Design Standards was created in response to recent housing bills, including Senate Bill (SB) 35, which provides for a streamlined approval process for eligible residential projects (2 or more units) subject to certain conditions consistent with the objective zoning and design standards. The ODS is in final draft form and upon favorable recommendation will be forwarded to City Council for amendment to the 2022 Zoning Code.

Objective standards are meant to provide direction and clarity in a way that involves no personal judgment by a public official or decision maker. Currently, City staff reviews development projects under several various design guidelines. While design guidelines do provide design and aesthetic direction to the applicant, they can sometimes lack specificity and allow arbitrary interpretation or lengthy negotiations on how a design guideline should be implemented.

Prepared By: ___NH___

Department Review: _____

It is anticipated that the State legislature will continue to create new regulatory paths for housing that utilize objective design standards.

There are several housing related bills that have either passed or are in process that require administrative approval of compliant housing projects and only allow application of objective design standards. One of the more impact housing bills, passed in recent years is SB 35 but it does not currently apply to the coastal zone. However, there is pending legislation at the State level that if adopted would apply SB 35 in the coastal zone while also deleting the sunset clause making it permanent. Currently, the City does not have a set of solely objective design standards to apply should a project qualify under one of the current housing related bills. Development of objective design standards is critical to ensure that, should a development proposal qualify, the City is prepared to apply standards so that the proposed development meets the intended design criteria appropriate for the neighborhood and community and therefore can be processed ministerially in an expedited process.

Because the city is located within the coastal zone, requirements of the Coastal Act vis a vis coastal development permit requirements would still apply. Ministerial approval of projects would be similar in process to the requirement for accessory dwelling units in that no public hearing would be required and should a project require coastal development permit approval, that such approval be granted administratively. Qualifying projects will also be subject to the standards of the base zoning district/overlay areas in which they are located. These standards provide for a basic development footprint, and include building height, setbacks, and density.

The ODS is proposed as an amendment to the Zoning Code (Chapter 17.31) and would be included as part of the City's Zoning Code/ Implementation Plan (IP) to its Local Coastal Program (LCP). Upon City adoption of the Objective Design Standards, an application to Coastal Commission would be required for an LCP amendment or included in the current pending amendment application which is under review now depending on the timing of final City adoption.

OVERVIEW OF OBJECTIVE DESIGN STANDARDS:

The following is a list of the projects that will be able to be processed through a ministerial, expedited planning process pursuant to the requirements included in the ODS:

- All new proposed by-right multi-unit residential projects or mixed-use project of 10 or fewer residential units.
- Qualifying projects must meet the criteria in this chapter, if they require exceptions or modifications from the development standards, they do not qualify for an ODS review process.
- Qualifying projects are not subject to Design Review pursuant to Chapter 17.38, Design Review.

The following is a summary of the areas of review required for ODS qualifying projects:

1. Site Design – includes building orientation, vehicular access and parking, pedestrian circulation and access, common and private open spaces, and landscaping.
2. Building Design – includes building form, mass and façade articulation, building and residential entrances and window placement and treatment (i.e., recessed, shutters)
3. Additional Mixed-Use Standards – Façade articulation, ground floor transparency, street setbacks and entrances
4. Parking Structures – Wall plane variation, materials and colors, articulation, landscaping
5. Utilitarian Elements – Bike parking, trash/recycling areas, fencing & free-standing walls, lighting, screening of mechanical, vents and exhaust.

CONCLUSION:

The ODS is in final draft form and upon favorable recommendation by the Planning Commission will be forwarded to City Council as part of an amendment to the 2022 Zoning Code. Once the amendments to the 2022 Zoning Code are approved by City Council, they will be forwarded to the California Coastal Commission for certification as an LCP Amendment.

ATTACHMENTS:

- A. Planning Commission Review Draft – Objective Design Standards

Chapter 17.31: Residential and Mixed-Use Objective Design Standards

17.31.010	Introduction
17.31.020	Site Design
17.31.030	Building Design
17.31.040	Additional Mixed-Use Standards
17.31.050	Parking Structures
17.31.060	Utilitarian Elements

17.31.010 Introduction

- A. **Purpose.** The purpose of these design standards is to provide the public, building and design professionals, and decision-makers with objective criteria for eligible residential and mixed-use development in Morro Bay. The intent is to provide clear design direction and an expedited planning process for residential projects that enhance an area’s unique character and sense of place, respects existing neighborhood compatibility and privacy, and ensures a high-quality living environment.
- B. **Applicability.** The provisions of this chapter apply to:
1. **Senate Bill 35 projects (California Government Code §65913.4).** In addition to criteria established by the California Government Code, the project must be a multi-unit housing development containing at least two or more new residential units, or a mixed-use project where at least two-thirds of the square footage is dedicated to residential use. SB 35 projects are subject to a ministerial, streamlined approval process.
 2. **Senate Bill 330 projects (California Government Code §65589.5 and §65920).** In addition to criteria established by the California Government Code, the project may be residential only, mixed use where at least two-thirds of the square footage is dedicated to residential use, or transitional, supportive, emergency, or farmworker housing. SB 330 projects are entitled to a preliminary application process prior to filing a complete application.
 3. **Assembly Bill 2011 projects (California Government Code §65400 and §65585).** In addition to criteria established by the California Government Code, the project must be located within a zone where office, retail, or parking is principally permitted use. AB 2011 projects are subject to a ministerial, streamlined approval process.
 4. **Assembly Bill 2162 projects (California Government Code §65583 and §65650).** In addition to criteria established by the California Government Code, the project must be a supportive housing development located in a zone where multi-unit or mixed use is permitted.
 5. **Senate Bill 6 projects (California Government Code §65913.4 and §65852.24).** In addition to criteria established by the California Government Code, the project must be located within a zone where office, retail, or parking is a principally permitted use; and no part of the project is designated for hotel, motel, or other transient lodging use.

Attachment A
CITY OF MORRO BAY
OBJECTIVE DESIGN STANDARDS
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6. All proposed new by-right multi-unit residential and mixed-use projects of 10 residential units or fewer.
 7. All other residential or mixed-use projects are made eligible by State law, and which are required to meet objective standards.
- C. **Compliance with Existing Standards.** In addition to meeting objective standards in this chapter, eligible residential projects shall comply with existing objective standards as established in the Morro Bay Municipal Code, other adopted City plans, and the California Building Code (CBC).
- D. **Conflicting Standards.** If there is any conflict between these objective design standards and existing City requirements, the less restrictive objective design standard applicable to the project shall apply.
- E. **Exceptions, Waivers, or Modifications.** Residential and mixed use projects seeking exceptions, waivers, or modifications to any development standards set forth in the Morro Bay Municipal Code or the design standards set forth in this chapter, excluding modifications such as concessions, incentives, parking reductions, or waivers of development standards pursuant to State Density Bonus Law, shall not be eligible for streamlined, ministerial processing per SB 35. The City’s non-streamlined, discretionary review process shall be required for any project that seeks exceptions, waivers, variances, or other modifications to objective standards.
- F. **No Design Review.** Eligible housing development projects complying with the objective standards in this chapter shall not be subject to the provisions of Chapter 17.38, Design Review.

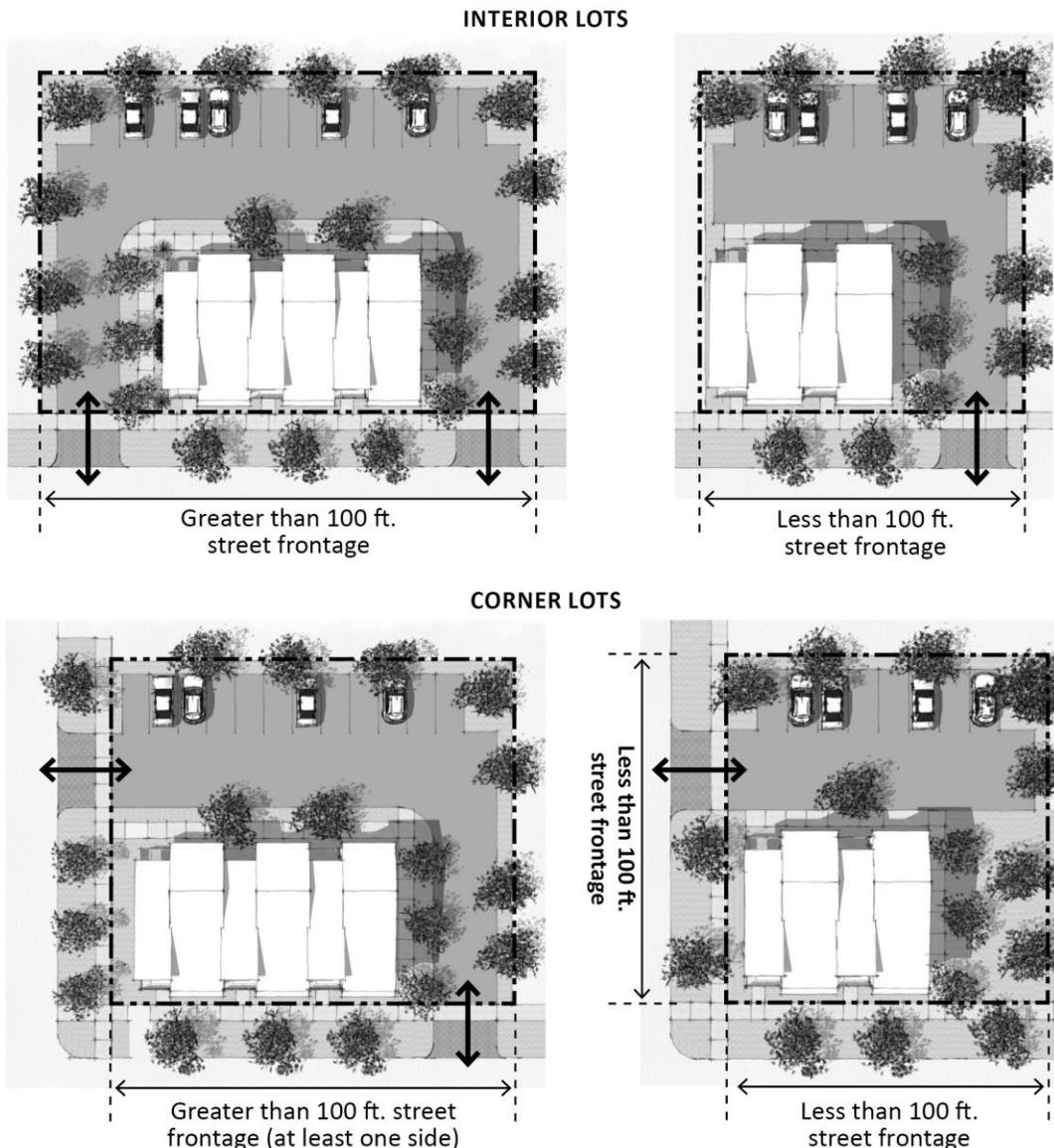
17.31.020 Site Design

- A. **Purpose.** Site planning refers to the arrangement of - and relationships between - buildings, parking areas, common and private open space, landscaping, and pedestrian connections. The site planning topics in this section include site layout and building placement, vehicular surface parking and access, pedestrian circulation and access, landscaping, and common and private open space.
- B. **Building Placement and Orientation.** Building placement and orientation shall comply with the provisions of Chapter 17.07, Residential Districts, or Chapter 17.08, Commercial and Mixed-Use Districts. In addition, if buildings on the same block establish a contiguous street wall along at least 50 percent of the primary street frontage, new buildings shall be located to maintain the contiguous street wall.
- C. **Vehicular Parking and Access.** Off-street vehicular parking and access shall comply with the provisions of Chapter 17.27, Parking and Loading. For properties in Commercial and Mixed-Use Districts, projects shall also comply with Section 17.08.040, Supplemental Regulations. In addition, projects shall comply with the following:
1. **Primary Access.** Side street or alley access shall serve as the primary vehicular access to off-street parking areas, if available. If not available, the primary street shall serve vehicular access. See Section 17.27.100, Driveways and Drive Approaches, for detailed standards related to driveway location, site layout, limits to driveway width and design.

2. **Number of Access Points.**

- a. For interior lots with less than 100 linear feet of street frontage, a maximum of one vehicular access point from the street is permitted. For interior lots with 100 linear feet or more of street frontage, a maximum of two vehicular access points from the street is permitted.
- b. For corner lots, one vehicular access point is permitted where both street frontages are less than 100 linear feet. Two vehicular access points are permitted for lots where at least one street frontage is 100 linear feet or more.
- c. The above standards assume that an access point can be a two-way connection (both ingress and egress) or a one-way connection (either ingress or egress).

FIGURE 17.31.020(C)(2): VEHICULAR ACCESS POINTS



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3. **Loading and Service Areas.** The provision, layout and design of loading and service areas shall comply with Section 17.27.090, Loading, as well as the following standards:
 - a. All required loading and service areas shall be located adjacent to a façade other than the primary building frontage.
 - b. Loading and service areas shall not be located adjacent to residential dwelling units or common open space areas. Loading areas shall be screened from public view by building walls and/or uniformly solid fencing or walls, not less than six feet in height, or evergreen trees at least 10 feet in height.
 4. **Avoid Vehicle Light Intrusion into Ground-Floor Units.** Vehicle parking areas shall be located, oriented, and/or screened so that no vehicle lights enter into ground-floor residential spaces, including private open space.
- D. **Pedestrian Circulation and Access.** On-site pedestrian circulation and access shall be provided according to the provisions of Section 17.07.040, Supplemental Regulations (Residential Districts), or Section 17.08.040, Supplemental Regulations (Commercial and Mixed Use Districts). See Section 17.27.110, Parking Area Design and Development Standards, for requirements involving pedestrian access to vehicle parking areas. The following additional standard also apply:
1. **Enhanced Paving for Building Entrances.** Primary building entryways shall provide decorative and accent paving that contrast in color and texture from any adjacent pedestrian walkway surfaces.
- E. **Common and Private Open Space.** Common and private open spaces shall be provided according to the base zoning district regulations in Chapter 17.07, Residential Districts, or Chapter 17.08, Commercial and Mixed Use Districts. Section 17.23.100, Open Space, contains objective standards regarding minimum dimensions, usability, and accessibility for both private and common open space. In addition, the following standards apply:
1. **Common Open Space.** Common open space shall be provided according to Section 17.23.100, Open Space, and shall comply with the following:
 - a. **Amenity Types.** Where required by the base zoning district, projects shall provide at least one common open space through the following amenities: play areas, common courtyards, patios, gathering spaces, multi-use paths and trails, athletic/recreational facilities, dog runs and enclosures; pools and spas; and community gardens. An applicant may provide common open space through an amenity not on this list if it is readily accessible by all residents for recreation and social purposes.
 - b. **Visibility.** Common open space shall be located and arranged to allow visibility into the space from pedestrian walkways within the development. Fencing or barriers shall be designed with opaque, nontransparent materials for a maximum of 80 percent of the surface area, to allow some visual transparency between the common open space and pedestrian walkways.
 2. **Private Open Space.** Private open space shall be provided according to Section 17.23.100, Open Space, and shall be screened with one of the following options:
 - a. **Screening with Structural Elements.** A private open space may be screened by a fence or wall complying with Section 17.23.060, Fences and Freestanding Walls.

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- b. *Screening with Landscaping and Structural Elements.* A private open space may be screened by a landscape buffer or dense evergreen shrubs/vines of minimum 5 feet width and 4 feet height, and a fence or wall complying with Section 17.23.060, Fences and Freestanding Walls. If a ground-level private open space is visible from a public right-of-way or common open space, a landscape buffer is required.

F. **Landscaping.** Landscaping shall be utilized for all outdoor areas that are not specifically used for parking, driveways, walkways, or open space. Refer to Chapter 17.25, Landscaping, for regulations applicable to all new development. In addition, projects within the Coastal Resource Protection (CRP) Overlay District shall comply with relevant regulations in Chapter 17.14, Coastal Resource Protection Overlay District. For landscaping requirements in vehicular parking areas, refer to Section 17.27.110, Parking Area Design and Development Standards. In addition, the following standards apply:

1. ***Pedestrian Walkways.*** Pedestrian walkways shall be flanked on both sides with landscaping, and may include a mix of turf, groundcover, or shrubs. Both sides of walkways shall provide trees spaced to shade at least 25 percent of the overall walkway length at maturity.
2. ***Number of Plants.*** A minimum of one 15-gallon tree or equivalent box size and 10 five-gallon shrubs shall be planted for every 1,000 square feet of required landscape area.
3. ***Plant Selection.*** Projects shall comply with water efficient planting standards of Section 17.25.050, General Requirements. Plants shall be selected from plants that are native to California, or plants included on the City's Street Tree List. In addition, tree and plant species that attract and provide habitat for local fauna (e.g., birds and pollinators such as bees and butterflies) are encouraged. Artificial or synthetic plants, except for turf, are prohibited.
4. ***Privacy.*** Landscaping shall be provided as a buffer between adjacent individual units. Landscaping shall obscure direct sight lines, and may be used in combination with walls, fencing, and/or trellises to screen views. Plant selection and landscape screening container size shall be selected to achieve at least 50 percent of this height within three years of installation.

FIGURE 17.31.020(F)(1): PEDESTRIAN WALKWAYS

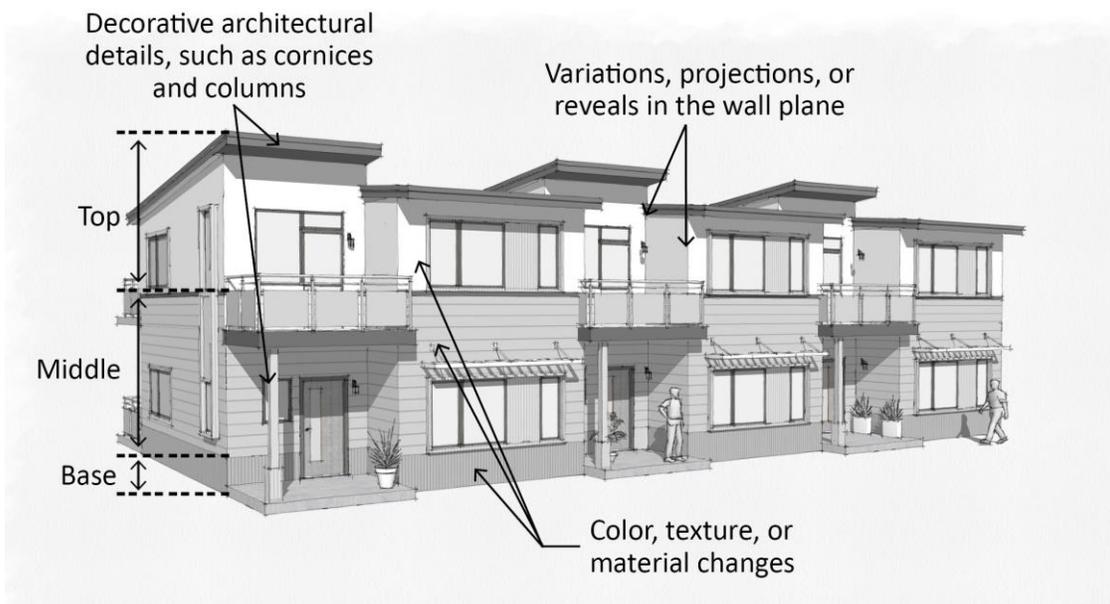


Trees spaced to shade at least 25% of the overall walkway length at maturity

17.31.030 Building Design

- A. **Purpose.** Building design incorporating variations in form, massing and façade articulation provides human scale and visual interest to a building and contributes to Morro Bay’s eclectic character and architectural diversity. Topics in this section include building massing, scale and form, façade articulation, roof forms, building and unit entryways, fenestration, parking structure design, and building materials and colors.
- B. **Building Form, Massing, and Façade Articulation.** Building form, massing and façade articulation facilitate the distinction of individual units, or groups of units, through varied heights, projections, setbacks, and recesses. Materials and colors emphasize changes and hierarchy in building form.
1. **Building Form and Vertical Hierarchy.** Buildings shall be designed to differentiate between a defined base; a middle or body; and a top, cornice, or parapet cap. Buildings two stories or less shall include a defined base and a top, cornice, or parapet cap. This effect shall be achieved through incorporating at least two of the following design elements for all buildings:
 - a. Color, texture, or material changes.
 - b. Variations, projections, or reveals in the wall plane.
 - c. Variations in fenestration size or pattern.
 - d. Decorative architectural details such as cornices and columns.

FIGURE 17.31.030(B)(1): BUILDING FORM AND VERTICAL HIERARCHY



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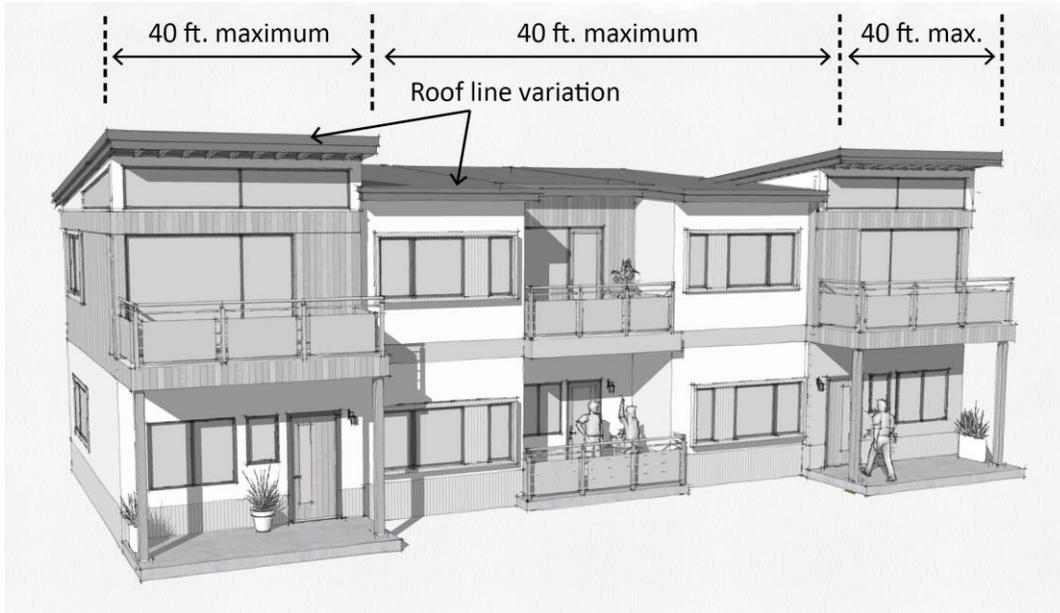
2. **Wall Plane Variation.** See Section 17.07.040, Supplemental Regulations, for building façade articulation in residential zoning districts. For mixed use projects, see Section 17.31.030 in this chapter.
3. **Four-sided Architecture.** Buildings shall be designed and articulated with common details, articulation, materials, and elements on all sides.
4. **Corner Architectural Features.** Buildings shall incorporate architectural features at corners such as towers, primary entries, enhanced materials, or roof projections to create a sense of hierarchy.
5. **Corner Facade Articulation.** Buildings located on the corner of two streets, and greater than one story, shall include one or more of the following features on both of the intersecting façades, located within 25 feet of the corner of the building:
 - a. An entry to ground-floor use or a primary building entrance.
 - b. A different material application, color, or fenestration pattern of windows and doors from the rest of the façade.
 - c. The area encompassed within 25 feet of the corner of the building shall have a change in height of at least 5 feet.

FIGURE 17.31.030(B)(5): CORNER FACADE ARTICULATION



6. **Roof Line Variation.** Roof lines shall not extend more than a length of 40 feet without at least one prominent change as described below:
- Provide variation in roof form, such as hip, gable, shed, and flat with parapet.
 - Provide variation of roof height of at least 18 inches (as measured from the highest point of each roof line).

FIGURE 17.31.030(B)(6): ROOF LINE VARIATION

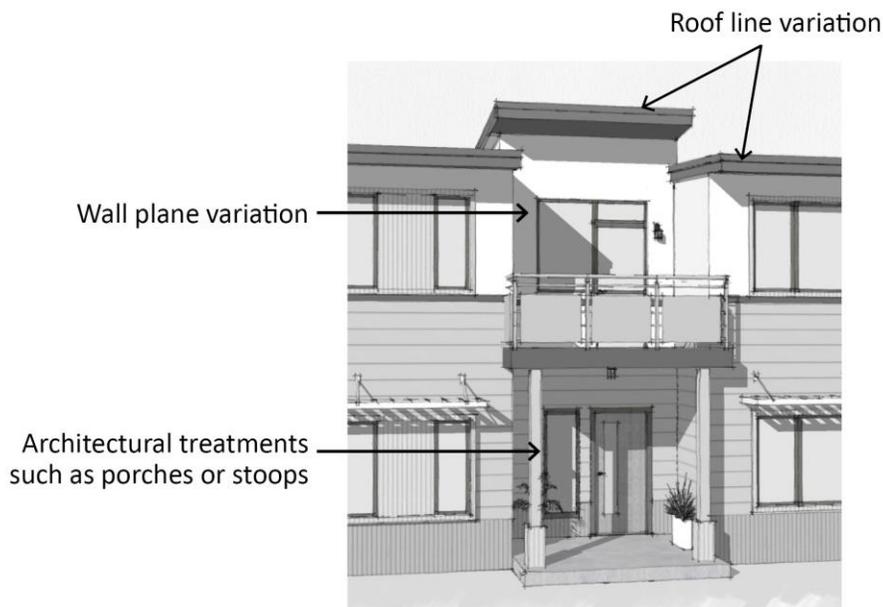


7. **Flat Roofs and Parapets.** Parapets shall be provided around the perimeter of a flat roof and shall be a minimum of six inches taller than all rooftop equipment.
- Interior side of parapet walls shall not be visible from a common open space or public right-of-way.
 - Parapets shall be capped with precast treatment, continuous banding, or projecting cornices, dentils, or similar edge treatment.
- C. **Building and Unit Entrances.** Entrance orientation and design shall comply with the provisions of Section 17.07.040, Supplemental Regulations (Residential Districts), or Section 17.08.040, Supplemental Regulations (Commercial and Mixed Use Districts). The following additional standards also apply:
- Primary Residential Building Entrances.**
 - Street-Facing Entry.** Residential buildings located adjacent to the primary street shall have a ground-level common entry facing the primary street unless units are accessed by individual entries.

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- b. *Building Entry Architectural Treatments.* Common building entries shall be differentiated from the main façade through at least two of the following:
- i. Roof above the entry incorporating a change in roof line of at least 18 inches.
 - ii. Entry incorporating a variation of wall plane (recessed or projected) a minimum of 2 feet from the adjacent wall planes.
 - iii. Entry incorporating architectural treatments that vary from those on the general facade (e.g., window and/or door trim with substantial depth and detail, decorative siding, porches, stoops).

FIGURE 17.31.030(C)(1)(B): BUILDING ENTRY ARCHITECTURAL TREATMENTS



2. *Individual Unit Entrances.*

- a. *Upper-Floor Unit Entry.* Exterior entries to individual units on upper floors are permitted; however, in order to avoid a “motel-style” appearance, no exterior access corridor located above the ground floor may provide access to five or more upper-floor units.
- b. *Non Street-Adjacent Buildings.* Buildings not located adjacent to a street shall have unit front entryways oriented to face common open space areas such as landscaped courtyards, plazas, or paseos.

D. Windows.

1. **Privacy.** Windows facing adjacent buildings shall be offset to avoid direct sight lines into and from neighboring properties. This requirement is waived if opposing windows are adjacent to commercial uses. In addition, windows opposite an adjacent building shall be further screened through one or more of the following:
 - a. Utilize non-transparent or obscured glazing, such as frosted/patterned glass. Reflective glazing is not permitted.
 - b. Provide permanent architectural screens or affixed louvers at windows.
2. **Window Treatment.** All windows shall either be recessed at least 2 inches from the plane of the surrounding exterior wall or shall have trim at least 1/2 inch in depth and 3.5 inches in width. See Section 17.07.040, Supplemental Regulations (Residential Districts).
 - a. *Windows Facing a Public Street.* Windows facing a public street shall feature enhanced window treatments, such as decorative architectural brackets, trim, shutters, awnings, and/or trellises.
 - b. *Window Shutters.* Functional and decorative shutters shall be one-half-width of the associated window glazing (for paired shutters), or matching width for a single shutter

E. Materials and Colors. Exterior building materials and colors shall comply with the provisions of Section 17.07.040, Supplemental Regulations (Residential Districts), or Section 17.08.040, Supplemental Regulations (Commercial and Mixed Use Districts).

1. **Wall Material.** The primary exterior siding material for buildings shall be stone, brick, stucco, concrete block, painted wood clapboard, fiber cement clapboard, or painted metal clapboard.
2. **Window Material.** Window materials, color, and style shall be consistent on all elevations, unless used at an entry way or as an accent feature.
3. **Material Transition.** Changes in material shall occur at inside corners of intersecting walls or at architectural features that break up the wall plane, such as columns.
4. **Awnings.** Glossy finish vinyl awning material is not allowed.

17.31.040 Additional Mixed Use Standards

- A. **Façade Articulation.** Building façades visible from the primary street shall not extend more than 50 feet in length without at least one of the following: a 5-foot variation in depth in the wall plane, architectural element, or other prominent feature that provides visual interest. Building entrances, front porches, upper-story setbacks, and projections such as stoops, bays, overhangs, fireplaces, upper-story decks and trellises count towards this requirement.
- B. **Ground Floor Transparency.** Refer to Section 17.080.040, Supplemental Regulations, for standards related to exterior walls containing non-residential uses.
- C. **Street-Facing Setbacks.** Where a front setback or street-facing side setback is provided for a mixed use building, it shall be designed for pedestrian orientation with hard surface and amenities. The setback area on each lot shall contain at least two amenities per 50 linear feet such

as benches, drinking fountains, shade structure, or other design element (e.g. art or sculpture, planters, and kiosks).

D. **Entrances.**

1. **Residential Street-Adjacent Entry.** Mixed use buildings located adjacent to the primary street shall incorporate at least one residential building entrance that directly fronts the public sidewalk or right-of-way and complies with the requirements of Subsection 17.31.030(C)(1).
2. **Commercial Storefronts.** Commercial entrances adjacent to the sidewalk shall be recessed from the façade by a minimum of 2 feet from the rest of the building, creating an alcove.

17.31.050 Parking Structures.

- A. **Wall Plane Variation.** Façades visible from the primary street shall not extend more than 50 feet in length without at least one of the following: a 3-foot variation in depth in the wall plane, architectural element, or other prominent feature that provides visual interest.
- B. **Materials and Colors.** The parking structure shall utilize the same colors and materials as the primary buildings.
- C. **Articulation.** The exterior of the parking structure shall apply at least one of the following as articulation:
 1. Applied materials such as brick, stone, and/or siding which extend at least two inches from the face of the structure to the face of the applied materials. Painted concrete, smooth concrete, or stucco walls shall not be considered sufficient articulation.
 2. Decorative architectural features such as cut metal screens, awnings, trellises, louvers, and/or decorative security grills shall be used on openings facing a public street or open space.
- D. **Landscaping.** Vertical plantings shall be located between openings, entrances, and architectural accent features. At least one tree shall screen the building façade per 50 feet. Trees shall be selected from California native plants or from the City's Street Tree list. Trees shall be selected to grow to 40 feet in height at maturity, and shall grow to at least 15 feet in height within two years from time of installation.

17.31.060 Utilitarian Elements

- A. **Bicycle Parking.** Bicycle parking shall comply with the provisions of Section 17.27.080, Bicycle Parking.
- B. **Refuse Storage and Collection Areas.** Trash, recycling, and green waste container enclosures are required for residential and mixed use developments. They shall be located within a service section of the primary building, incorporated into the exterior building design, or located within a detached enclosure designed and placed as follows:
 - 1. **Location.** The enclosure shall be located to the rear or side of the building and located outside of view from a public right-of-way.
 - 2. **Screening.** The enclosure shall include a solid wall a minimum of 6 feet in height and a roof structure that fully shields the top of the container, and be located on the site in an area where the screening height required is allowed.
 - 3. **Materials.** The enclosure shall use materials that are consistent with exterior colors and materials of the primary building.
- C. **Fences and Walls.** Fences and walls shall comply with the provisions of Section 17.23.060, Fences and Freestanding Walls. In addition, where fences and walls of different materials or finishes intersect, a column or pilaster shall be provided.
- D. **Lighting.** Lighting shall comply with the provisions of Section 17.23.080, Lighting and Illumination. Projects within the Coastal Resource Protection (CRP) Overlay Zone District shall comply with additional provisions of Section 17.14.090, Visual Resource Protection. Lighting in parking areas shall also comply with Section 17.27.110, Parking Area Design and Development Standards.
- E. **Screening of Mechanical Equipment.** Equipment and utilities shall comply with the provisions of Section 17.23.130, Screening.
- F. **Vents and Exhaust.** All wall-mounted elements shall be located at interior corners of building walls or behind building or screening elements that conceal them from public view. All flashing, sheet metal vents, exhaust fans/ventilators, and pipe stacks shall be painted to match the adjacent roof or wall material and/or color.