



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean, and healthy place for residents and visitors to live, work and play.

**Regular Meeting -Tuesday, November 7, 2023
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson – William Roschen

Vice-Chairperson Mike Rodriguez
Commissioner Asia King

Commissioner Joseph Ingraffia
Commissioner Eric Meyer

Public Participation:

Remote public participation is allowed in the following ways:

- *Community members may attend the meeting in person at the Morro Bay Veterans Hall*
- *Members of the public may watch the meeting and speak during the general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the "raise hand" feature to indicate your desire to provide public comment.*

Please click the link below to join the webinar:

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzdwTHlRTk9xaTlmVVNWRFUQT09>

Password: 135692

- *Or Telephone Attendee: 1 (408) 638-0968 or 1 (669) 900 6833 or 1 (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to "Raise Hand" for Public Comment*
- *Alternatively, members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Planning Commission at planningcommission@morrobayca.gov prior to the meeting. Agenda correspondence received at planningcommission@morrobayca.gov by 10 a.m. on the meeting day will be posted on the City website.*

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE/PLEDGE OF ALLEGEANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT

Members of the audience wishing to address the Planning Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Planning Commission at this time.

PRESENTATIONS – Dr. Michael Boswell, Ph.D., AICP, Cal Poly City & Regional Planning Department presentation on the update of the City’s Climate Action Plan

A. CONSENT CALENDAR

- A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

- B-1 **Case No.:** *Plan Morro Bay: Zoning Code / Coastal Implementation Plan (IP) Map Amendments (MAJ23-004)*
Site Location: Citywide and APN parcels specified below
Applicant/Project Sponsor: City of Morro Bay
Proposed Project: Proposed project is a General Plan/Local Coastal Program (LCP) Zoning Map amendment to correct technical errors and inconsistencies with the 2021 adopted Plan Morro Bay Land Use Map. Proposed Zoning Map amendments are available online at www.morrobayca.gov/planmb. The proposed Map amendments would be included with the Zoning/IP Amendments recommended for approval by Planning Commission on 10/3/2023. Specific parcel zoning changes below are:
 1. Cerrito Peak/Eagle Rock, APN 066-221-001 change from RS-A zoning to OS zoning;
 2. Police Station, 850 Morro Bay Blvd/870 Morro Bay Blvd, APN #066-075-021/066-075-007 change from CC zoning to PF zoning;
 3. Fire Station, 715 Harbor St, APN 066-071-035 change from CC zoning to PF zoning;
 4. Library, 625 Harbor St, APN 066-280-024 change CC zoning to PF zoning;
 5. Comm Dev/Public Works/City Hall, 595 Harbor St/955 Shasta Ave APN 066-280-025, change CC zoning to PF zoning;
 6. Community Center/Rec Dept, 1001 Kennedy Way, APN 066-280-023; change CC zoning to PF zoning;
 7. 2830 Alder Ave, APN 068-212-014, change from RM zoning to NC zoning;
 8. 393 Zanzibar St, APN 065-081-056, change from NC zoning to RM zoning**CEQA Determination:** Environmental Impact Report (SCH#2017111026)
Staff Recommendation: Review Zoning Map Amendments and forward a favorable recommendation to City Council for adoption of the Zoning Map as amended.
Staff Contact: Scot Graham, Community Development Director (805) 772-6291 and Cindy Jacinth, Planning Manager (805) 772-6577

C. NEW BUSINESS

- C-1 **Case No.:** CUP22-05/CDP22-003/VTTM22-02
Site Location: 3300 Panorama Drive, Morro Bay, CA
Request: Conceptual Review of a proposed 48-unit subdivision located on 10.06 acres with the address of 3300 Panorama Drive. The project includes public walking trails, open spaces, protection of the ESHA in the north west portion of the site and a private roadway system providing access to the proposed homes. The lot sizes range from 2267 sf to 5344 sf. The property is zoned R-1/PD/ESH (RS-A in the proposed 2022 zoning code) and is partially located within the Coastal Appeals Jurisdiction.
CEQA Determination: No CEQA determination is required for a Conceptual Review.
Staff Recommendation: Hear a presentation on the project and provide comments. This is a Business item for information gathering and discussion purposes only and NO ACTION will be taken at this time.
Project Contact: Nancy Hubbard, nhubbard@morrobayca.gov, 805-772-6211

C-2 Site Location: 451 & 471 Embarcadero
Request: Review of Planning Commission letter to City Council regarding small cottages on the waterfront located at 451 and 471 Embarcadero
Staff Recommendation: PC review the draft letter and forward to City Council
Staff Contact: Scot Graham, sgraham@morrobayca.gov, (805) 772-6291

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on December 5, 2023, at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: www.morrobayca.gov/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morrobayca.gov/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is

no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay
Community Development Department
Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
New Planning items or items recently updated are highlighted in yellow.
Approved projects are deleted on next version of log.

Agenda No: A-1
Meeting Date 11-7-2023

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:											
1	City of Morro Bay		City-wide	-	MAJ23-004	Plan Morro Bay: Zoning Code / Implementation Plan (IP) Amendments and GP/LCP Land Use and Zoning Map amendment for Dog Beach parcels APN 065-022-009 and 065-022-011	The City Council adopted a new Zoning Code/ Implementation Plan (IP) on November 22, 2022 (Ordinance 654). A series of Zoning Code/IP Amendments is proposed for adoption as a result of the City's LCP amendment application currently pending with the Coastal Commission. This includes additional chapters to be added to the IP per Coastal Act requirements and miscellaneous City clean-up amendments. In addition the amendments include a proposed change to correct a technical error with the land use and zoning designaition fora poriton of Dog Beach to change from Agriculture back to the correct designation of Open Space (OS). PC hearing 9/19/2023. and continued to 10/3. The 10/3 meeting to also include review of change to two Preston Lane properties from residential to industrial to correct previous land use/zoning error where existing on-the-ground land use is industrial. Planning Commission moved to forward recommendation for approval to City Council at its 10/3/23 public hearing. Scheduled to review adoption of Zoning Code/IP Amendments at 11/14/23 Council meeting. Additional Zoning Map amendments to be reviewed by PC on 11/7/23 to correct inconsistencies recently discovered between Zoning Map and Land Use Map (#MAJ23-005)				cj/sg
2	California Coastal Investments, LLC	801	Embarcadero	6/28/2022	CUP22-09	Concept/Precise Plan CUP for mixed-use redevelopment of the Libertine Brewing Co. building to convert existing second floor to 7 hotel units and first floor as mix of restaurant, coffee shop, outdoor dining, provision of new public access improvements including extension of Harborwalk	Under review. Incomplete letter sent 7/27/22. Resubmitted 1/27. Corrections letter sent 3/17/23. Resubmittal received and corrections requested. Met with applicant 7/5/23 to discuss outstanding items. Resubmitted 8/1/23.. Project deemed completed and tentatively scheduled for 12/19/23 PC hearing.	BLDG. - Disapproved 2/10/23 CO			cj
3	Wells Fargo Bank	340	Jamaica	8/1/2023	CDP23-014	Admin CDP for the demolition of an existing commercial structure.	Incomplete letter sent 8/17. Resubmitted 9/19. Deemed Complete 9/26. Noticing Period from 10/2-10/13. Admin Decision on or after 10/16.				st
4	Morro 94 LLC	3300	Panorama	1/18/2022	CUP 22-05/CDP22-003/TTM222-02	Submittal of combined concept and precise plan review for 61 unit subdivision. Project revised to 48 total housing units.	Received and under review. Notify Me account set up to provide information and publically available documents on the project. Subdivision Review committee meeting scheduled. Project comment letter sent 2/18/22, requires resubmittal and environmental review. Planning consultant team is preparing to hold a neighborhood meeting April 20, 2022 at Del Mar Elementary School at 6pm. City working with selected environmental consultant on contract and owner reimbursemetn agreements. TTM resubmittal received October 10, 2022, under review. Tentative Tract Map disapproved on Novem ber 2, 2022. REquires resubmittal with the CUP/CDP plans in order to be processed together. Environmental review is under contract and work has commenced. Anticipate process to take 6-9 months to complete. Resubmittal information received, planning and public works comments sent. Scheduled for a conceptual review at a PC hearing November 7, 2023	BLDG. - Approved 2/14/22 CO			nh
5	Brice	2555	Hemlock	7/24/2023	CDP23-013	Admin CDP for a new 491 sf ADU and 292sf addition to an existing 2314sf residence.	Incomplete letter sent 8/25. Resubmitted 9/19. Incomplete letter sent 10/6. Deemed Complete. Noticing period from 10/17-10/27. Planning Decision on or after 10/30.				st/ao
6	Salbi	450	Marina	12/19/2022	CDP22-043 / PKG23-05	Admin CDP for two story single family home with garage and Accessory Dwelling Unit	Incomplete letter sent January 13th, resub on 2/7/23, under review, incomplete letter sent 3/2/23, resubmit 3/27/23, incomplete letter sent 4/10/23, incomplete letter sent 4/12/23. Submitted for parking exception 7/24. Deemed Complete 8/11. Noticing Period from 8/15-8/28. Permit not issued due to public comments requesting changes to project. Staff in discussion with applicant.	BLDG. - Approved 3/2/23 CO			gc/st
30 -Day Review, Incomplete or Additional Submittal Review Projects:											
7	Arnold	2870	Cedar	10/23/2023	CDP23-017	New 2,380 sf Single Family home with an attached 1,115 sf ADU and 468 sf garage.	Under Review				st
8	Murphy	450	La Jolla	10/18/2023	CDP23-021	Garage Conversion to 303 sf JADU	Under Review				st
9	Kirkley	456	Panay	10/17/2023	CDP23-020	Admin CDP for 315sf attached ADU to an existing 871sf single story home.	Under Review	Bldg. - Disapproved 10/23/23			ao
10	Acree	2970	Cedar	10/12/2023	CDP23-018	802 sf addition to exisiting 1200 sf single family home. New 1007 sf ADU	Planning disapproved 10/31. Waiting for PW and Fire to review before sending incomplete letter.				st
11	T-Mobile	1478	Quintana	10/11/2023	TUP22-03	Temporary Use Permit to allow Cell on Wheels (COW), a temporary wireless facility in the parking lot of the Rock Harbor Church while rooftop repairs are being made to the damaged rooftop wireless facility.	Under Review. Project deemed complete 10/27. Fire Dept asking for additional project details. Anticipated noticing to commence 11/2nd				cj
12	Baston	551	Embarcadero	10/11/2023	CR23-010	Conceptual Review (no application) of potential redevelopment of city lease site at 551 Embarcadero for a mixed use development of hotel and retail use.	Under review				cj

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13	Albano	2591	Juniper	10/11/2023	CDP23-019	New 591 sf ADU attached to an existing 2,473 sf single story home at 2591 Juniper St. The ADU will convert 591 sf of the existing single-family home, after the proposed conversion the home shall remain at 1,882 sf	Planning review finished, waiting for PW and Fire review before sending letter.				st
14	Funk	2541	Nutmeg	9/14/2023	CDP23-016	Remodel of existing 3,591 sf 3-story residence with attached 2 car garage and attached 1 car garage.	Does not require CDP, email to applicant 10/10. Follow up email sent 10/24, application withdrawn 10/25.				st
15	Eiseman	541	Atascadero Rd	8/17/2023	MAJ23-003 (modification to CUP21-09 and CDP21-029 still processing)	Major modification while processing for a 4 unit attached home project	Planning comments sent October 19, 2023, requires resubmittal. Requires environmental, updated proposal received - contracts under review.				nh
16	Wood	260	Pacific	8/3/2023	CDP 23-015	CDP for a new 748 sf ADU and a new 958 sf 3-car garage to replace the existing 2-car garage	Incomplete letter sent 8/31.				st
17	Pennachio	2810	Juniper	7/21/2023	CDP23-012	DIGEPLAN: Admin CDP for new 2 story 1,398sf SFR w/ 812sf attached two car garage	Planning disapproved 8/16/23. Awaiting resubmittal, and under review	Bldg. - Approved 8/8/23			ao
18	Champi	460	Errol	7/19/2023	TUP23-02	Temporary Use Permit for fencing and outdoor storage to assist with storm cleanup	Received submittal, under review. Planning disapproved August 15, 2023, requires a resubmittal.				nh
19	Gumm	735	Napa	6/15/2023	CDP23-010	Convert three retail spaces into 3 residential units	Planning Review completed - need PW comments. Comments provided to applicant on 7/16/23, Requires a resubmittal. Property owner may change direction and withdraw request for new housing approval.				nh
20	Iwanicha	640	Elena	6/8/2023	CDP23-011	Remodel and addition to existing 2 bedroom/1 bath home	Planning disapproved the project on 7/27/23, requires response to comments and a resubmittal.				nh
21	Morro Rock LLC	1260	Main	5/23/2023	CDP23-009	Convert existing building into 5 new hotel rooms associates with the Masterpiece Hotel	Under review, requires new zoning code - on hold until new zoning code is certified by CCC				nh
22	Boges	640	Kings	3/30/2023	CDP23-006	New detached 908sf ADU with attached to a 720sf garage below.	Incomplete Letter sent 4/20	BLDG. - Disapproved CO			gc/st
23	Newman	961	Balboa	3/27/2023	CDP 23-005	Admin CDP for a new 2058 sf house with an attached 409 sf garage and 185 sf storage space with a 450 sf ADU .	Under review. Incomplete Letter sent 4/20.	BLDG. - Approved 4/10/23 CO			st
24	Gillen	495	Embarcadero	3/7/2023	CUP23-04	Conceptual Review (no application) of potential redevelopment of city lease site at 495 Embarcadero as a mixed use development of hotel, restaurant, and retail uses.	Under review. Project needs Consent of Landowner. Applicant requested to put application on hold.	BLDG. - COND Approved CO			cj
25	McDonald	300	Sicity St	1/31/2023	CDP23-002	New 2155 s.f. SFR w/ attached 284 s.f. garage and 409 s.f. decking on a vacant lot .	Incomplete letter sent 3/13/2023	BLDG. - Approved 2/10/23 CO			gc/st
26	Gonzalez	590	Radcliff	10/25/2022	CDP22-034	Admin CDP for a new 1,956 two story SFR with a 522sf attached garage and 640sf second story deck.	Under review. Planning disapproved and incomplete letter sent on 11/22.	BLDG. - Approved 10/27/22 CO			gc/st
27	MSA Architects	2417	Greenwood Ave.	8/24/2022	CDP22-030	Admin CDP to develop a new 562 detached ADU	Incomplete letter sent on 9/12/22, resubmittal on 10/26, under review, minor edits request on 11/17, withdrawn.	BLDG. - Approved 8/25/22 CO			gc /st
28	Shepler	2181	Sunset Ave	8/24/2022	CDP22-029	CDP Application for a new third dwelling and one ADU on a property with two existing homes	Comment letter sent on 9-5-22. Resubmittal received 10/24/22, planning requires minor changes and sent letter November 10, 2022. Requires resubmittal.	BLDG. - Approved 8/25/22 CO			nh
29	Kersten	1358	Prescott	7/27/2022	CDP22-024	Admin CDP for partial conversion of an existing (522sf) attached garage into a single story 276sf ADU.	Incomplete letter sent on 08/09/22	BLDG. - Approved 8/9/22 CO			gc/st
30	McDonald	471	Panay	6/1/2022	CDP22-019	Admin CDP for the new construction of a two story residence	Incomplete Letter Sent 6/14	BLDG. - Approved 6/14/22 CO			gc/st
31	Vanderbyl	531	Yerba Buena	4/20/22	CDP22-015	Admin CDP for shed conversion into 468 sf ADU	Correction Letter send 5/12/22. Resubmittal received 7/21/22 - review comments sent on August 6, 2022, requires resubmittal. Resubmittal received and planning disapproved based on fire/life/safety issues on 10/24/22. Resubmittal required.	BLDG. - COND Approved 5/11/22 CO			nh
32	Hartman	320	Orcas St	4/14/22	CUP22-07/ CDP22-010	New SFR with attached garage to replace home destroyed in fire	Correction letter sent 5/1/22. Resubmittal received March 28, 2023. Planning comments sent on April 10, 2023, project requires resubmittal with changes. Planning Comments sent - requires a resubmittal. Resubmittal received and under review. Planning comments sent 5/17/23, requires a resubmittal. Project designed for new zoning code, so needs to wait for the code certification, or redesign to the existing code. Comments provided 7/10/23, project on hold pending decision by applicant. Applicant received clarification as to the options they have to proceed, they will get back to us and let us know if they are waiting for the new zoning code to be certified. No new information from application as of 10/30/23.	BLDG. - Approved 3/30/23 CO			nh
33	Morro Bay LLC (Keller)	1108	Front Steet	11/8/21	MAJ21-007	Major Modification permit for Expansion and extensive remodel of second floor short term rental unit.	Planning comments sent 11/23/21, requires resubmittal. Applicant may put this application on hold until the adoption of the new zoning code (i.e. includes street setbacks closer to the actual placement of the building) (needs the IP sections to be final via CCC approval)	BLDG. - Approved 11/17/21 CO			nh

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
34	Shorey	545	Atascadero Rd	3/30/21	CUP21-04/CDP21-013	Proposed 16 units of new townhomes on sloped vacant parcel	Project was reviewed and comments provided in 2021. Applicant requested to keep the project open and has been working with public works and caltrans on utility requirements and frontage improvements. Project resubmitted for review on April 19, 2023 - under review by all departments. Planning deemed project complete on 5-23-23. Requires environmental study before scheduling for PC hearing. Environmental proposals received and are under review.				nh
35	Vistra	1290	Embarcadero	12/28/20	CDP20-026 & CUP20-14	Battery Energy Storage System (BESS) - New proposed project to construct 600MW BESS on old tank farm north of existing Morro Bay Power Plant. BESS to be constructed as 3 separate buildings, 30 feet in height plus 10 feet of screening for rooftop equipment.	Under initial review. Project deemed incomplete and incomplete letter sent 1-21-2021. Applicant resubmittal received 2-17-2021 and under review currently. Project deemed complete for processing on 2/23/2021. Project plans and documents being evaluated. Environmental review process in progress. NOP released and two scoping meetings held on 6/21/22 and 6/29/22. Environmental review and analysis still in process.	BLDG. - Approved 3/11/21 CO			cj
36		1290	Embarcadero		Master Plan	Morro Bay Power Plant Master Plan	The Master Plan for the Power Plant property was initiated in 2022 as a result of General Plan/LCP Policy LU-5.4 which requires a master plan be developed as a result of the planning permit application for the Battery Energy Storage System Project. Master Plan community workshop was held 9/14/22. Survey on the Master Plan done and tabulations still in process. The survey was done to seek additional community feedback on development of the Master Plan. The survey focused on the community's land use preferences, circulation improvements, and design amenities for the overall property.				cj
Projects Appealed to Planning Commission or PC Continued projects - none											
Projects Appealed or Forwarded to City Council - none											
37	City of Morro Bay		City-wide	-		Objective Design Standards draft (Zoning Code/ Implementation Plan amendment) to be added as Zoning Amendment Chapter 17.31	Objective Design Standards drafted as a result of 2020-2028 Housing Element Implementation grant funding. The Objective Design Standards are proposed to be added as an amendment to the Zoning Code (Chapter 17.31). Continued from 5/16/23 PC meeting. Hearing held on 6-6-23 with a continuance to 7-18-23. PC continued to August 15, 2023. PC provided recommendation to forward to CC. CC hearing scheduled for 10/10/23.				nh
Environmental Review - none											
Final Map Under Review Projects:											
38	Huber	2783	Coral Ave	8/30/22	TTM22-03	5 unit residential subdivision	Planning approved, forwarded to PW.	BLDG. - Approved 4/14/22 CO			nh
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing - none											
Grants:											
39	City of Morro Bay		City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. City Council approved Cooperation Agreement for 2021-2023 CDBG Program Years at 5/26/20 Council meeting. Notice of Funding Availability for 2023 Program Year released fall 2022. Council draft recommendations considered 12/22 and final funding recommendations to be on 3-28-2023 to forward to County Board of Supervisors for inclusion in their Annual Action Plan 4/18/23. 2024 Notice of Funding Availability now accepting applications. Applications available from County Dept of Social Services and due 11/5th	No review performed.	N/R		cj
40	City of Morro Bay		City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
Projects in Building Plan Check:											
41	Castillo	1055	Allesandro St.	6/3/2021	B21-0097	250 sf addition to rear of existing SFR, addition creates two bedrooms and one full bath.	Planning disapproved 7/2/21. Resubmittal received 7/25/22. Resubmittal disapproved 8/01/22. Planning disapproved 3/1/23	Bldg. - Disapproved 3/27/23			st
42	Castillo	1055	Allesandro St.	7/25/2022	B22-0158	Jr. Accessory Dwelling Unit (JADU) - Existing bedroom in primary dwelling will be converted to JADU.	Planning disapproved 8/1/22. Reviewed resubmittal and disapproved 3/21/23	Bldg. - Disapproved 3/27/23			gc
43	Conway	305	Arbutus	1/4/2023	B22-0269	DIGEPLAN - 390 sf addition, expanding lower level family room and 2nd level primary bedroom & bath, the remodel includes kitchen and relocating two bathrooms to accommodate the installation of new elevator. The addition creates a 2nd level 378 sf rear deck.	Planning disapproved 1/26/23. St Waiting on resubmittal	Bldg. - Approved 6/12/23			st
44	Goldstein	186	Bayshore Dr.	11/4/20	B20-0190	Remodel kitchen, dining & living area.	Planning disapproved 11-6-20	Bldg. - Approved 11/09/20			sg

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45	Carter	2035	Bayview Ave.	8/5/21	B21-0135	New SFR, 1980 sf living, with 483 sf attached garage, 96 sf covered deck, 267 sf covered rear patio and 32 sf covered front porch.	Disapproved 8-26-21. am	Bldg. Disapproved 9/21/21			cj
46	Perry	3202	Beachcomber Dr	2/9/23	B22-0264	Demo existing, new construction of 2567 sf home iwth a 2424 sf subterranean garage on lower level and 963 sf roof deck. Home to be located on newly configured parcel (requires final TM)	Planning disapproved 2/19/23. nh Disapproved 6/15/23 - minor correction on title page	Bldg. - Approved 6/20/23			nh
47	Perry	3230	Beachcomber Dr	2/9/23	B22-0265	New SFR on new parcel. Home is 1816 sf with a 471 sf garage and a roof deck.	Planning disapproved 2/19/23. nh Disapproved 6/15/23 - minor correction on title page	Bldg. - Approved 6/20/23			nh
48	Sances	515-A	Bernardo Ave	10/19/23	B23-	DIGEPLAN - ATTACHED ADU, Converting existing interior space to an ADU at the rear lower level of an existing SFR	Under Review				
49	Siegel	535	Bernardo	8/9/23	B23-0189	Installation of a 10' x 20' with 12" overhang detached one-car carport in front of existing residence.	Planning disapproved 8/16/23. Awaiting resubmittal	Bldg. - Disapproved 8/15/23			ao
50	Segovia	2824	Birch Ave.	3/21/22	B22-0057	Cover patio, conversion to sunroom.	Disapproved 4/1/22	Bldg. - Approved 3/24/22			gc
51	Dillard	1256	Bolton	3/30/22	B22-0072	Convert Unfinished Underfloor Space in 986 sf of conditioned livable space	Disapproved 4/7/22. Resubmittal approved 7/29/22.	Ready to issue			am
52	Engvall	370	Bonita	5/22/23	B23-0110	Addition to existing SFR for a detached 554 sf ADU.	Planning approved 5/23/23	Bldg. - Disapproved 6/20/23			gc
53	Youngbauer & Harrison		Cabrillo	10/2/23	B23-0244	Remove 296sf of existing elevated decking, reconstruct approx 120sf of elevated decking/stairs, waterproof, new posts and railing of a 2nd story deck. New doors and windows (three in bedrooms), new siding on upper floor and new stucco on lower floor.	Planning Approved 10/3/23	Bldg. - Approved 10/5/23			sg
54	Meyer	361	Cerrito Place	10/24/23	B23-0272	Remodel 307 sf of existing 4415 sf SFR, replace SGDs, install new plumbing fixtures, replace (1) bathroom, new lighting & receptacles, replace kitchen cabinets, new tile & flooring, new countertops	Planning 10/31/23				
55	Berner	2750	Dogwood Ave.	12/6/22	B22-0260	Add 235 sq of conditioned space, including a new bathroom, additions to bedroom and utility room, 297 sf, roof deck, spiral stair, ground floor deck (136 sf), less than 30" above existing adjacent grade.	Planning approved 2/28/23. st	Ready to issue			st
56	Van Beurden Investments	701-715	Embarcadero	8/14/23	B23-0192	Repair and maintenance to existing wharf and pilings. Remove a 580 sf windscreen and fish processing area, install new decking and railing to create a continuous accessible harborwalk connecting to existing North and South portions. Upgrade facade with board and batten siding and corrugated metal accents.	Under Review. Corrections required 9/25/23. cj	Bldg. -Disapproved 9/6/23			cj
57	Zero Impact Solutions	339	Embarcadero	10/24/23	B23-0260	DIGEPLAN - Installation of two, level 2 Electric Vehicle Chargers in the Tideland Park parking lot. Trenching for electrical at existing panel at restroom building to EV chargers, Includes four ports, one is van accessible and three are standard.	Under Review				
58	TLC Family Enterprises	833	Embarcadero	3/16/22	B22-0052	Addendum #1 to B20-0220 - Removal of parapet wall which requires removing steel post below and show railing on upper level. Revert back to cantilevered floor joists for hotel access walkway upstairs.	Disapproved 3-21-22. Resubmittal approve 7-11-23. cj	Bldg. - Approved 7/13/22			cj
59	TLC Family Enterprises	833	Embarcadero	9/13/23	B23-0225	Addendum #5 to B20-0220 - ADA Ramp, steps, and handrailing to meet elevation and make connection to neighboring / existing harborwalk.	Planning conditionally approved 9/21/23				cj
60	Guldenbrein	481	Estero Ave	1/5/23	B23-0003	New fencing & retaining walls, exterior electrical grading & catch basin installation w/pump in front yard. (see plans)	Disapproved 1/19/23	Bldg. - Disapproved 1/18/23			st
61	Dores	150	Gilbert St	7/20/23	B23-0167	DIGEPLAN - 110 sf addition to primary bedroom, remodel existing primary bathroom and closet, remodel kitchen, new 111 sf open air roof, replace 200 amp electrical panel with new.	Planning Approved 9/18/23	Bldg. - Approved 9/14/23			ao
62	Hakker	733	Harbor St	9/22/23	B23-0233	DIGEPLAN - Construct 810sf detached (unconditioned) garage with electrical at rear of property, relocate existing shed, replace existing electrical panel at primary dwelling to 200 amp panel.	Under Review				sg

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
63	Duffy	2865	Ironwood Ave	4/24/23	B23-0087	Addendum #1 to permit B22-0201 - 1. Lower floor existing 2x4 exterior walls were shown in new plan as 2x6, but were not shown as being "demo'd". 2. Additional SF has been built inside garage space. 3. Structural beams and corresponding footing in slab removed.	Disapproved 4/27/23	Bldg. - Disapproved 5/1/23			st
64	Sotelo	2990	Ironwood Ave	3/2/23	B22-0285	DIGEPLAN - New three story SFR - 3799 sf living, 926 sf attached garage, with 2nd and 3rd floor decks totaling 210 sf, 562 sf covered patios and 535 sf under floor storage area.	Disapproved 3/9/23	BLDG. - Disapproved 3/27/23			gc
65	1st Intrstate Bank of Oregon	340	Jamaica St	10/27/23	B23-0277	Demolition of a 1,379 sf commercial structure (former Auto Body Builders), no proposed new development at this time. Asbestos removed, NESHAP survey approved per APCD. B-Contractor will sub out demo to specialty C-21 sub-contractor.	Planning disapproved 10/31/23				
66	Johnston	2781	Juniper Ave.	6/2/21	B21-0094	New 463 sf 2nd story deck at rear of existing SFR, also replace five existing windows with three new sliding glass doors.	Planning disapproved 6/3/21. Planning approved resubmittal 7-20-21.	Ready to issue			sg
67	Cook	2941	Juniper	10/26/22	B22-0243	Demo unpermitted studio at lowest level of existing SFR and convert that space with additional underfloor space to create new workout area, bathroom, theatre, storage, and stairs to access upper levels adding aprox. 906 sf to SFR.	Planning approved 10/31/22	Ready to issue			sg
68	Gale	550	Kern Ave	8/29/23	B23-0209	DIGEPLAN - New 2 story single family residence, 2412sf of living, 464sf attached garage, and 398sf 2nd story deck. Attached lower level ADU under B23-0210	Under Review				st
69	Gale	550-A	Kern Ave	8/29/23	B23-0210	DIGEPLAN - Attached ADU, 925sf lower level ADU, constructed with new 2 story single family residence under B23-0209	Under Review				st
70	Tarver	671	Kern Ave	12/22/22	B22-0271	DIGEPLAN: New 255 SF attached Accessroy Dwelling Unit (ADU)	Planning resubmittal approved 4/5/23	Ready to issue			gc
71	Cia	2551	Koa Ave.	2/23/22	B22-0038	New 3 bed 2.5 bath SFR w/attached 2-car garage.	Planning Approved resubmittal 6/28	Ready to issue			gc
72	Daniels	964	Las Tunas St.	8/3/21	B21-0133	Remodel the laundry room & add a bedroom, bathroom & hallway to the back of existing home in phase I. Phase 2, build a detached garage	Planning approved 5-12-22	Bldg. - Approved 5/16/21			sg
73	Kevorkian	2615	Laurel Ave.	1/10/23	B23-0005	Addendum #1 to B22-0183, Change the deck configuration to reduce square foot to below existing square foot.	Planning disapproved and sent incomplete comment letter on 1/27/23.	Bldg. - Approved 1/17/23			gc
74	Novell/Johnson	273	Main	2/23/23	B23-0038	DIGEPLAN - 73 sf stairway addition to existing home to create interior connection between the upper and lower floors.	Planning disapproved 3/6/23. Waiting on resubmittal. Cj	BLDG. - Disapproved 3/2/23			cj
75	CenCal Enterprise, INC	2030	Main St.	9/21/22	B22-0232	The scope of work has changed. Applicant is now proposing to convert an existng space into an office space, and staff is awaiting the withdrawal of MIN22-005 to proceed with the Building Permit review process.	Planning approved 1/11/23	Bldg. - Disapproved 11/15/22			gc
76	Micro Property Group LLC, Brian Der Vartanian	2490	Main St	8/31/23	B23-0216	Commercial T.I. - Maintain existing restaurant use, demo drywall / all walls and ceilings, R&R walk-in freezer, R&M existing kitchen hood, install new & used kitchen fixtures, add emergency egress door in dining room, accessibility improvements, exterior ADA compliant ramps and striping.	Under Review	Under Review			st
77	Central Coast Renewables	3250	Main St	10/23/23	B23-0269	Addendum #1 to B22-0108 - 1) Relocate roll-up door from north elevation to west elevation in place of existing window. 2) No longer demolishing north portion, 170 sf included to structure. 3) Adding new pre-fab awning in place of existing awning. 4) Revision to ADA parking space location on north side due to separate frontage improvents.	Planning Approved 10/24/23				
78	Pavacich	501-C	Marina	10/3/23	B23-0248	DIGEPLAN - New 664sf single story detached ADU. ADU will be adjacent to an existing two-story, two unit apartment building designated as A & B.	Under Review				nh
79	Hauser	311	Mindoro St	1/3/23	B23-0001	Remove existing second floor cantilevered deck (615 sf), replace with (187 sf) deck.	Planning approved 2/3/23	Ready to issue			sg

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
80	Jennings	1195-A	Monterey	5/4/23	B23-0112	Build an attached 908 sf ADU on the west side of a SFR.	Planning approved 6/1/23	Bldg. - Disapproved 6/26/23			gc
81	Grady	400	Morro Bay Blvd.	9/20/23	B23-0230	DIGEPLAN - Commercial TI, remodel former thrift shop to 1096sf restaurant and bar with kitchen, food prep, dining area (and outside dining), office, and restrooms. MEP's, hood installation, and accessible upgrades.	Under review				sg
82	JP Morgan Chase Bank	595	Morro Bay Blvd.	3/31/22	B22-0060	Installation of one solar carport, 99' 3 1/16" X 16' 7 3/8", with 15 modules, wall mounted PV equipment and four carport mounted lights, located in the existing Chase Bank parking lot.	disapproved 4/7/22	Bldg. - Disapproved 5/17/22			am
83	Pavacich	646 & 648	Napa	10/3/23	B23-0247	DIGEPLAN - Construct new 1976sf single level duplex with 546sf attached garages, making each unit 988sf of living with a 273sf attached garage.	Under Review				nh
84	Tsutomoto	739	Napa	9/25/23	B23-0234	Commercial TI of 533sf retail space to restaurant, new vinyl flooring and installation of kitchen equipment and drain systems for Sushi Hide Japanese Restaurant. Includes small dining area with seating for three and a prep table.	Under Review				sg
85	Mollaghaffari & Hawes	427	Oahu St.	5/5/22	B22-0087	New 2nd floor single family residence, 1048 sf living, with a 258 sf 2nd story deck, and 255 sf single car garage. (The garage and an ADU make up the 1st floor level, see permit B22-0088 for attached ADU).	Planning disapproved 5-12-22. Planning approved 1/20/23	Ready to issue			nh
86	Mollaghaffari & Hawes	427-A	Oahu St.	5/5/22	B22-0088	Attached ADU - 702 sf Accessory Dwelling Unit.	Planning disapproved 5-12-22/ Planning approved 1/20/23	Ready to issue			nh
87	De Fazio	570-A	Olive	9/12/23	B23-0221	Addendum to permit B22-0122 - Addition of a 49sf unconditioned utility room off the back of ADU.	Planning disapproved 9/25/23.				cj
88	Dowty	580	Olive	3/7/23	B23-0049	Removal of an existing 461 sf detached garage and construction of a new 1051 sf ADU.	Planning disapproved 4/4/23. Resubmitted 6/8. Planning approved 6/13	BLDG. - Approved 6/12/23			st
89	Currey	154	Orcas St.	3/23/22	B22-0062	Remodel & additions to kitchen, entry, & masterbedroom.	Disapproved 4/11/22 Resubmitted 11/22. Planning approved 12/8	Bldg. - Approved 12/1/22			gc
90	Currey	154-A	Orcas St	3/23/22	B22-0063	171 sf addition as an ADU	Disapproved 4-11-22	Bldg. - Approved 12/1/22			sg
91	Lutschaunig	965	Pelican	2/27/23	B23-0044	Addition to existing bathroom for a shower, 42 sf. Also reconfiguring existing bathroom.	Planning disapproved 3/2/23	BLDG. - Approved 3/2/23			st
92	Appel	400-A	Pico St	8/18/21	B21-0149	Convert existing garage to an ADU without changing the footprint of the garage.	Approved 8/25/21	Bldg. Disapproved 9/10/21			am
93	Phelps	490	Piney Way	10/19/23	B23-0267	Addendum #1 to B22-0017 - Drainage details that were not included on the landscape or erosion control sheets in the approved plans	Approved 10/23/23				

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
94	Ion	498	Piney Way	9/20/23	B23-0059	296sf non-habitable detached storage shed/workshop with electrical access.	Planning Disapproved 10/9/23	Bldg. - Conditionally Approved 10/11/23			ao
95	Lee	684	Piney Way	9/10/20	B20-0168	Demo existing detached 416 sf work shed with bathroom & reconstruct new 416 sf garage/shop with electrical, keeping existing bathroom on existing slab/foundation.	Planning disapproved 9/15/20. Requires a Admin CDP and Parking Exception prior to review and approval of the building permit. Planning disapproved resubmittal 2/24/21.	Bldg. - Disapproved 3/1/21			nh
96	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and assoicated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2") with associated electrical wiring.	Approved 9/26/19.	Ready to issue			cj
97	Camargo	431	Rockview St	10/30/23	B23-0278	Rebuild deck on back of house approx 420 sf. Treated wood sub-structure, concrete pier w/ Simpson metal "Trex" composite deck, 42" tall railing entire deck 3 1/2" gap between pickets.	Under Review				
98	Hanton	425	Shasta Ave	1/17/23	B23-0004	DIGEPLAN - Enclose the current breezeway to create a new 90 sf entry, a 350 sf addition creating a primary suite and bathroom, also create a valuted space in the existing garage by removing roof and replace with new composition roof.	Planning disapproved 2/16/23	Bldg. Disapproved 2/14/23			gc
99	Parker	580	Shasta Ave	8/31/20	B20-0159	Add new detached garage	Planning under review. Planning disapproved 9/8/20. Need resubmittal	Bldg. - Disapproved 9/14/20			nh
100	Morro Bay Ventures	201	Verdon Ct.	1/4/23	B22-0273	DIGEPLAN - New single story, single-family residence, 2,361 sf living, with 483 sf covered porch and a 450 sf attached garage.	Planning disapproved 1/11/23. Planning approved 7/26/23	Bldg.- Approved 7/20/23			nh
101	Morro Bay Ventures	202	Verdon Ct.	1/4/23	B22-0277	DIGEPLAN - New single story, single-family residence, 2,361 sf living, with 483 sf covered porch and a 450 sf attached garage.	Planning disapproved 2/2/23. Planning approved 7.26.23	Bldg. - Approved 7/20/23			nh
102	Morro Bay Ventures	205	Verdon Ct.	1/4/23	B22-0274	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. See permit B22-0279 for attached ADU.	Planning disapproved 1/11/23. Planning approved 7/26/23	Bldg. - Conditionally Approved 7/20/23			nh
103	Morro Bay Ventures	205-A	Verdon Ct.	1/4/23	B22-0279	DIGEPLAN - New 517 sf attached Accessory Dwelling Unit (ADU). See permit B22-0274 for new SFR.	Planning disapproved 1/11/23. Planning approved 7/26/23	Bldg.- Conditionally Approved 7/20/23			nh
104	Morro Bay Ventures	206	Verdon Ct.	1/4/23	B22-0276	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage.	Planning disapproved 1/11/23. Planning approved 7/26/23	Bldg. - Approved 7/20/23			nh
105	Morro Bay Ventures	210	Verdon Ct.	1/4/23	B22-0275	DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. See permit B22-0280 for attached ADU.	Planning disapproved 1/11/23. Planning approved 7/26/23	Bldg. - Conditionally Approved 7/20/23			nh
106	Morro Bay Ventures	210-A	Verdon Ct.	1/4/23	B22-0280	DIGEPLAN - New 517 sf attached Accessory Dwelling Unit (ADU) - See permit B22-0275 for new SFR.	Planning disapproved 1/11/23. Planning approved 7/26/23	Bldg.- Conditionally Approved 7/20/23			nh
Planning Projects & Permits with Final Action:											
1	Khanna	2900	Alder	6/7/2023	MAJ23-002	Major modification to existing permit to reduce size of project into 5 single story hotel rooms	Comments sent on 7/9/23, requires resubmittal. Project was resubmitted on July 19, 2023, under review.. Project deemed complete and on the schedule for PC hearing on October 3, 2023. PC approved the project on October 3, 2023 and a permit was issued.				nh

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
2	Ferrin	2772	Indigo Circle	4/20/2023	CDP23-008/CUP23-08	A new single story 2,491sf SFR with an attached 559sf garage, and a 192sf studio on a vacant lot located in the Cloisters subdivision.	Incomplete letter sent 5/15. Resubmittal 7/24. Completeness letter sent 8/7. PC hearing 10/3.				gc/st
Staff Directory: Scot Graham - sg Chad Ouimet - co Cindy Jacinth - cj Pam Newman - pn Nancy Hubbard - nh Susana Toner - st Alex Ortega - ao											



AGENDA NO: B-1

MEETING DATE: November 7, 2023

Staff Report

TO: Planning Commissioners

DATE: November 2, 2023

FROM: Scot Graham, Community Development Director
Cindy Jacinth, Planning Manager

SUBJECT: Request for Zoning Code/ Coastal Implementation Plan (IP) Map Amendments to correct technical errors and inconsistencies with the 2021 General Plan/ LCP Land Use Map (Case file #MAJ23-005)

RECOMMENDATION:

FORWARD FAVORABLE RECOMMENDATION to City Council for approval of Zoning Code/ Coastal Implementation Plan (IP) Zoning Map Amendments by adopting Planning Commission Resolution 18-23 making the necessary findings for approval of MAJ23-005.

Proposed Amendments

On October 3, 2023 the Planning Commission adopted Resolution 15-23 forwarding a favorable recommendation to the City Council for amendments to the Zoning Code/Coastal Implementation Plan (IP). The public hearing included a review of the proposed Zoning Code/IP Amendments requested by the Coastal Commission along with City clean up edits. Since that public hearing, additional Zoning Map errors have been discovered at eight locations around town, itemized below, where the zoning designation was found to be inconsistent with the adopted Land Use Map. Because state law requires the City's Zoning Map to be consistent with its adopted 2021 Land Use Map, staff is recommending that Planning Commission make a recommendation to Council to include these clean up edits to the Zoning Map along with the previous 10/3/2023 recommendation.

Zoning Map list of changes by APN number and/or address:

1. Eagle Rock vacant property, APN 066-221-001 change from RS-A zoning to OS zoning;
2. Morro Bay Police Station, 850 Morro Bay Blvd/870 Morro Bay Blvd, APN #066-075-021/066-075-007 change from CC zoning to PF zoning;
3. Morro Bay Fire Station, 715 Harbor St, APN 066-071-035 change from CC zoning to PF zoning;

4. Morro Bay Comm Dev/Public Works/City Hall, 595 Harbor St/955 Shasta Ave APN 066-280-025, change CC zoning to PF zoning;
5. Morro Bay Community Center/Rec Dept, 1001 Kennedy Way, APN 066-280-023; change CC zoning to PF zoning;
6. Public Library, 625 Harbor St, APN 066-280-024 change CC zoning to PF zoning;
7. 2830 Alder Ave, APN 068-212-014, change from RM zoning to NC zoning;
8. 393 Zanzibar St, APN 065-081-056, change from NC zoning to RM zoning

The proposed Map amendments would be included with the Zoning/IP Amendments recommended by PC at its 10/3/2023 meeting and forwarded together for review by City Council at its 11/14/2023 meeting. The Zoning Code/ IP Amendments are available online at www.morrobayca.gov/planmb and linked at the end of the staff report.

California Environmental Quality Act (CEQA)

Pursuant to State CEQA guidelines, a Program EIR for the Plan Morro Bay project was prepared, released for a 45 day public review process on October 19, 2020 to December 4, 2020 and certified by the City Council on May 25, 2021 (State Clearinghouse number 2021111026).

The proposed Zoning Code / Coastal Implementation Plan Amendments and Land Use and Zoning Map changes further implements the GP/ LCP which was considered through the programmatic EIR review referenced above. That document provides a programmatic review of the potential impacts associated with implementation of the overall Plan Morro Bay project. State CEQA Guidelines Section 15162 provides that no further review is required under CEQA when there are no substantial changes in the Project, there are no substantial changes with respect to the circumstances under which the Project is undertaken, and there is no new information of substantial importance, which was not known and could not have been known at the time of certification of the EIR. The proposed Zoning Code/ IP Zoning Map Amendments are recommended cleanup edits necessary to be consistent with the adopted GP/LCP Land Use Map and are consistent with the analysis presented in the EIR and therefore, pursuant to State CEQA Guidelines Section 15162, no subsequent analysis is required.

Public Noticing

Notice of a public hearing of this item was published in the San Luis Obispo Tribune newspaper on October 27, 2023 as a 1/8th page legal display ad as required for items affecting more than 1,000 residents which applies to the Citywide Zoning Code / IP amendment and individual notices of this public hearing were also sent to all owners and occupants within 500 feet of the eight (8) subject parcels for the proposed zoning map changes which provided the meeting location and invitation to comment.

CONCLUSION:

Staff recommends the Planning Commission review the proposed Zoning Code/ IP Zoning Map Amendments and forward a favorable recommendation to City Council for adoption of the 2023 Zoning Map changes (Resolution 18-23).

Exhibits:

Exhibit A – Planning Commission Resolution 18-23

Exhibit B – Existing and Proposed Zoning Map amendment for affected properties

ONLINE ATTACHMENTS:

1. [November 2022 Adopted Zoning Map](#)
2. [2021 Adopted Land Use Map](#)
3. [Proposed 2023 Zoning Map Amendment](#)

*More project information, including both the General Plan/Local Coastal Plan and Zoning Code/ Implementation Plan (IP) is available on the Plan Morro Bay website at:

www.morrobayca.gov/planmb

RESOLUTION NO. PC 18-23

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION FORWARDING A FAVORABLE RECOMMENDATION TO THE MORRO BAY CITY COUNCIL FOR ADOPTION OF ZONING CODE / COASTAL IMPLEMENTATION PLAN ZONING MAP AMENDMENTS AND FINDING THAT NO FURTHER ENVIRONMENTAL REVIEW IS REQUIRED PURSUANT TO STATE CEQA GUIDELINES SECTION 15162

WHEREAS, California Government Code Section 65300 requires the City adopt a comprehensive, long-term general plan for the physical development of the City; and

WHEREAS, Government Code Section 65860 requires that the City's zoning regulations be consistent with the General Plan and that in the event that zoning regulations become inconsistent with the general plan by reason of amendment to the General Plan, the zoning shall be amended so that it is consistent with the General Plan as amended; and

WHEREAS, in May 2021 the City adopted a comprehensive update to its General Plan and Local Coastal Program Coastal Land Use Plan (LCP) known as Plan Morro Bay; and

WHEREAS, in November 2022 the City adopted a comprehensive update to its Zoning Code / Coastal Implementation Plan via Ordinance 654 which was subsequently submitted to the California Coastal Commission as an LCP amendment application for certification and which is currently pending; and

WHEREAS, amendments to the Zoning Code /Coastal Implementation Plan (IP) Zoning Map are necessary to provide consistency with the General Plan/LCP and to ensure compliance with the California Coastal Act; and

WHEREAS, the City determined that the General Plan /LCP, including Plan Morro Bay's Zoning Code/ Coastal Implementation Plan (IP) (also referred to herein as "Project") was a project requiring review pursuant to the California Environmental Quality Act (CEQA), Public Resources Code 21000 et seq. and that an Environmental Impact Report (EIR) was prepared to evaluate the potential environmental effects of the Project; and

WHEREAS, on May 26, 2021, the City Council adopted Resolution 20-21, certifying the EIR for the General Plan Update (State Clearinghouse Number SCH#2021111026), adopting Findings of Fact and Statement of Overriding Considerations and a Mitigation Monitoring and Reporting Program; and

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing on October 3, 2023 conducted in a hybrid format with both an in-person meeting at the Morro Bay Veterans Memorial Building, 209 Surf Street, Morro Bay, CA 93442 as well as through virtual public participation provided telephonically through Zoom, and adopted Resolution 15-23 forwarding a favorable recommendation to the Morro Bay City Council for adoption of the Zoning Code / Coastal Implementation Plan Amendment and Land Use Map and Zoning Map Amendment (APN # (“Project”)); and

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing on November 7, 2023 conducted in a hybrid format with both an in-person meeting at the Morro Bay Veterans Memorial Building, 209 Surf Street, Morro Bay, CA 93442 as well as through virtual public participation provided telephonically through Zoom, for the purpose of forwarding a favorable recommendation to the Morro Bay City Council for additional Zoning Code / Coastal Implementation Plan Zoning Map Amendments (“Project”) at eight locations around town and as itemized in the October 30, 2023 staff report (APN#s 066-221-001, 066-075-021/066-075-007, 066-071-035/066-071-034, 066-280-025, 066-280-023, 066-280-024, 065-081-056, and 068-212-014); and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the written and oral staff report, presentation, public testimony on the Project, and whether the Project should be adopted; and

WHEREAS, the written staff report and exhibits to the staff report regarding the Project are found to be true and accurate in all respects and is incorporated herein by this reference;

WHEREAS, prior to the final consideration and any possible approval of any and all physical aspects of the proposed Project, the Planning Commission and all City legislative bodies involved with the proposed Project will consider the Project and the Planning Commission recommends all other governmental agencies and legislative bodies that must review or approve, if at all, the proposed Project do the same; and

WHEREAS, the Planning Commission has completed review of the Project and related materials.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay recommends that the City Council finds for approval and adoption of the

Zoning Code / Coastal Implementation Plan Zoning Map Amendment based upon the follow findings:

Section 1: California Environmental Quality Act

Finding: No further environmental review is required pursuant to State CEQA Guidelines Section 15162.

Evidence: The proposed Zoning Code /Implementation Plan Amendments further implement the General Plan/LCP, which was considered through the General Plan /LCP Update Environmental Impact Report (EIR) (SCH No. 2021111026). That document provides a programmatic review of the potential impacts associated with implementation of the overall General Plan/LCP. The EIR is comprised of a Draft EIR (Draft EIR) and Final EIR (Final EIR). The Final EIR was released for public review on October 19, 2020 and certified by the City Council on May 25, 2021.

The proposed Zoning Code/ IP Amendments and Land Use Map and Zoning Map Amendment change for the eight locations around town that are itemized in the October 30, 2023 staff report (APN#s 066-221-001, 066-075-021/066-075-007, 066-071-035/066-071-034, 066-280-025, 066-280-023, 066-280-024, 065-081-056, and 068-212-014) are consistent with the analysis presented in the EIR and, pursuant to State CEQA Guidelines Section 15162, no subsequent analysis is required.

Therefore, there are no substantial changes in the Project, there are no substantial changes with respect to the circumstances under which the Project is undertaken, and no new information of substantial importance, which was not known and could not have been known at the time of certification of the EIR, and no further environmental review is required.

Section 2: The Local Coastal Plan Implementation Program Amendments are intended to further the goals of the California Coastal Act, as set forth in Section 30001.5 of the Public Resources Code, to:

Protect, maintain, and where feasible, enhance and restore the overall quality of the coastal zone environment and its natural and artificial resources.

Assure orderly, balanced utilization and conservation of coastal zone resources taking into account the social and economic needs of the people of the state.

Maximize public access to and along the coast and maximize public recreational opportunities in the coastal zone consistent with sound resources conservation principles and constitutionally protected rights of private property owners.

Assure priority for coastal-dependent and coastal-related development over other development on the coast.

Encourage state and local initiatives and cooperation in preparing procedures to implement coordinated planning and development for mutually beneficial uses, including educational uses, in the coastal zone.

Pursuant to Morro Bay Municipal Code Section 17.64.080, no amendment to the Coastal Implementation Plan portion of Zoning Ordinance shall be legally effective in the coastal zone until the amendment is certified by the Coastal Commission. If the Coastal Commission certifies this Ordinance conditioned on substantive changes being made, then the Council will introduce and adopt another ordinance to incorporate those substantive changes. If the Coastal Commission certifies this Ordinance conditioned on non-substantive changes being made to this Ordinance, then the City Clerk is authorized to amend this Ordinance to reflect those non-substantive changes.

ACTION. The Planning Commission does hereby forward a favorable recommendation to the City Council to adopt the Zoning Code/ Coastal Implementation Plan Amendments Zoning Map Amendments for APN#s 066-221-001, 066-075-021/066-075-007, 066-071-035/066-071-034, 066-280-025, 066-280-023, 066-280-024, 065-081-056, and 068-212-014.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 7th day of November, 2023 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

William Roschen, Chairperson

ATTEST

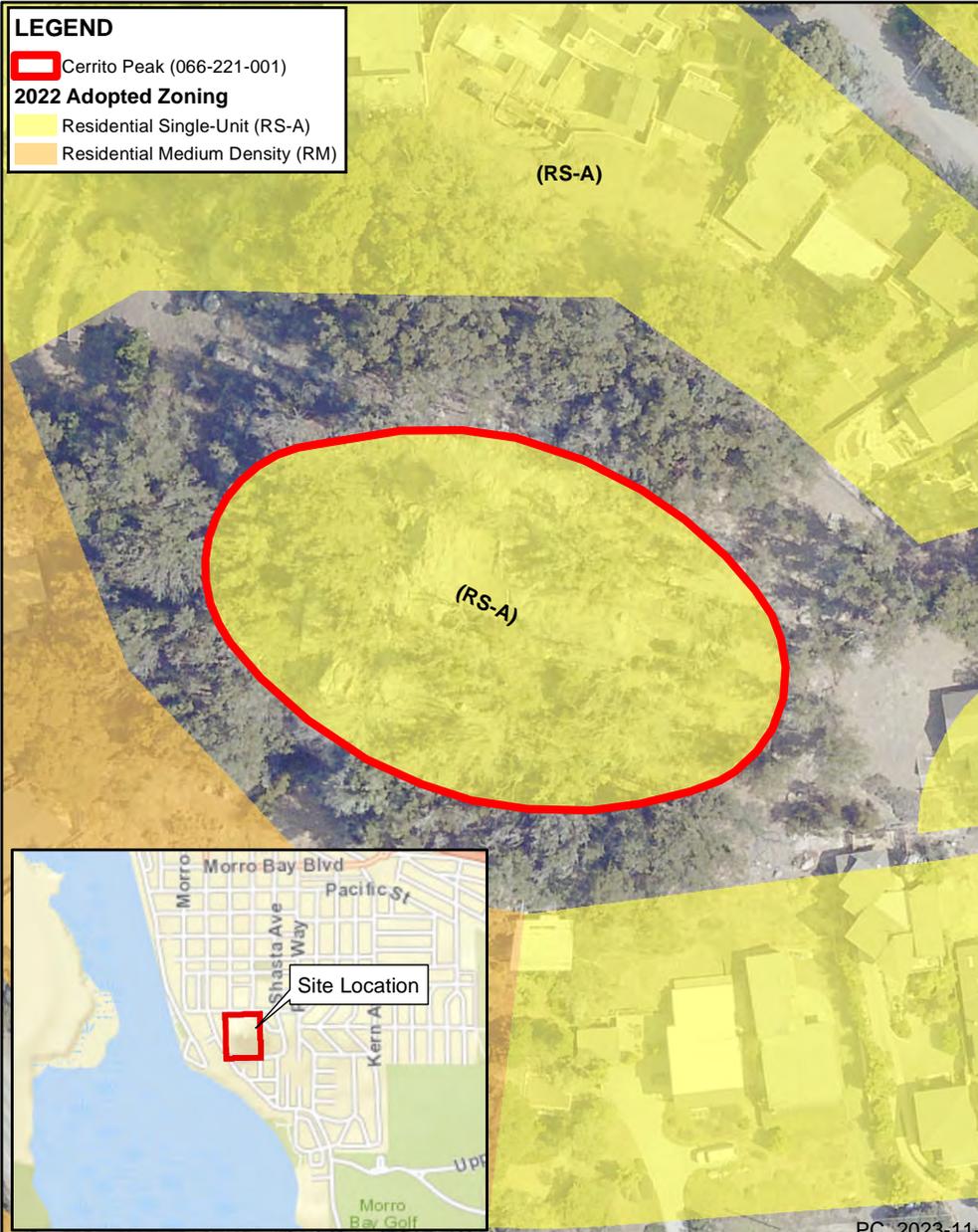
Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 7th day of November, 2023.

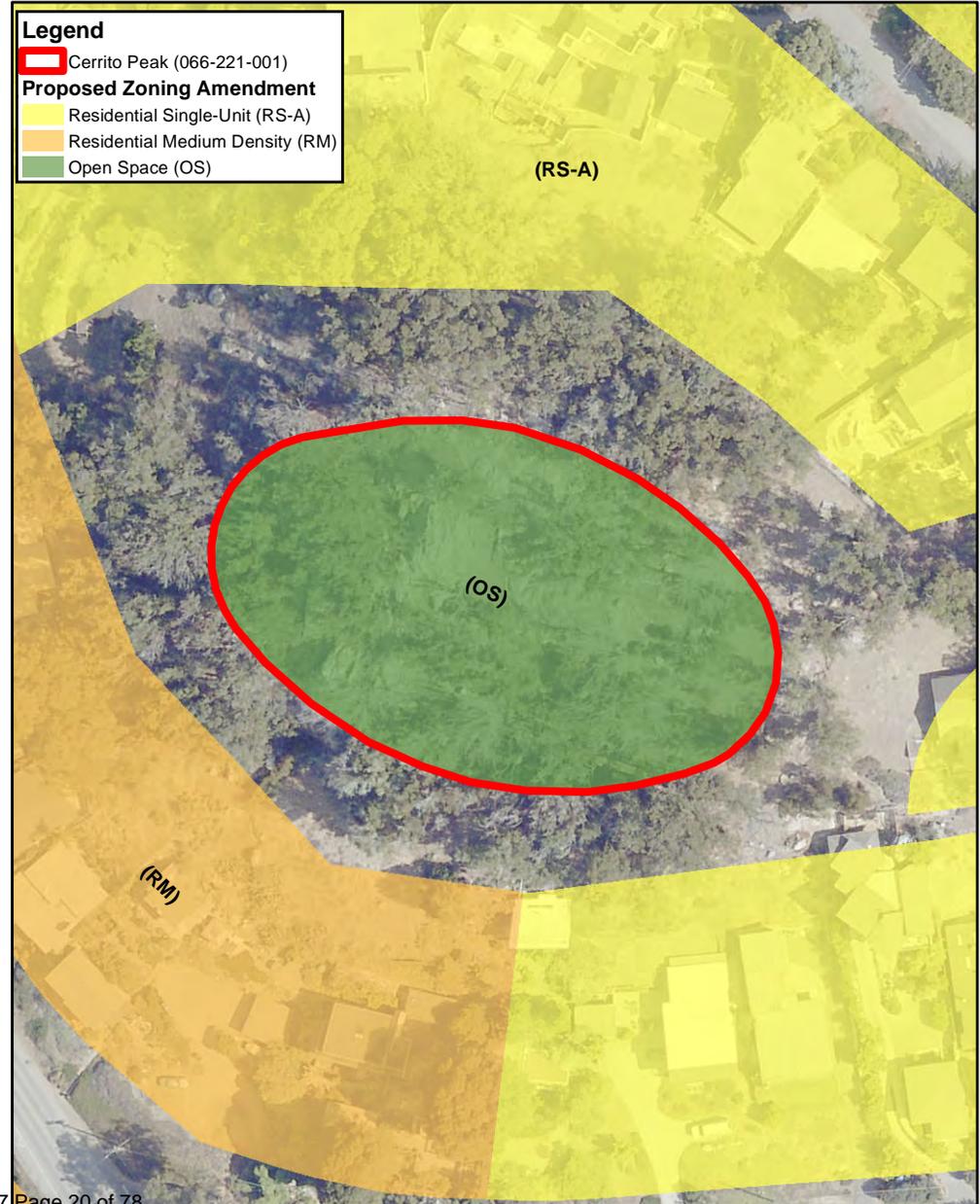


City of Morro Bay Cerrito Peak (066-221-001)

2022 Adopted Zoning



Proposed Zoning Amendment

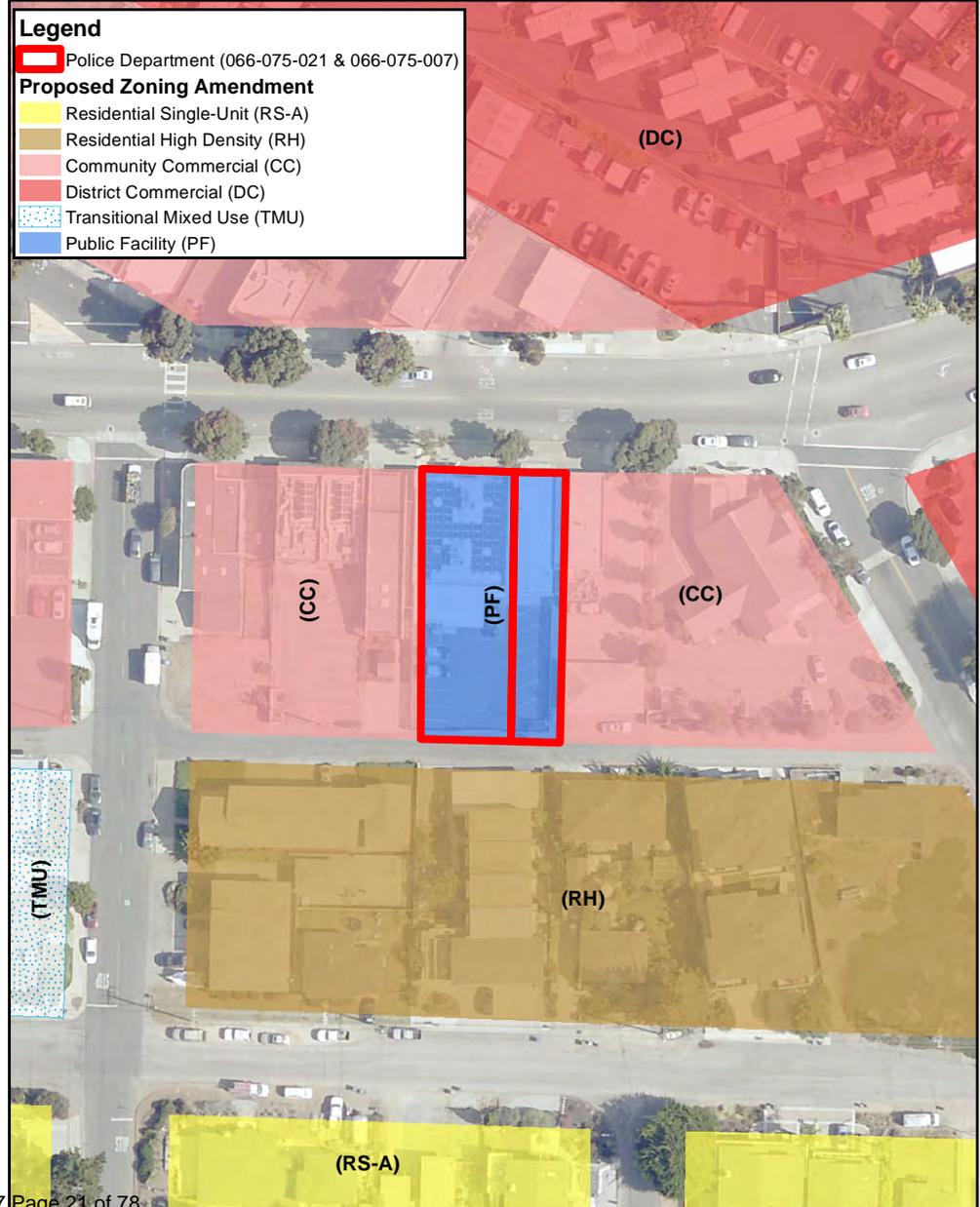
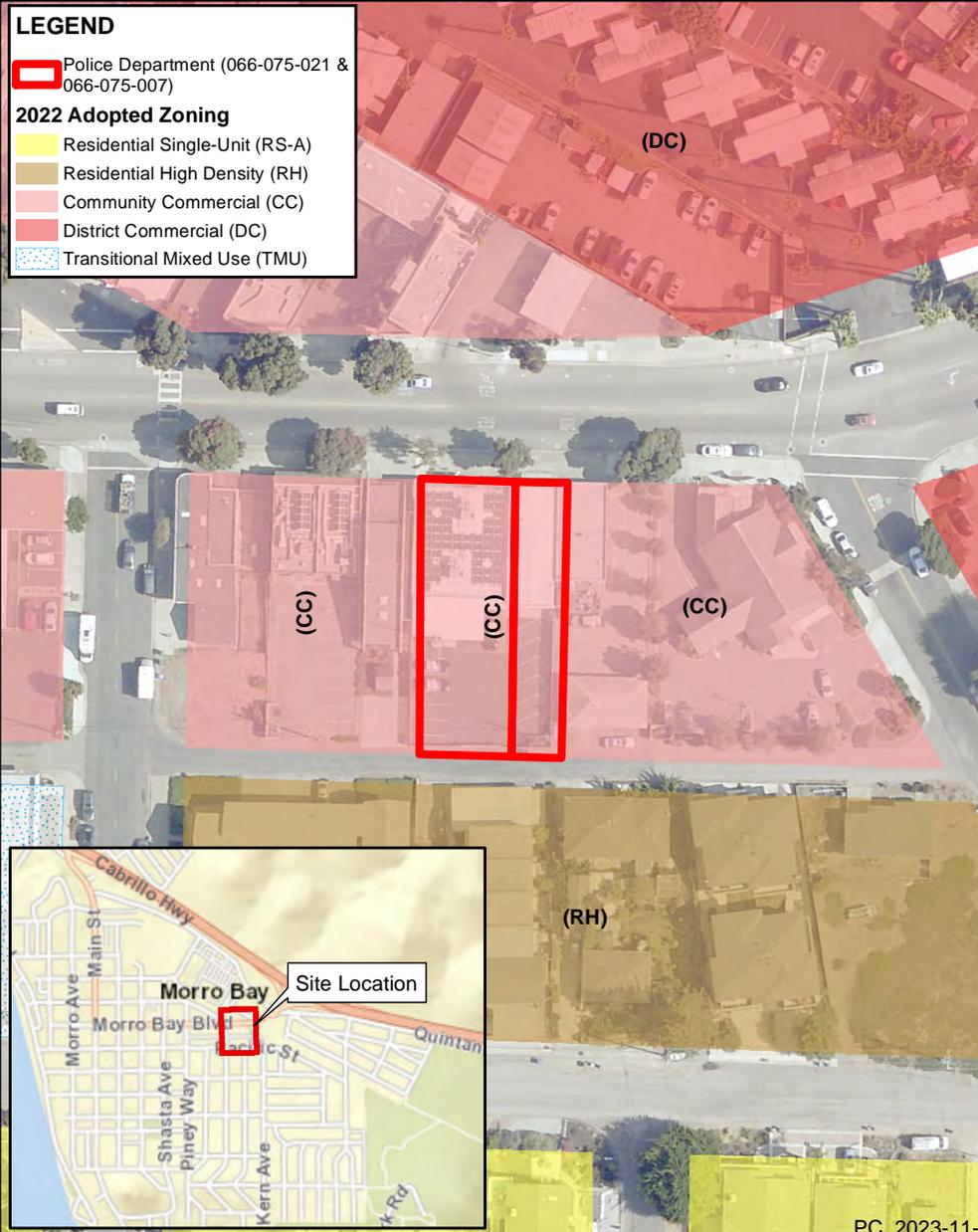




City of Morro Bay Police Department (066-075-021/066-075-007)

2022 Adopted Zoning

Proposed Zoning Amendment

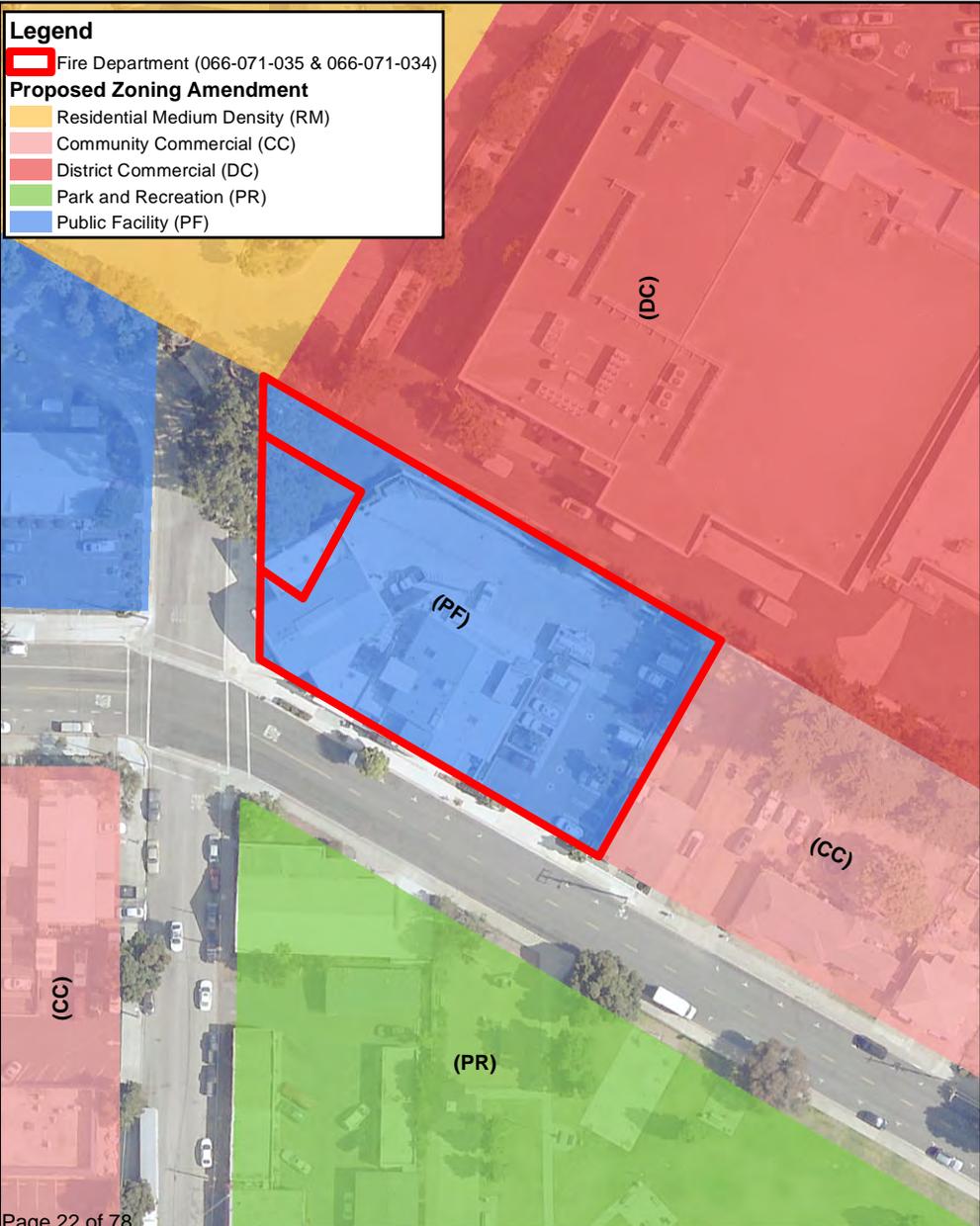
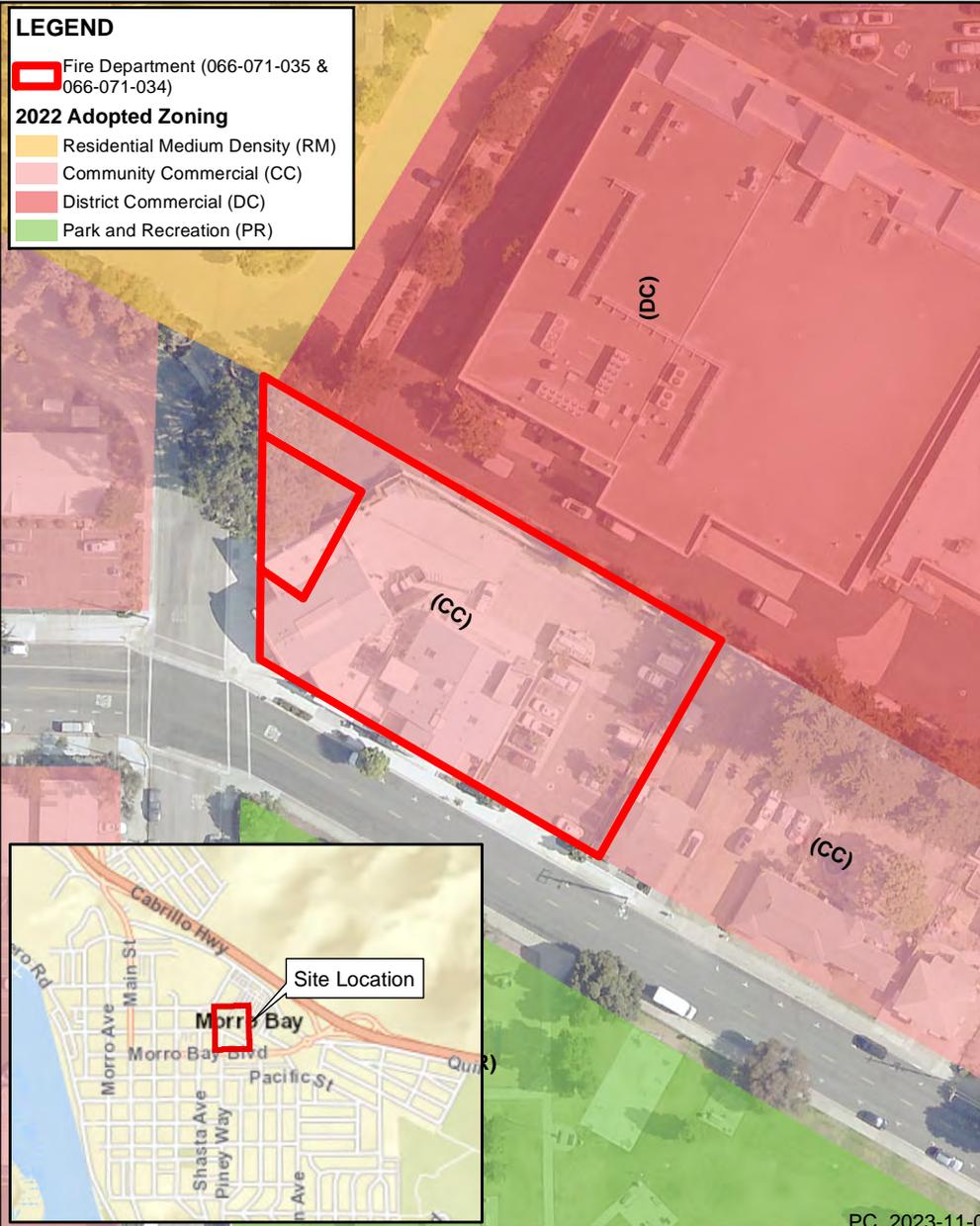




City of Morro Bay Fire Department (066-071-035/066-071-034)

2022 Adopted Zoning

Proposed Zoning Amendment

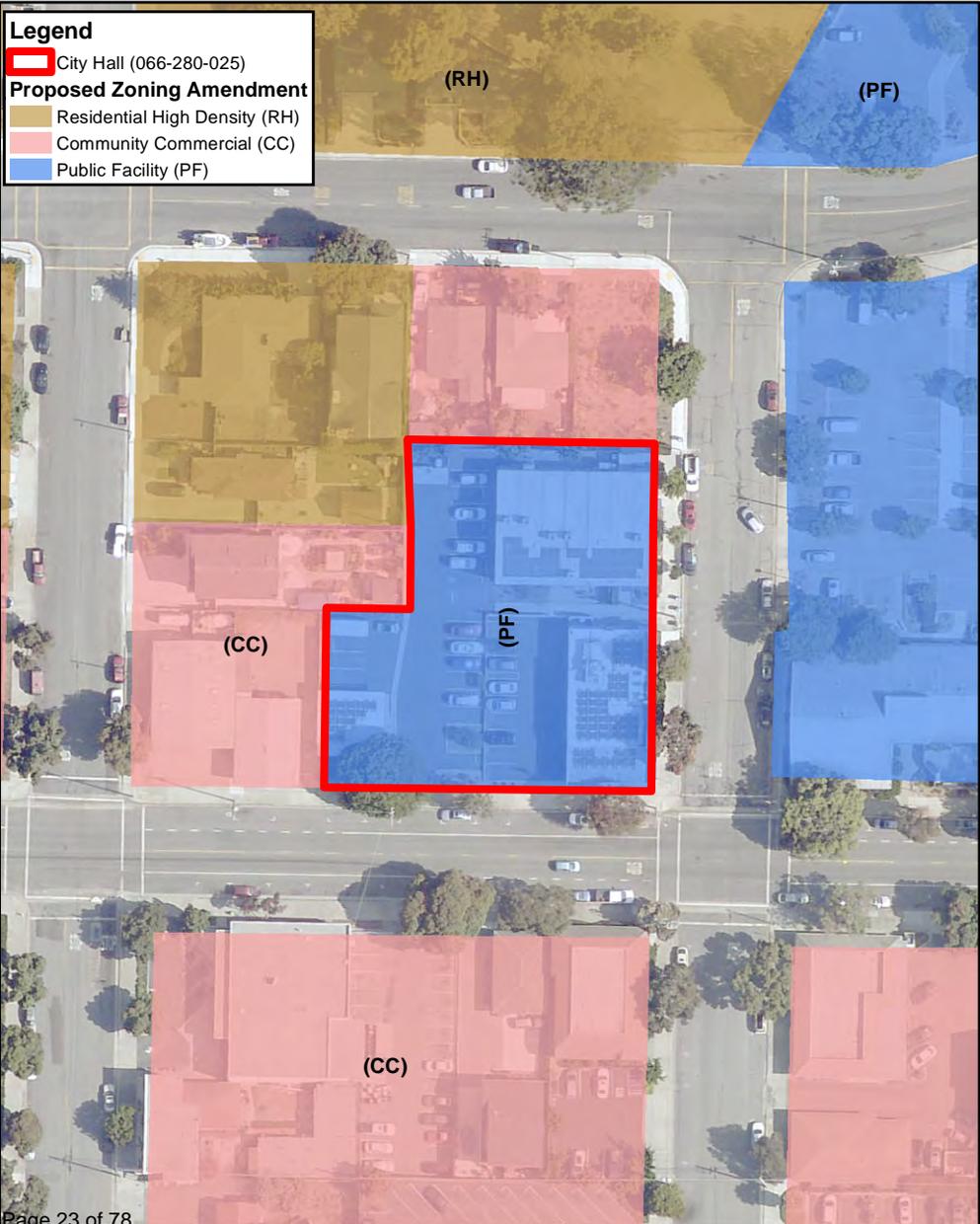
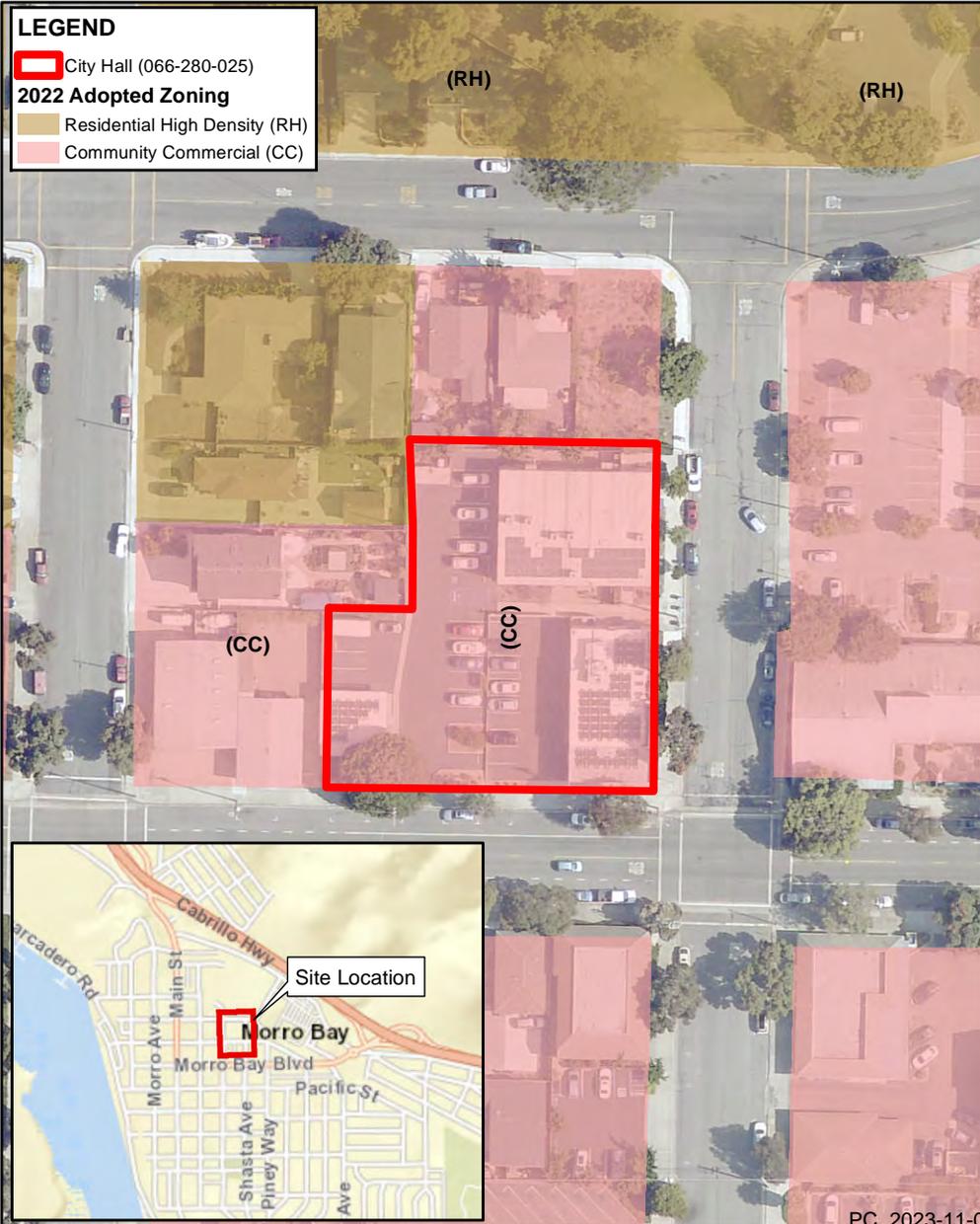




City of Morro Bay City Hall (066-280-025)

2022 Adopted Zoning

Proposed Zoning Amendment

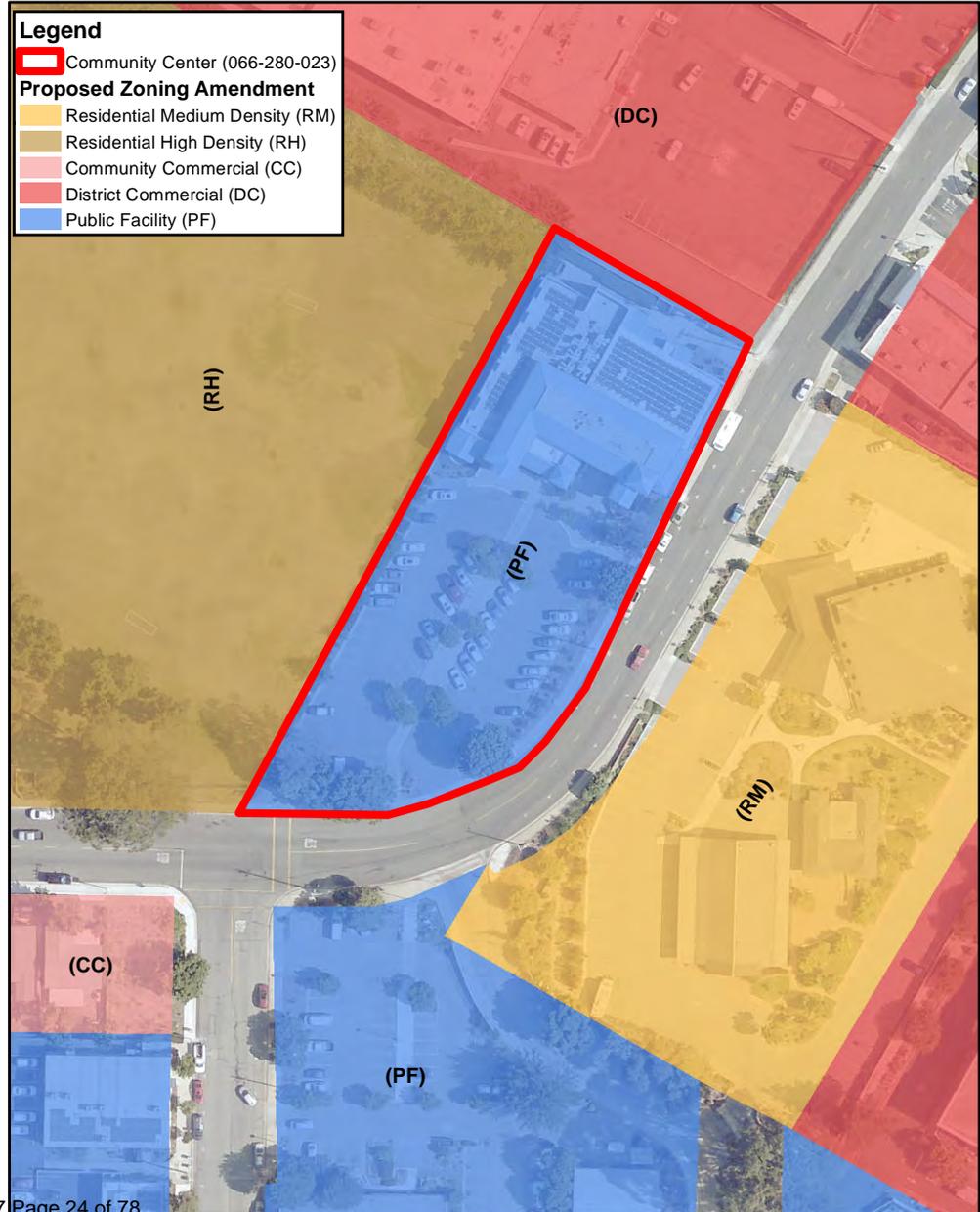
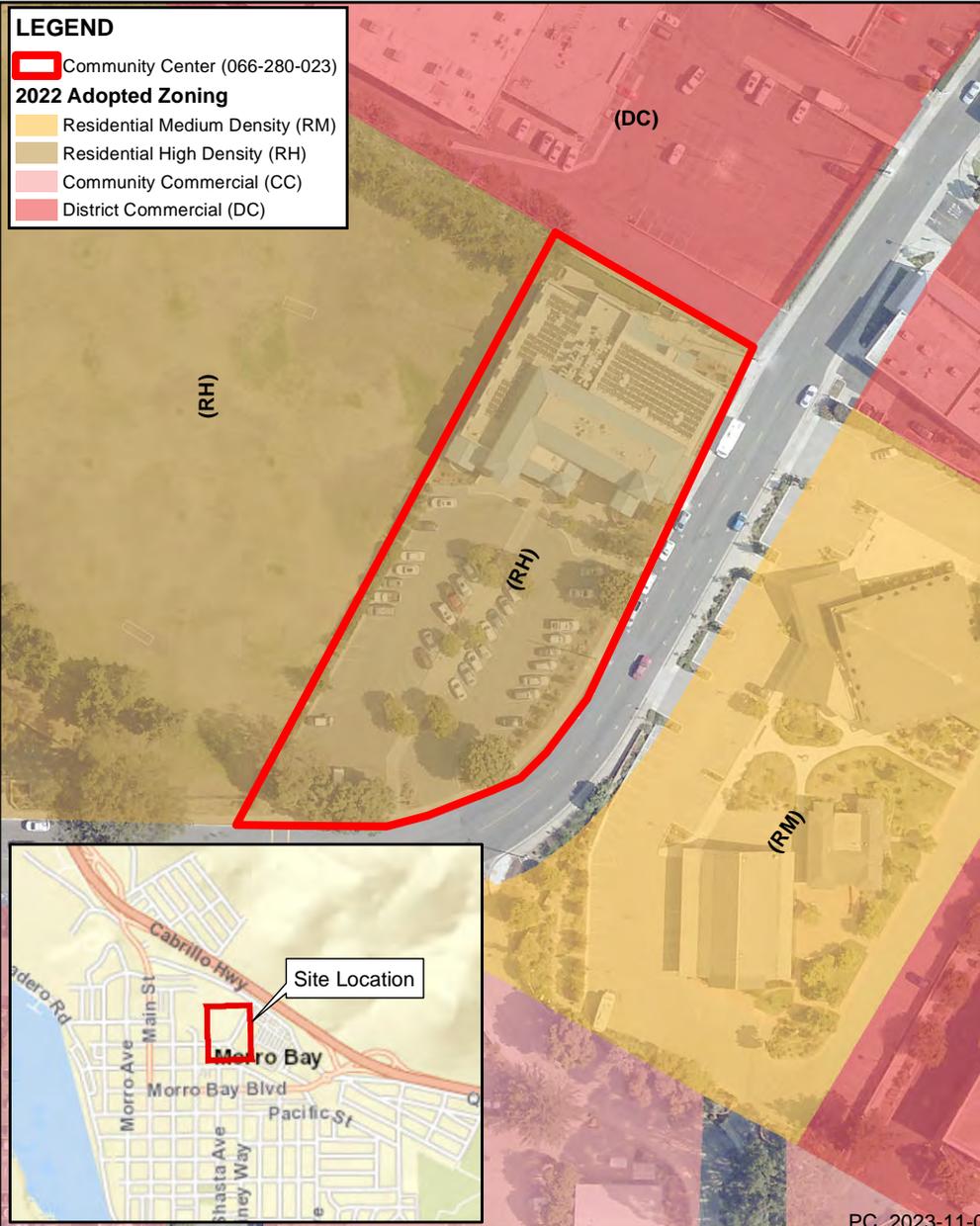




City of Morro Bay Community Center (066-280-023)

2022 Adopted Zoning

Proposed Zoning Amendment

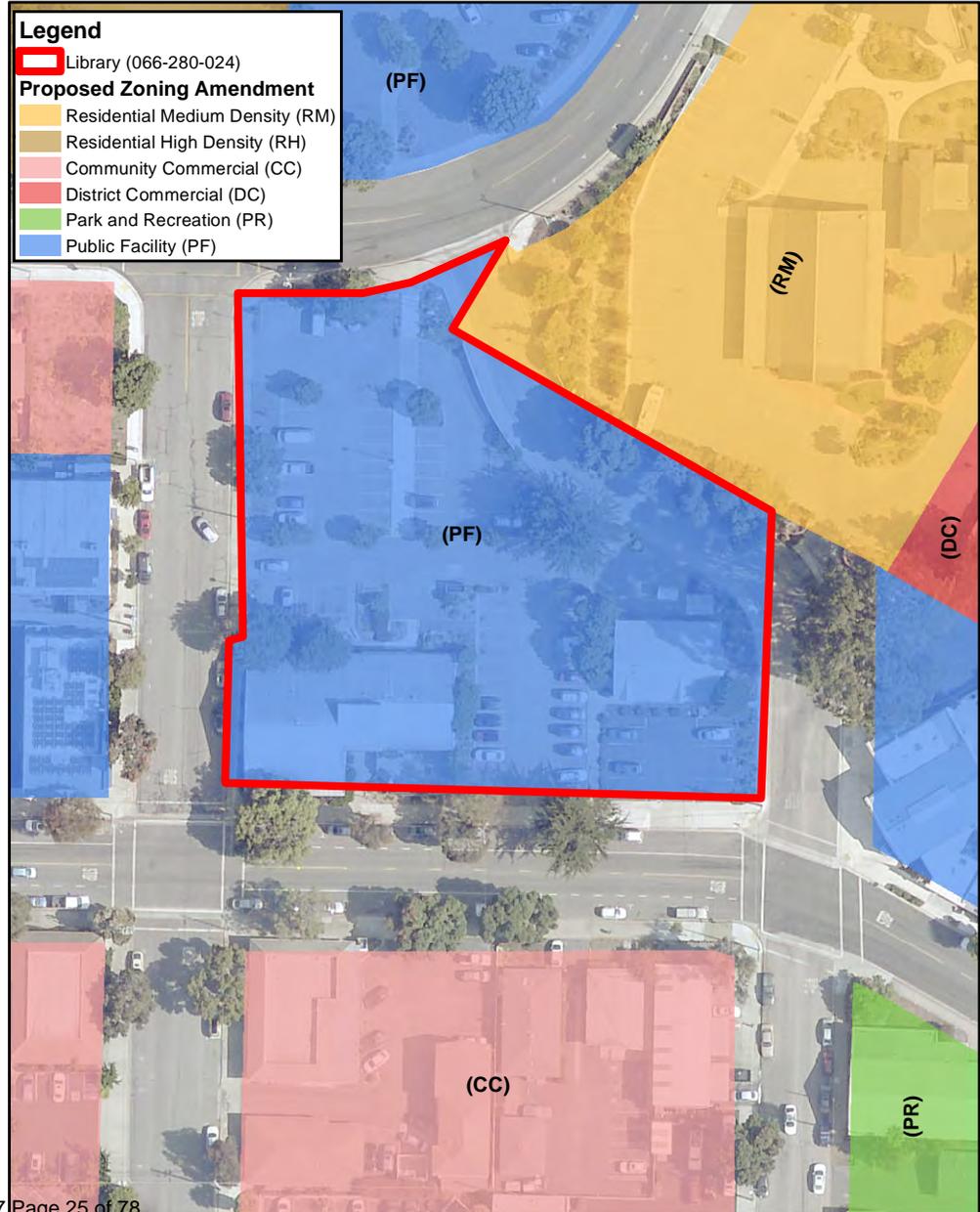
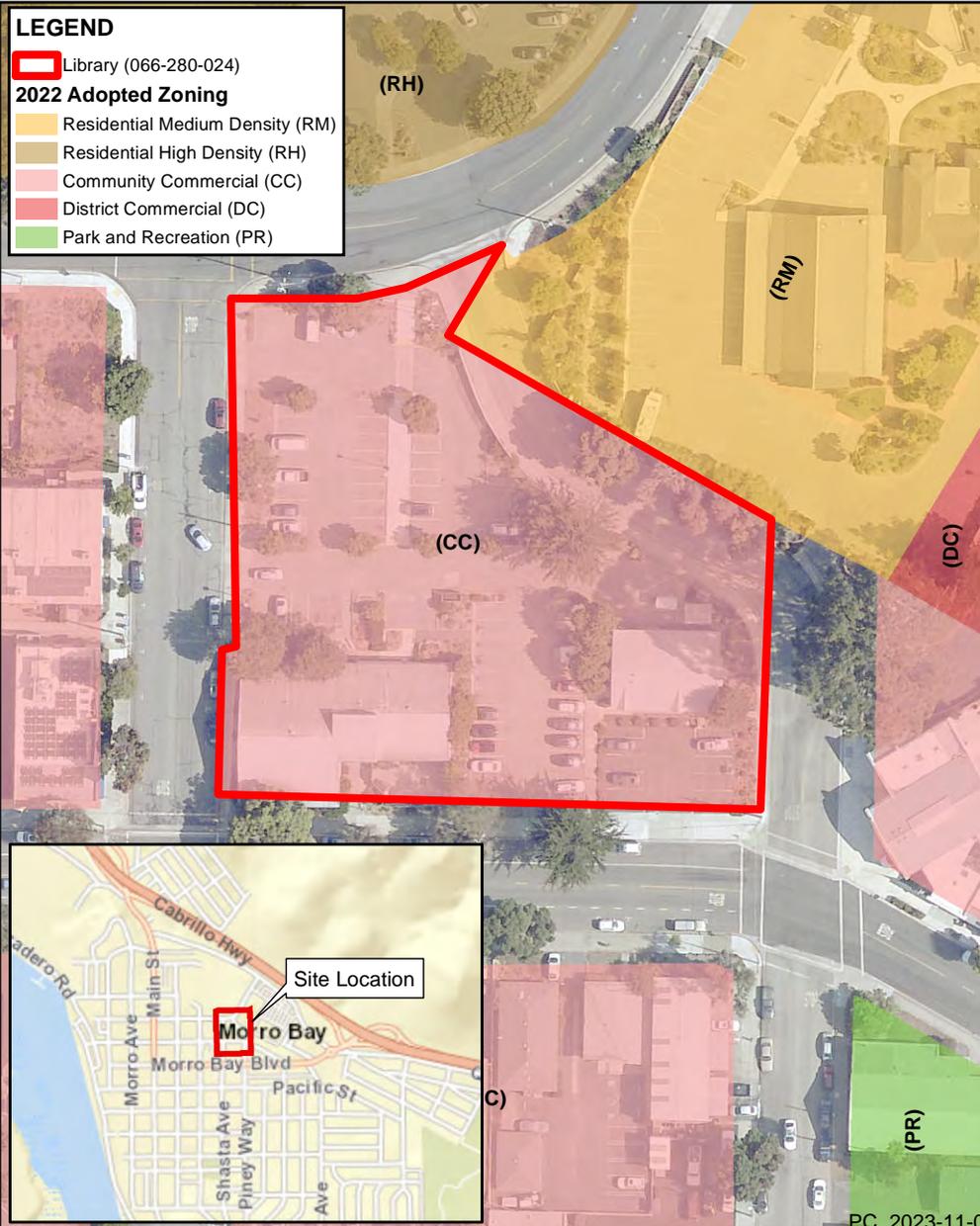




City of Morro Bay Library (066-280-024)

2022 Adopted Zoning

Proposed Zoning Amendment

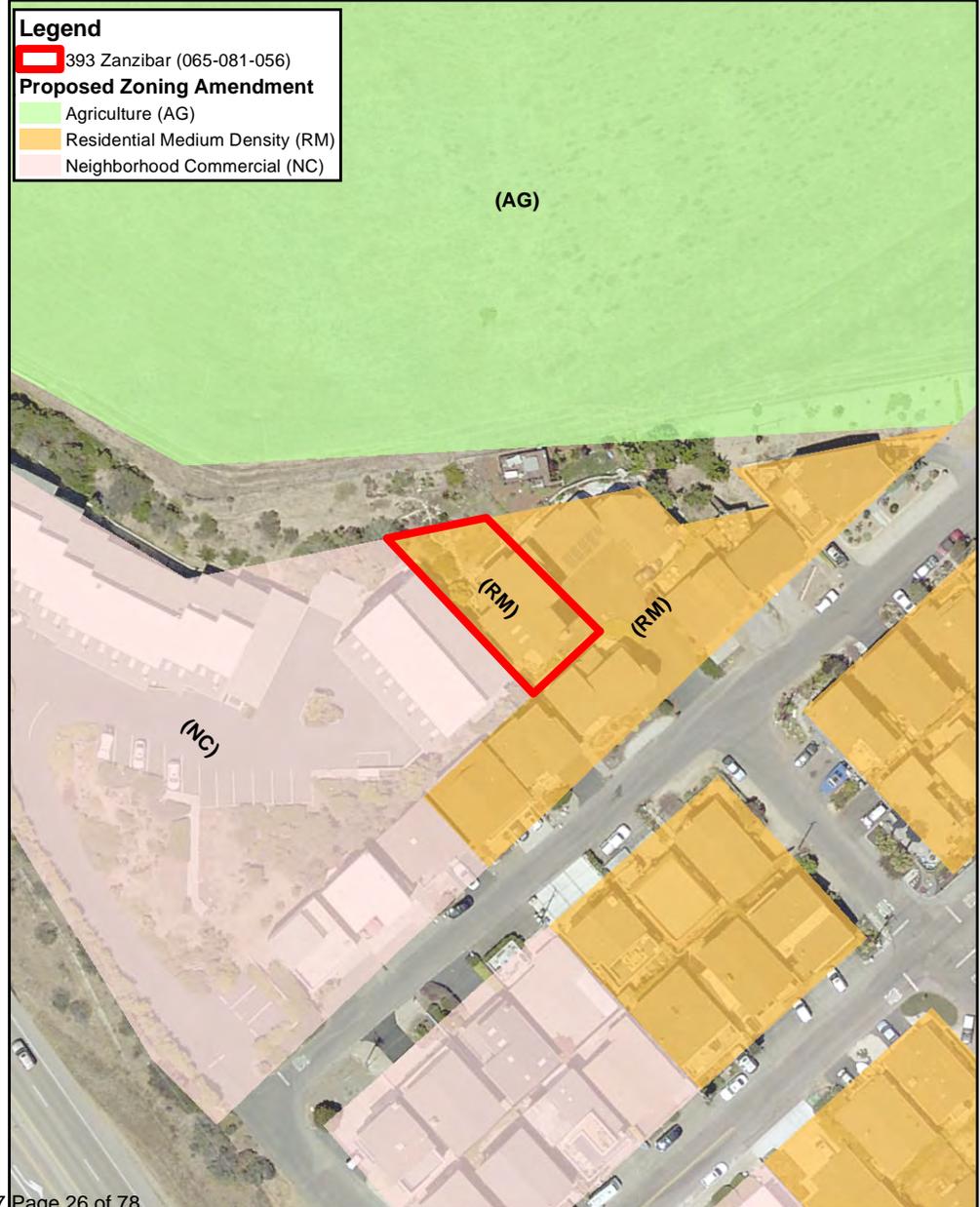
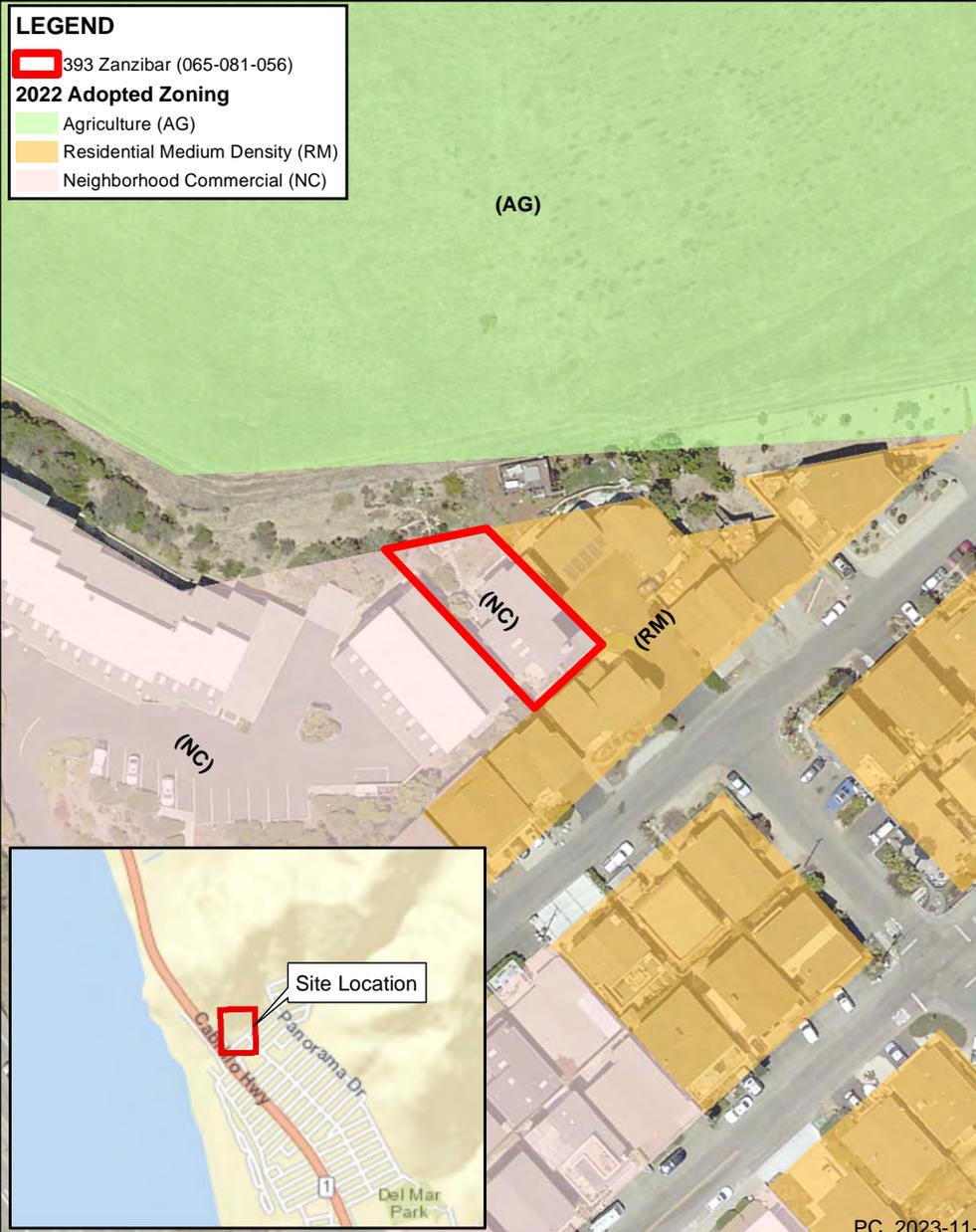




City of Morro Bay 393 Zanzibar (065-081-056)

2022 Adopted Zoning

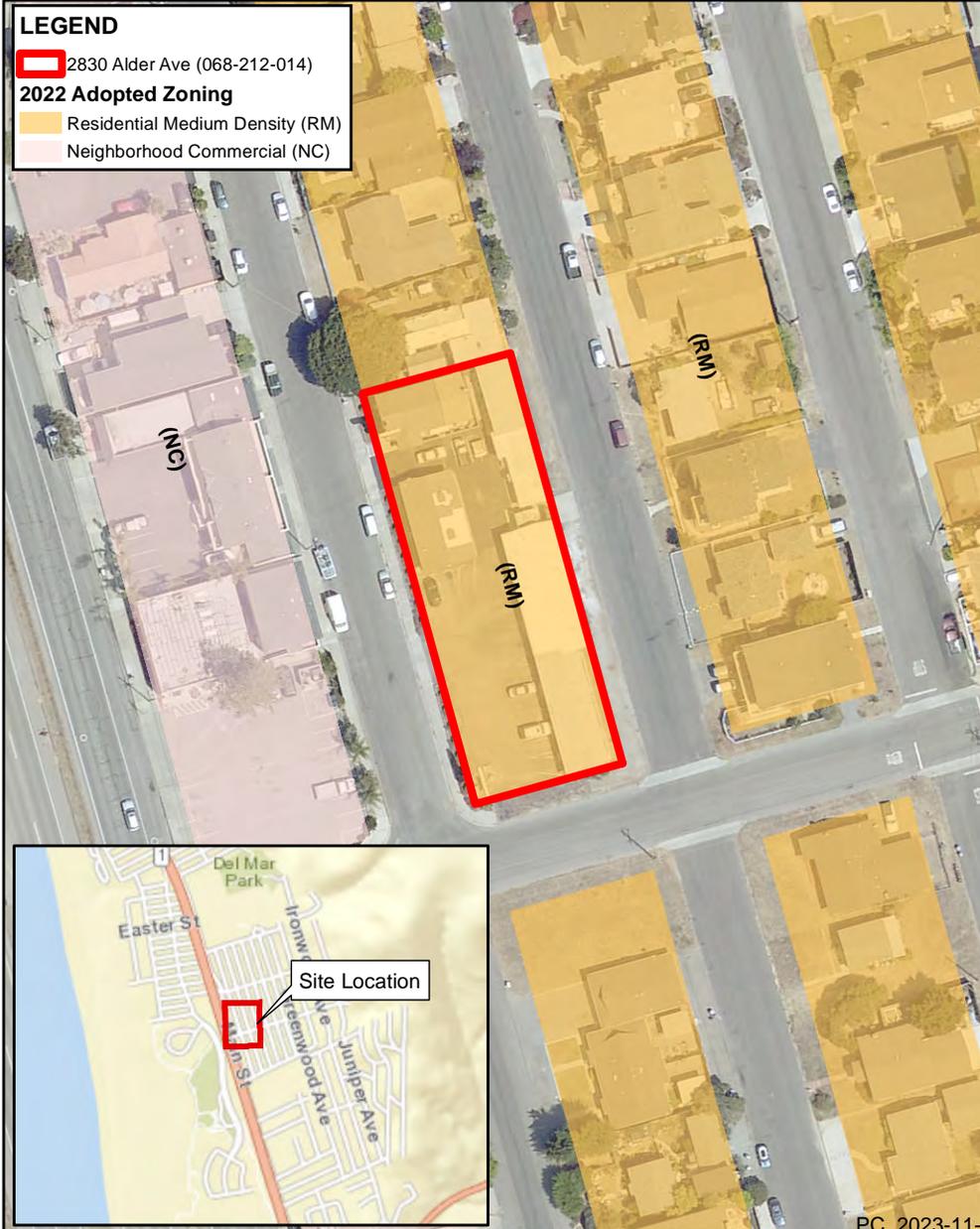
Proposed Zoning Amendment





City of Morro Bay 2830 Alder Ave (068-212-014)

2022 Adopted Zoning



Proposed Zoning Amendment





AGENDA NO: C-2
MEETING DATE: November 7, 2023

Staff Report

TO: Planning Commissioners **DATE:** November 7, 2023

FROM: Nancy Hubbard, Contract Planner

SUBJECT: Conceptual Review of a proposed 48-unit subdivision located on 10.06 acres with the address of 3300 Panorama Drive. The project includes public walking trails, open spaces, protection of the ESHA in the northwest portion of the site and a private roadway system providing access to the proposed homes. The lot sizes range from 2267 sf to 5344 sf. The property is zoned R-1/PD/ESH (RS-A in the proposed 2022 zoning code) and is partially located within the Coastal Appeals Jurisdiction.

RECOMMENDATION:

PROVIDE GUIDANCE AND RECOMMENDATIONS FOR THE PROJECT to proceed to formal submittal for Planning Commission review and decision.

APPLICANT: Morro 94, LLC and Curry Parkway, LLC (50/50 ownership)

ADDRESS/APN: 3300 PANORAMA DRIVE (APN 065-038-001)

ZONING: RS-A

PROJECT OVERVIEW:

The project is the review of a proposed residential subdivision that requires a Conditional Use Permit, Coastal Development Permit and a Vesting Tentative Tract Map. The project is a residential subdivision consisting of 48 single family detached homes with 5 different floor plan options and several exterior home design options. The project sites range from 2850 sf to 6000 sf and will be accessed by a 30' wide private roadway system with two access points to Panorama Drive. The project preserves the environmentally sensitive habitat area and has proposed several public trails and amenities throughout the property. (See **Special Considerations and Public benefits** discussions below)

SUBDIVISION: VESTING TENTATIVE TRACT MAP:

The site includes steep slopes in the south and east portions of the site, some with landslide potential and an environmentally sensitive habitat area along the north side of the site. The site was graded in the early 1960's for installation of two 120



ft diameter Navy Jet Fuel storage tanks, creating low areas (elevation of 97 feet above sea level) for the tanks surrounded by tall earthen berms (elevations ranging from a high of 105 to 110 feet above sea level). The site low point is at the existing entry gate with an elevation of 79 ft above sea level and the high point is 155 feet above sea level, located in the center of the back property line, directly east from that low point. The image herein shows the various areas within the proposed subdivision. The legend shows the size of each area measured in acres. The subdivision is a 49 lot subdivision, with 48 individual parcels and the 49th parcel includes the common areas, including the ESHA, private streets, trails and open spaces. The subdivision will require documentation for an HOA and CC & Rs to govern the rules and regulations of the subdivision including the private streets, maintenance, management and funding for common areas. The Vesting Tentative Tract Map process will include a Planning Commission review and approval, then the final map will require approval by City Council.

SITE AREAS BREAKDOWN

Description	Area (SF)	Area (AC)
ESHA Area	29,754	0.68
ESHA Buffer Area	39,171	0.90
Developable Lots	356,318	8.15
Common Areas	182,901	4.20
Sub Total	408,145	9.47
ROW	29,886	0.69
Total Area	438,030	10.06

Common Areas Breakdown

Description	Area (SF)	Area (AC)
Roads & Sidewalk (Lots 9-48)	27,601	0.63
Roads & Sidewalk (Lot 49)	28,293	0.65
Landscape	127,007	2.92
Total Common Area	182,901	4.20

Lot 49 Break Down

Landscape	127,007	2.92
Roads & Sidewalk (Lot 49)	28,293	0.65
ESHA Area	29,754	0.68
ESHA Buffer Area	39,171	0.90
Lot 49 Total Area	224,225	5.15

GENERAL PLAN/COASTAL LAND USE PLAN: The 2021 General Plan/Coastal Land Use Plan and the proposed zoning code designates this area as Moderate Density Residential. This zoning district allows a density of 4.1 to 7 dwellings per acre. This 10 acre parcel is zoned to a lower density than the surrounding neighborhood, which is all Medium Density Residential, allowing 7.1 – 15 dwellings per acre (about twice the density of the subject parcel).

INCLUSIONARY HOUSING REQUIREMENT: This project will be subject to inclusionary housing requirements and will be required to provide 10% (5 homes) of the total units as affordable deed restricted for-sale or for-rent homes for a period of 55 years. The City of MB will determine the affordability level, likely to be “lower income” levels which is 50%-80% of area median income. This equates to a home buyer or renter with approximate annual income levels between \$41k and \$65k which means that the rent or mortgage and related costs to the buyer/renter would need to be 30% or less of their total income (this is a simplified example for reference, the actual income determination includes more detailed factors, including household size, assets, etc.). Current Area Median Income for SLO county is around \$82,000 and is adjusted annually. The following are the various income level categories: Extremely Low: 15% - 30% of AMI, Very-low income: 30% to 50% of AMI; Lower income: 50% to 80% of AMI; and Moderate income: 80% to 120% of AMI.

Site Characteristics	
Site Area	10.06 acres
Existing Use	Vacant with a few accessory buildings (that will be demolished as part of this project)
Terrain	Sloped terrain – some of which are landslide risk areas
Vegetation/Wildlife	Gravel, dirt, weeds and trees
Archaeological Resources	Yes, Environmental study is in process
Access	Panorama Drive

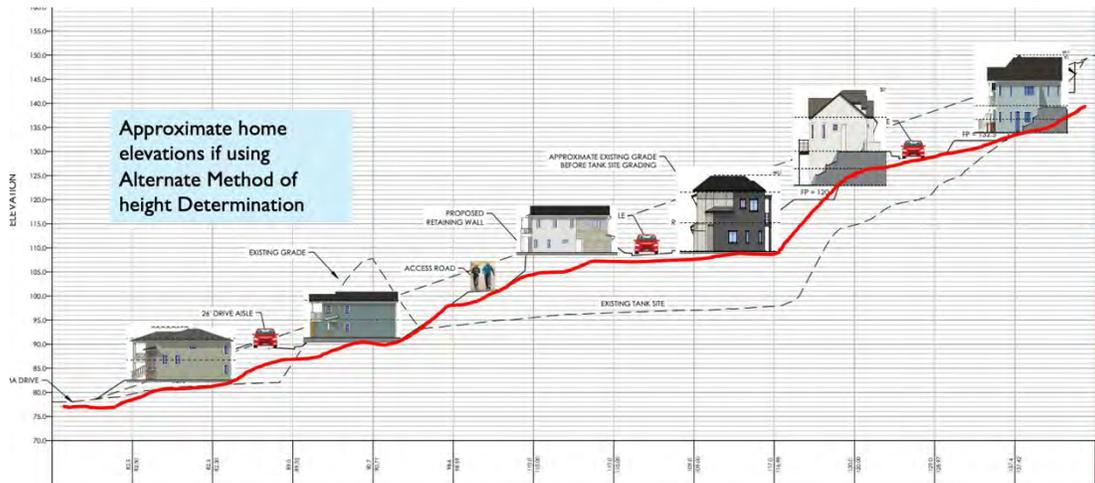
Adjacent Zoning			
North	RM (Medium Density Residential)	East	SLO county
South	SLO county	West	RM (Medium Density Residential)

	RS-A Standards Lots 2501-4300sf (PLANS A, B & C)	RS-A Standards Lots 4301-6000sf (PLANS D and E)
Front Setback	15 feet	20 feet
Corner (street) side yard	6-9 feet (max 10) (20% of lot width)	10 feet
Interior side yard	3-4.5 ft (max 5) (10% of lot width)	5 feet
Rear setback	5 feet	10 feet
Height (from ANG)	25 Feet	25 feet
Lot Coverage	50%	45%

SPECIAL CONSIDERATIONS: The site is in the RS-A zoning district. Residential subdivisions are allowed with a density of 4.1 -7 units per acre. This project is on 10 acres and proposes 48 single family homes, resulting in a density of 4.8 units per gross acreage. The floor plans for the Plan D and E homes (larger parcels along the high point of the development) include 'Casitas' units. These units appear to have a small kitchen area, private bathroom, and separate outside entrance. Some of them also have an interior connection to the main part of the home. The design of these 'Casitas' meet the definition as an accessory dwelling unit which are required to be processed administratively.

See discussions below on each of the areas where the development standards need special consideration to allow the project as currently designed.

- 1. Height Determination Method:** The current extreme grading condition of the site resulted from a specific need to create basins for the fuel tanks and berms for containment. The standard methodology for determining Average Natural Grade as the basis for height determination for each home will not work with the large variation in existing site elevations. The applicant has proposed an alternate method of determining height using the finish grade as the basis for each home's height determination. The applicant's methodology is a hybrid between using the existing site grade and the presumed original natural grade



of the site. Their proposed alternate method results in a site plan that works for the home placement and the street slope and access to driveways, and it is more conservative from a site grading perspective than if they used the presumed original grade. Below is an enhanced version of the proposed home/roadway elevations compared to the existing grade.

The difference between base elevations of each home comparing the Average Natural Grade method and the Alternate Method of height determination results in a difference of 0-5 feet for 19 of the homes (green stars); and from 5-10 feet for 8 homes (blue stars) and from 10-20 feet for 21 homes (red stars)



primarily in the center of the site. Although some of the homes will sit on fill of 10-20 feet, the suggested alternate method, using finish grade, appears reasonable and results with a private access road that has very reasonable slopes (2 % to 11%) and provides access to driveways at the homes on each side of the private street. Because of the unusual existing conditions of the site, the PC should review and discuss the request for an alternate method of height determination. As shown in the section drawing above, the proposed method results in a grade that closely resembles the current grade (without the extreme high points of the berms) but requires less fill than the presumed original grade.

2. **Interior street front setback:** The project is served by a private roadway system. The roadway is 30 feet in width. The parcels along the roadway own to the center line of the road. The plans submitted show the front setback measured from the centerline of the private road. This meets the strict definition for setbacks in the front but results in 23 parcels in the center of the site (those with floor plans B & C) having only a 5 foot long driveway. The parcels along Panorama and the two rows of home at the highest elevation meet the setback requirements as measured from the edge of the private road. There is no information in the proposed zoning code with any guidance on front setbacks along private streets. Previous interpretation for determining setbacks along private access or alley easement areas have allowed setback measurements from the centerline of the easement area. However, none of the recent examples of this situation (i.e., a home on Beachcomber Drive adjacent to an access easement and a home on a site with a private alleyway access) were related to a front yard setback.
3. **Design Standards:** Several of the proposed floor plans do not provide the required second floor step-backs or adequate articulation on the sides of the exterior facades. The front of the home designs, however, do provide articulation with balconies and other architectural features and are a visually pleasing design (see Plan A example below). That said, most of the exterior designs have one or two of the following design issues:
- The second floor does not step back (at all, or enough) from the front face of the lower level. (Supplemental Development Standards (Section 17.07.040 A states that the front elevation requires 60% of the face of the second floor to be stepped back a minimum of 3 feet).
 - The side elevations, in general, lack architectural interest and relief from large uninterrupted facades.

The side elevation issues should be able to be easily resolved with some minor design adjustments. However, the site conditions and the front setback requirements create some challenges in



meeting the strict requirements for the second floor step back criteria. For sloped sites, the upper level floor will almost always be larger than the lower level because the lower levels are typically partially subterranean. For many of the homes on this site, expanding the lower level is costly and will result in less usable living space and meeting the setback criteria will reduce the size of the second floor living area on the only level that has daylight on all sides of the space.

The other issue related to meeting the second level setback is zoning code front setbacks that are greater for the garage, and less for the living area. For example: the higher rows of homes using the Floor Plan D & E are required to have a 20 ft setback for the garage and a 15 ft setback for the living space. This setback is reasonable for single-story homes, but for 2-story homes, especially on a slope or a small parcel, it requires the second floor to be setback another 3 feet at a minimum from the face of the garage, which in this case is setback 5 feet further than the living space. The Supplemental Development Standards for homes on parcels over 5000 sf, which applies to all of the homes with Floor Plans D & E, requires that the 2nd floor should be no more than 75% of the size of the lower level and front and side elevations shall not be a single elevational plane or at least 25% of each building elevation shall be setback at least 3 feet from the remaining elevational plane. (Section 17.07.040 B.)

4. **Public Benefits:** The project includes the following public benefits:

- Approximately 4.2 acres of common open space
- Public access to new trails, including view vistas.
- Informational boards on environmental features
- Picnic tables and benches
- Trails along ESHA buffer area – if determined to be an acceptable use.
- Designated public parking spaces along Panorama (if approved by PW)



PROVISION TO ALLOW DEVIATIONS FROM THE DEVELOPMENT STANDARDS: PLANNED DEVELOPMENT OVERLAY AREA(Chapter 17.18) provides an opportunity through a discretionary review process to provide for a better coordinated development, incorporating development standards crafted to respond to specific site conditions. The following are the principles of the PD Overlay area:

- A. Provide for greater flexibility in the design of the development.
- B. Ensures compliance with the General Plan/Local Coastal Land Use Plan in creating a compatible, totally planned development;
- C. Allows for creative development projects to incorporate design features that are more sensitive to site conditions and provide greater amenities than would likely result from conventionally planned development.
- D. Requires final approval by City Council

ENVIRONMENTAL DETERMINATION:

This project requires an initial study environmental review to determine the levels of impact related to the areas of study in the report. The environmental review started at the end of 2022 and will include review of the following study areas for

potential impact: Aesthetics, Biological Resources, Cultural Resources and Tribal Cultural Recourses, Hydrology, Hazards and Traffic Impacts. Additional areas of study may be added as more underlying studies are completed and peer review comments addressed. It is expected that the results of the Initial Study may indicate the requirement for a full Environmental Impact Report (EIR). City Engineering is involved in review and engaging third party peer review of the studies, specifically related to soil conditions, landslide risk, storm water management and traffic.

CONCLUSION:

The site is zoned for residential development and the proposed project is designed to meet the lower end of the density range allowed. The density target for this site in the 2020-2028 Housing Element is 45 new dwellings, so this development will be significant to the city meeting its housing goals approved by the City Council in 2020. The project is challenging, but the design and placement of the homes clustered in the center of the site reduces the site impacts and provides public access through the proposed trail system as well as providing public view vistas not previously available. With a few exceptions as discussed above, the project is designed to meet the intent and the standards of the land use plan and zoning code designation.

RECOMMENDATION:

PROVIDE GUIDANCE AND RECOMMENDATIONS FOR THE PROJECT to proceed to formal submittal for Planning Commission review and decision.

ATTACHMENTS:

Exhibit A – PLANS



3300 PANORAMA DRIVE

PERSPECTIVE VIEW - Location Description

VICINITY MAP



PROJECT DIRECTORY

OWNER: MORRO 94, LLC
CHRIS MATHYS AND ROB SOLLEY
2141 TUOLUMNE STREET, SUITE J
FRESNO, CA 93721

CLIENT REP: RRM DESIGN GROUP
3765 S. HIGUERA STREET, SUITE 102
SAN LUIS OBISPO, CA 93401
CONTACT: DEBBIE RUDD
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CONTACT: TIM WALTERS
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LANDSCAPE: RRM DESIGN GROUP
3765 S. HIGUERA STREET, SUITE 102
SAN LUIS OBISPO, CA 93401
CONTACT: SCOTT DUFOUR
PHONE: (805)-543-1794
EMAIL: CBDUFOUR@RRMDESIGN.COM

PROJECT STATISTICS

PROJECT ADDRESS: 3300 PANORAMA DRIVE
ZONING: R-1/PD-ESH
LEGAL DESCRIPTION: A PARCEL OF LAND SITUATED ON LOT 8 IN BLOCK 1-E OF THE ATASCADERO BEACH SUBDIVISION, IN THE COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, AS SAID BLOCK 1-E IS SHOWN UPON THE MAP RECORDED 2 JULY 1917 IN BOOK 2 OF MAPS AT PAGE 15 IN THE RECORDS OF SAN LUIS OBISPO COUNTY

PARCEL SIZE: 10.06 ACRES
APN: 065-038-001
MAX. LOT COVERAGE: PER DEVELOPMENT STANDARDS
TOTAL IMPERVIOUS: 159,000 SF (3.65 AC)
MAX. ALLOWED HEIGHT: 25 FT.
MAX PROPOSED HEIGHT: 25 FT.

PARKING

AUTO PARKING	CALCULATION	SPACE COUNT
PARKING REQUIRED:		
RESIDENTIAL	2 COVERED SPACES PER LOT	96
PARKING PROPOSED:		
RESIDENTIAL	2 SPACES PER GARAGE PER LOT	96
DEVELOPMENT	GUEST PARKING	29
PANORAMA	PERPENDICULAR	9
PANORAMA	PARALLEL	9

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A 48 LOT PLAN UNIT DEVELOPMENT ON THE DECOMMISSIONED US NAVY JET FUEL STORAGE FACILITY. LOT SIZES RANGING FROM 2,842 SF TO 6,000 SF. THE LOTS VARY IN THEIR CONFIGURATION: FRONTING PANORAMA, SMALLER INTERIOR, DOWNHILL AND UPHILL.

THREE ARCHITECTURAL STYLES ARE PROPOSED:

COASTAL COTTAGE WITH MIX OF LAP AND SHINGLE SIDING, GABLE ROOFS, COVERED PORCHS AND BALCONIES.

COASTAL BUNGALOW WITH A MIX OF LAP AND BOARD & BATT SIDING, GABLE ROOFS, COVERED PORCHS AND BALCONIES.

COASTAL CONTEMPORARY WITH MIX OF PANEL SIDING AND STUCCO, GABLE ROOFS, COVERED PORCHS AND BALCONIES AND STONE ELEMENTS.

3300 Panorama Development Standards						
Type	Proposed Standards					Existing Zoning Code R-1 Standards
	Panorama Fronting (Lots 1-6)	Interior Type I (Lots 9-16, 24-33)	Interior Type II (Lots 17-23)	Downhill (Lots 34-39)	Uphill (Lots 40-48)	
Typical Lot Size (refer to Site Plan for detailed lot sizes)	2,880 sf	2,850 sf	2,850 sf	5,700 sf	6,000 sf	1/lot
Minimum Setbacks (ft)						
Front Yard						20
House	20	20	20	20	20	
Porches	20	20	20	20	20	
Balconies	15*	20	20	20	20	* 17.48.120
Garage	20	20	20	20	20	
Rear Yard						6' min - 10' max
House	10	10	10	10	10	
Balconies	10	10	5*	10	10	* 17.48.120
Side Yard						
Interior	5	5	5	5	5	3' min - 5' max
Exterior (Street Side)	10	10	10	10	10	5' min - 10' max
Maximum Building Height (ft.)	25	25	25	25	25	25
Maximum Building Wall Height (ft.)	30	30	30	30	30	30
Maximum Lot Coverage	45%	45%	45%	45%	45%	45%
Common Open Space	187,430 sf					
Parking	2 covered	2 covered	2 covered	2 covered	2 covered	2 covered
Guest Parking	29 total					Zero required
Minimum Density (units/ac)	4.6					4.1

SHEET INDEX

- T1 TITLE SHEET
- A1 PROPOSED ILLUSTRATIVE SITE PLAN
- A2 PARKING EXHIBIT
- A3 SITE SECTIONS
- A4 CHARACTER SKETCH - PANORAMA DRIVE
- A5 CHARACTER SKETCH - OPEN SPACE AT INTERIOR
- A6 CHARACTER SKETCH - OPEN SPACE AT EXISTING TREE
- A7 COLOR & MATERIALS - COASTAL BUNGALOW
- A8 COLOR & MATERIALS - COASTAL COTTAGE
- A9 COLOR & MATERIALS - COASTAL CONTEMPORARY
- A10 PLAN A - FLOOR PLANS / DEVELOPMENT STANDARDS
- A11 PLAN A - ELEVATIONS - COASTAL COTTAGE
- A12 PLAN A - ELEVATIONS - COASTAL BUNGALOW
- A13 PLAN B - FLOOR PLANS / DEVELOPMENT STANDARDS
- A14 PLAN B - ELEVATIONS - COASTAL BUNGALOW
- A15 PLAN B - ELEVATIONS - COASTAL CONTEMPORARY
- A16 PLAN C - FLOOR PLANS / DEVELOPMENT STANDARDS
- A17 PLAN C - ELEVATIONS - COASTAL COTTAGE
- A18 PLAN C - ELEVATIONS - COASTAL CONTEMPORARY
- A19 PLAN D - FLOOR PLANS / DEVELOPMENT STANDARDS
- A20 PLAN D - ELEVATIONS - COASTAL BUNGALOW
- A21 PLAN D - ELEVATIONS - COASTAL CONTEMPORARY
- A22 PLAN E - FLOOR PLANS / DEVELOPMENT STANDARDS
- A23 PLAN E - ELEVATIONS - COASTAL COTTAGE
- A24 PLAN E - ELEVATIONS - COASTAL CONTEMPORARY
- C1 TITLE SHEET - VTM
- C2 EXISTING CONDITIONS
- C3 VESTING TENTATIVE MAP
- C4 PRELIMINARY CIVIL SITE PLAN
- C5 PRELIMINARY GRADING PLAN
- C6 SITE AREA BREAKDOWN
- C7 STORMWATER CONTROL PLAN
- C8 AVERAGE NATURAL GRADE
- C9 PROPOSED SITE SECTION A-A
- C10 PROPOSED SITE SECTION B-B
- C11 PROPOSED SITE SECTION C-C
- L1 TREE PROTECTION PLAN
- L2 LANDSCAPE CONCEPT PLAN
- L3 LANDSCAPE PLANTING PALETTE
- L4 LANDSCAPE PLANTING PALETTE
- 40 TOTAL SHEETS IN THIS SET



TITLE SHEET

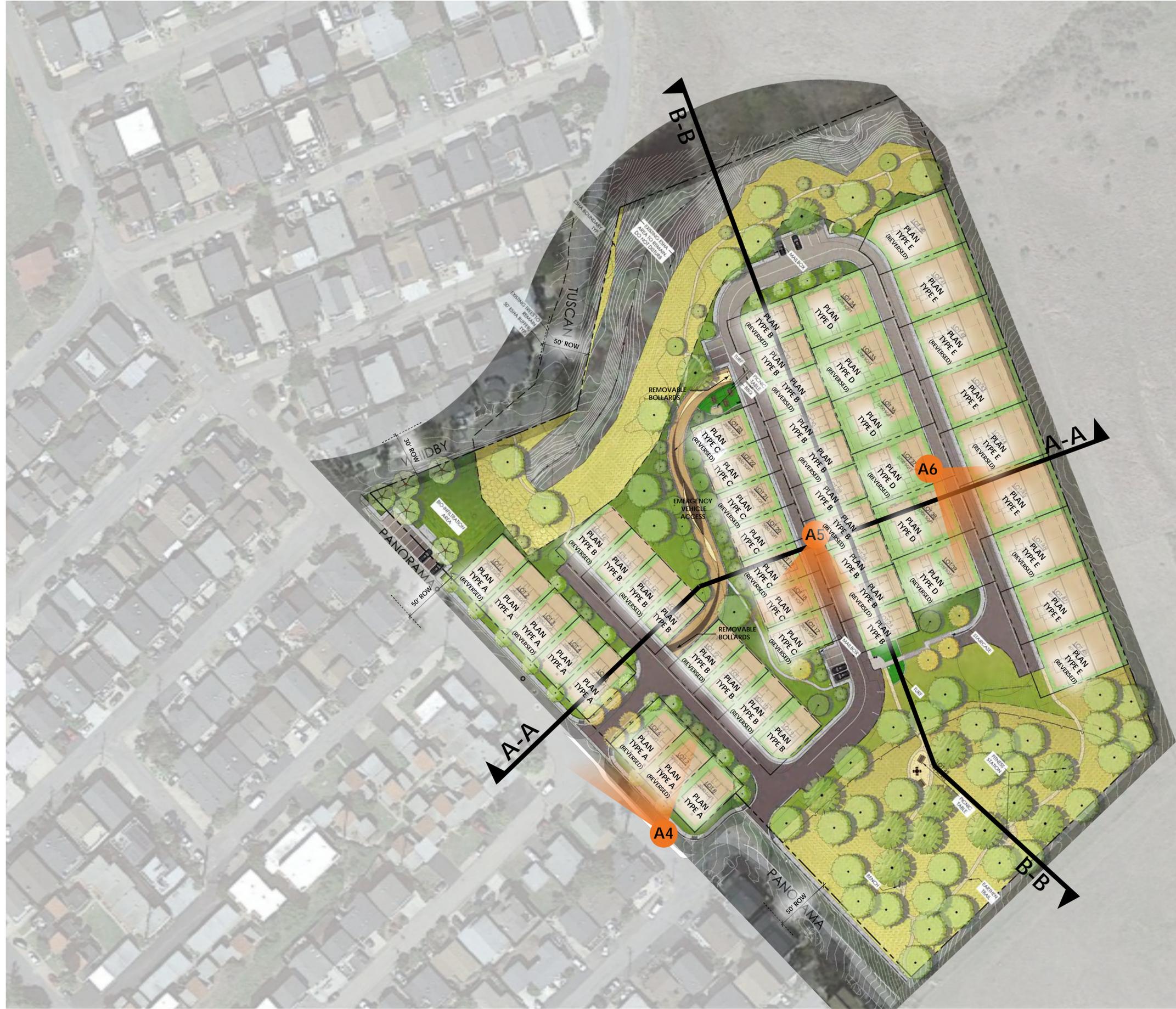
3300 PANORAMA DRIVE

AUGUST 21, 2023

0404-01-CU21

T1

CUP/CDP PACKAGE



LOT TYPES

PANORAMA FRONTING	(PLAN TYPE A)	LOTS 1-8
INTERIOR LOT TYPE I	(PLAN TYPE B)	LOTS 9-16 & 24-33
INTERIOR LOT TYPE II	(PLAN TYPE C)	LOTS 17-23
DOWNHILL LOTS	(PLAN TYPE D)	LOTS 34-39
UPHILL LOTS	(PLAN TYPE E)	LOTS 40-48



PARKING SUMMARY

LOTS 1-8, 34-39, 40-48

TOTAL HOMES: 23

REQUIRED SPACES: 46 COVERED
 PROVIDED SPACES: 92 (46 COVERED IN TWO-CAR GARAGES PLUS 46 UNCOVERED DRIVEWAYS - 2 SPACES PER SITE)

LOTS 9-16, 17-23, 24-33

TOTAL HOMES: 25

REQUIRED SPACES: 50 COVERED
 PROVIDED SPACES: 50 COVERED IN TWO-CAR GARAGES

ADDITIONAL PROJECT PARKING:

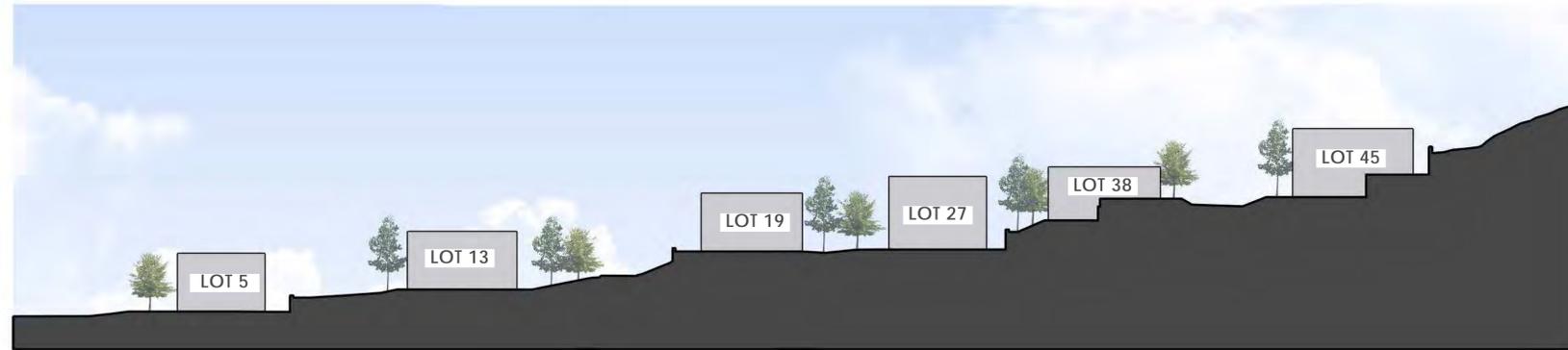
20 SPACES

The project proposes to provide a sidewalk and optimized public parking spaces on Panorama Drive. This parking has not been included in our parking count; it is intended to provide a neighborhood benefit.

1. Parallel parking (9 spaces) along Panorama between Trinidad Street and Sicily Street in front of open space area. This parking is shown in purple on the parking exhibit and would be public parking. Panorama Drive would be improved to widen the paved area to accommodate this parking.
2. Perpendicular parking (9 spaces) along Panorama between Whidbey St and Lot 1 will require a small public access easement to accommodate sidewalk. An encroachment permit will be required for all work within the public right-of-way.

- ▭ 20 ADDITIONAL PROJECT PERPENDICULAR AND PARALLEL PARKING SPACES
- ▭ 9 PUBLIC PERPENDICULAR PARKING SPACES ON PANORAMA DRIVE
- ▭ 9 PUBLIC PARALLEL PARKING SPACES ON PANORAMA DRIVE





SITE SECTION A-A



SITE SECTION B-B



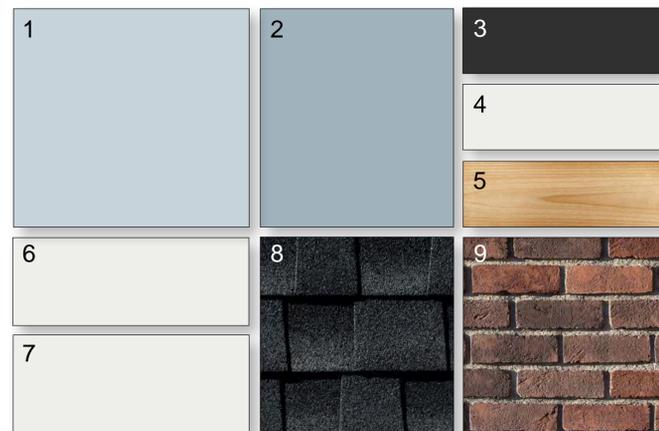






COASTAL BUNGALOW

SCHEME A



- 1. **SIDING:** SHERWIN WILLIAMS MILD BLUE SW6533
- 2. **SIDING:** SHERWIN WILLIAMS DOCKSIDE SW7601
- 3. **FRONT DOOR:** SHERWIN WILLIAMS CAVIAR SW6990
- 4. **GARAGE DOOR:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 5. **OPT. WOOD ACCENT:** NATURAL STAIN CEDAR
- 6. **ACCENT:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 7. **TRIM:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 8. **ASPHALT SHINGLE ROOF:** GAF CHARCOAL
- 9. **OPT. STONE VENEER:** ELDORADO TUNDRA BRICK HARTFORD

SCHEME B

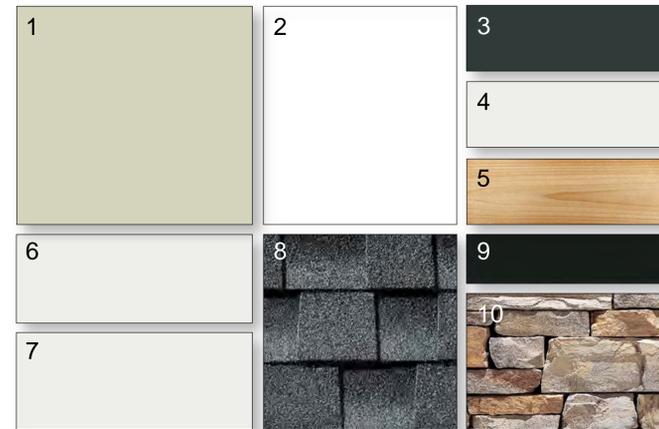


- 1. **SIDING:** SHERWIN WILLIAMS LIVEABLE GREEN SW6167
- 2. **SIDING:** SHERWIN WILLIAMS GREEN ONYX SW9128
- 3. **FRONT DOOR:** SHERWIN WILLIAMS CAMELBACK SW6122
- 4. **GARAGE DOOR:** SHERWIN WILLIAMS CAST IRON SW6202
- 5. **OPT. WOOD ACCENT:** NATURAL STAIN CEDAR
- 6. **ACCENT:** SHERWIN WILLIAMS BUNGLEHOUSE GRAY SW2845
- 7. **TRIM:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 8. **ASPHALT SHINGLES:** GAF BARKWOOD
- 9. **STONE VENEER:** ELDORADO TUNDRA BRICK ASHLAND



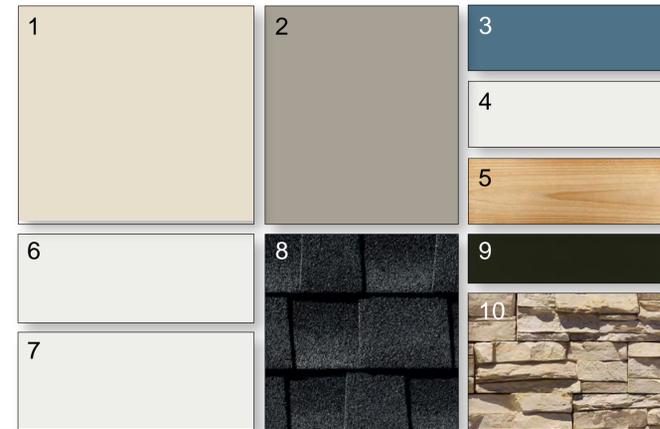
COASTAL COTTAGE

SCHEME C



- 1. **SIDING:** SHERWIN WILLIAMS LIVEABLE GREEN SW6167
- 2. **SIDING:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 3. **FRONT DOOR:** SW ROOKWOOD SHUTTER GREEN SW2809
- 4. **GARAGE DOOR:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 5. **OPT. WOOD ACCENT:** NATURAL STAIN CEDAR
- 6. **ACCENT:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 7. **TRIM:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 8. **ASPHALT SHINGLES:** GAF PEWTER GRAY
- 9. **STANDING SEAM:** MCELROY DARK BRONZE
- 10. **OPT. STONE VENEER:** ELDORADO CLIFFSTONE MESQUITE

SCHEME D

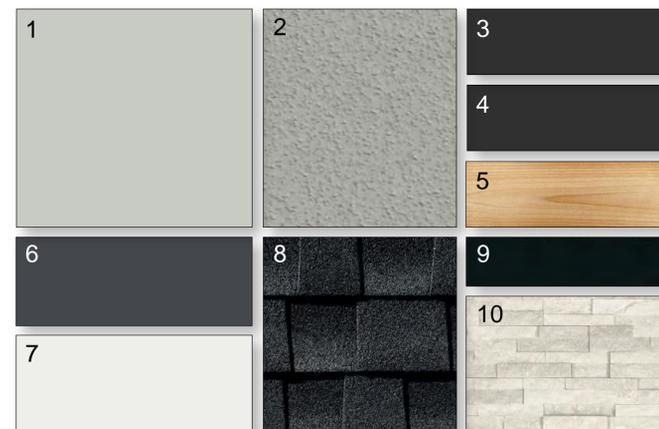


- 1. **SIDING:** SHERWIN WILLIAMS GOSSAMER VEIL SW9165
- 2. **SIDING:** SHERWIN WILLIAMS FAWN BRINDLE SW7640
- 3. **FRONT DOOR:** SHERWIN WILLIAMS INKY BLUE SW9149
- 4. **GARAGE DOOR:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 5. **OPT. WOOD ACCENT:** NATURAL STAIN CEDAR
- 6. **ACCENT:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 7. **TRIM:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 8. **ASPHALT SHINGLE ROOF:** GAF CHARCOAL
- 9. **STANDING SEAM ROOF:** MCELROY PATRICIAN BRONZE
- 10. **OPT. STONE VENEER:** ELDORADO STACKED STONE DRY CREEK



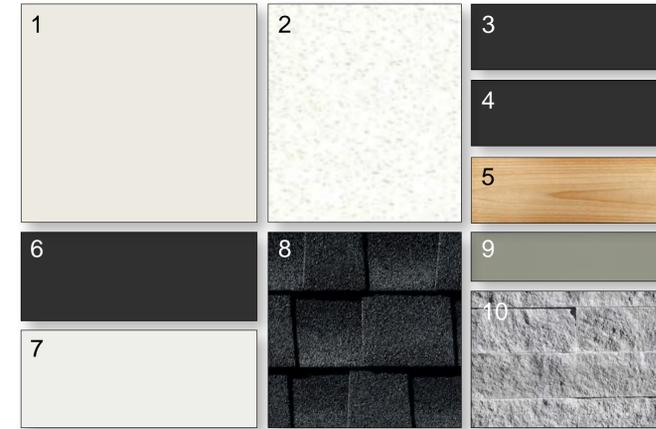
COASTAL CONTEMPORARY

SCHEME E

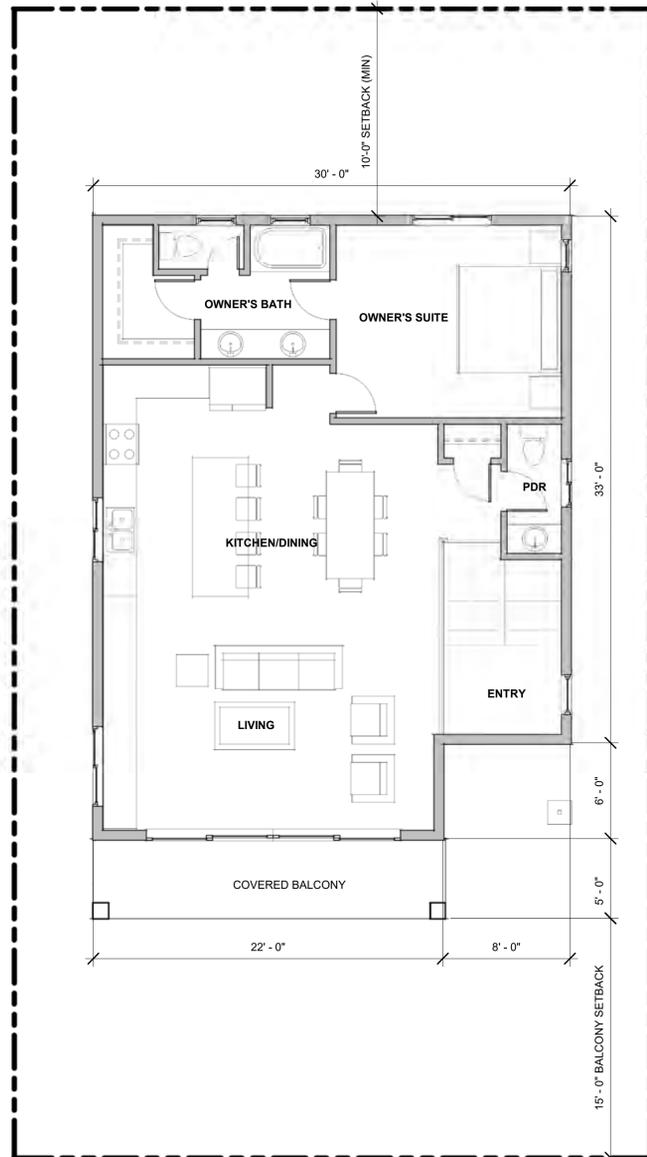


1. **SIDING:** SHERWIN WILLIAMS SILVER STRAND SW7057
2. **STUCCO:** LAHABRA THUNDER SKY P-2090
3. **FRONT DOOR:** SHERWIN WILLIAMS POETRY PLUM SW6019
4. **GARAGE DOOR:** SHERWIN WILLIAMS EXTRA WHITE SW7006
5. **OPT. WOOD ACCENT:** NATURAL STAIN CEDAR
6. **ACCENT:** SHERWIN WILLIAMS CYBERSPACE SW7076
7. **TRIM:** SHERWIN WILLIAMS EXTRA WHITE SW7006
8. **ASPHALT SHINGLE ROOF:** GAF CHARCOAL
9. **STANDING SEAM ROOF:** MCELROY MATTE BLACK
10. **OPT. STONE VENEER:** ELDORADO EUROPEAN LEDGE GLACIER

SCHEME F

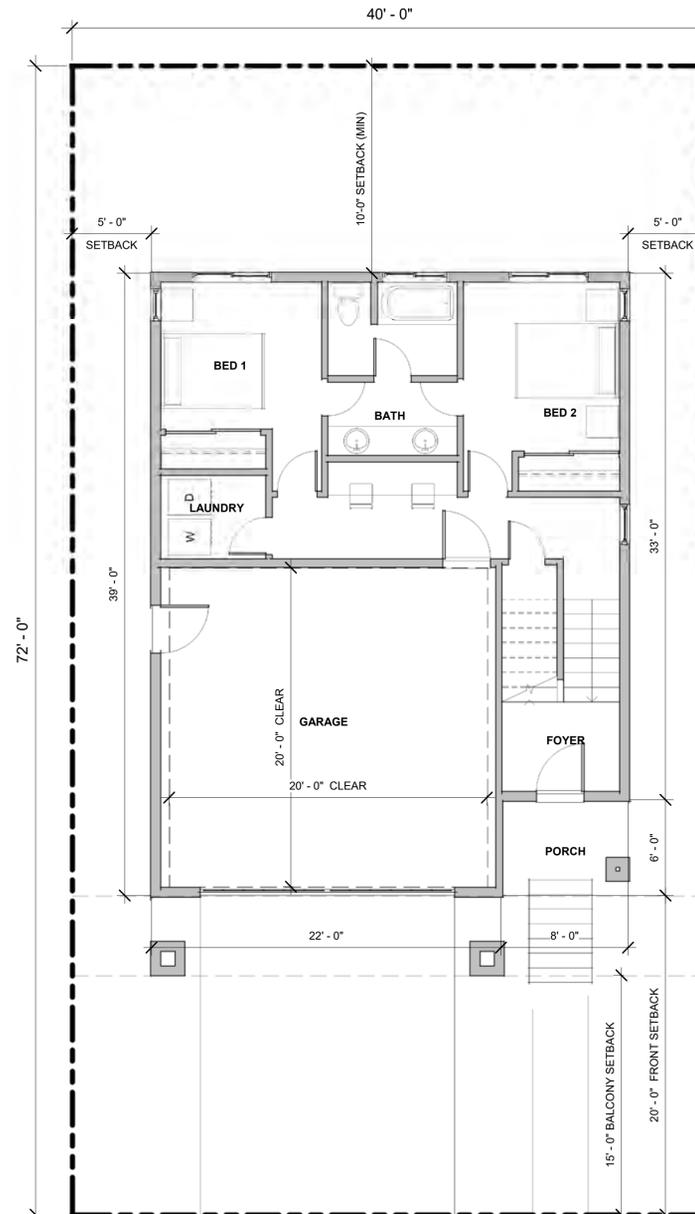


1. **SIDING:** SHERWIN WILLIAMS GLACIER WHITE SW7008
2. **STUCCO:** LAHABRA GLACIER WHITE P-100
3. **FRONT DOOR:** SHERWIN WILLIAMS ROOKWOOD RED SW2802
4. **GARAGE DOOR:** SHERWIN WILLIAMS CAVIAR SW6990
5. **OPT. WOOD ACCENT:** NATURAL STAIN CEDAR
6. **ACCENT:** SHERWIN WILLIAMS CAVIAR SW6990
7. **TRIM:** SHERWIN WILLIAMS EXTRA WHITE SW7006
8. **ASPHALT SHINGLE ROOF:** GAF CHARCOAL
9. **STANDING SEAM ROOF:** MCELROY ASH GRAY
10. **OPT. STONE VENEER:** ELDORADO VINTAGE CUMULUS



SECOND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)



GROUND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)

LOT STATS

TYPICAL LOT SIZE:	40' X 72'
FRONT SETBACK:	20'-0"
REAR SETBACK:	10'-0"
SIDE SETBACK:	5'-0"
LOT COVERAGE:	1,295 SF/2,880 SF = 45%

BUILDING AREA

GROUND FLOOR	668 SF
SECOND FLOOR	1,122 SF
TOTAL AREA	1,790 SF
GARAGE	454 SF
BALCONY	133 SF
PORCH	40 SF



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION
1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION
1/8" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION
1/8" = 1'-0" (24 X 36 SHEET)

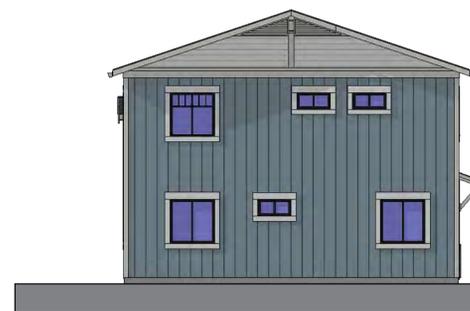


FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



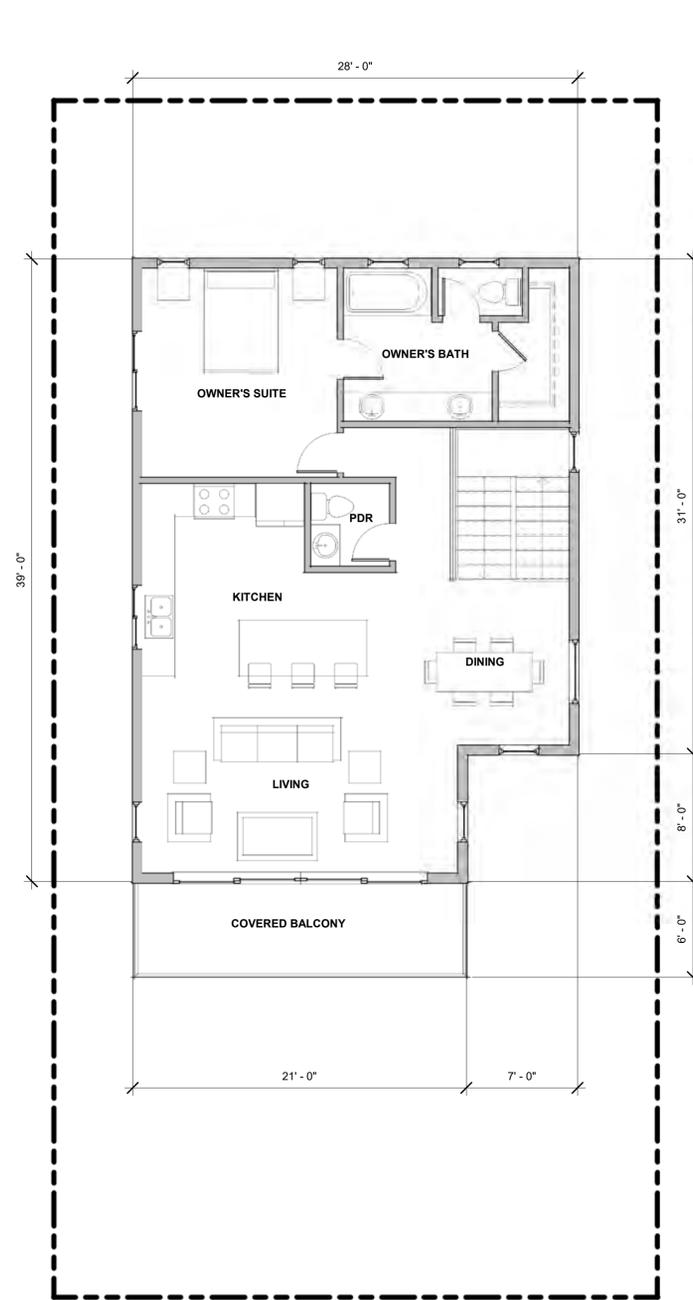
REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



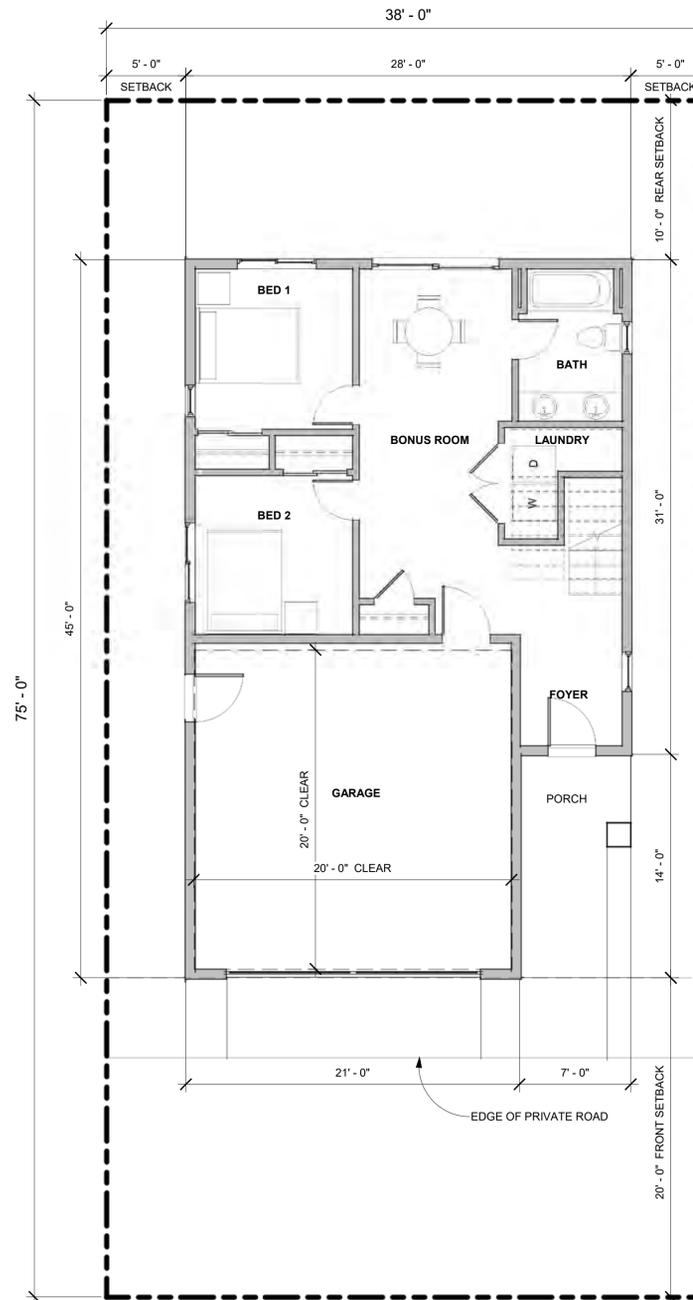
RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



SECOND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)



GROUND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)

LOT STATS	
TYPICAL LOT SIZE:	38' X 75'
FRONT SETBACK:	20'-0"
REAR SETBACK:	10'-0"
SIDE SETBACK:	5'-0"
LOT COVERAGE:	1,202 SF/2,850 SF = 42.1%
BUILDING AREA	
GROUND FLOOR	717 SF
SECOND FLOOR	1,036 SF
TOTAL AREA	1,753 SF
GARAGE	445 SF
BALCONY	133 SF
PORCH	40 SF



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



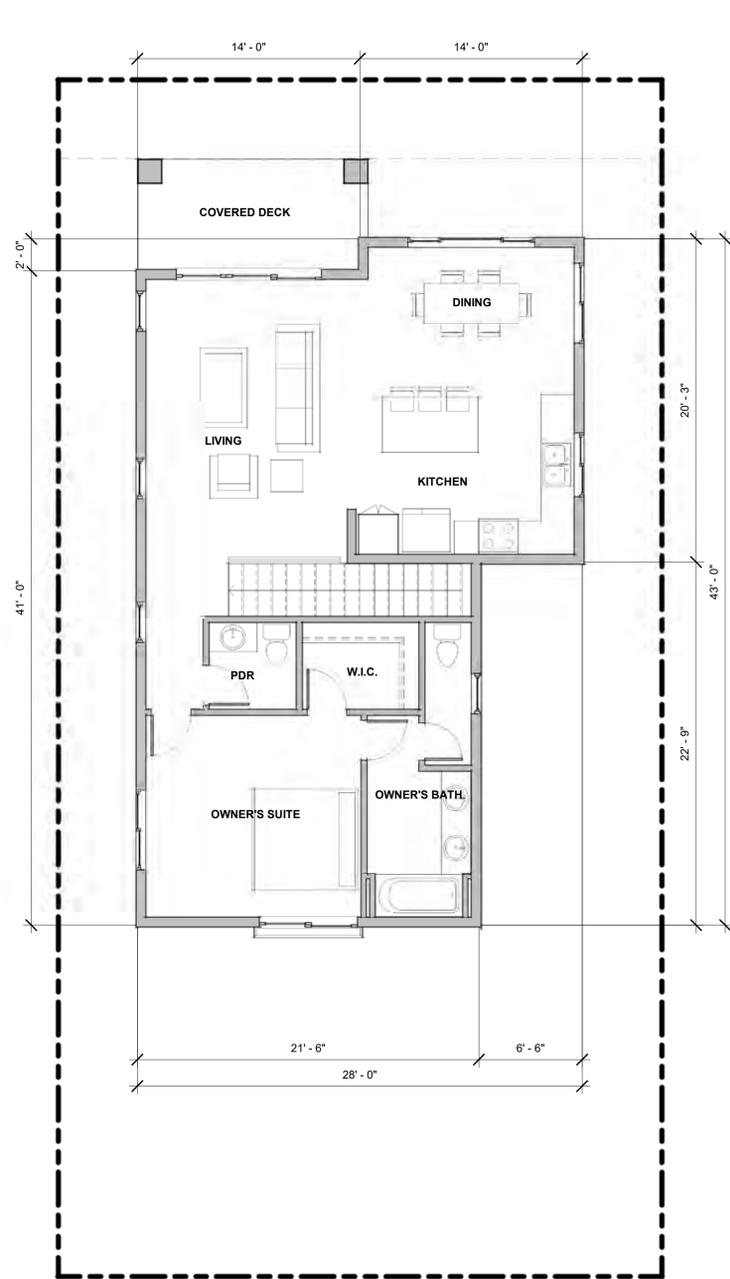
REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



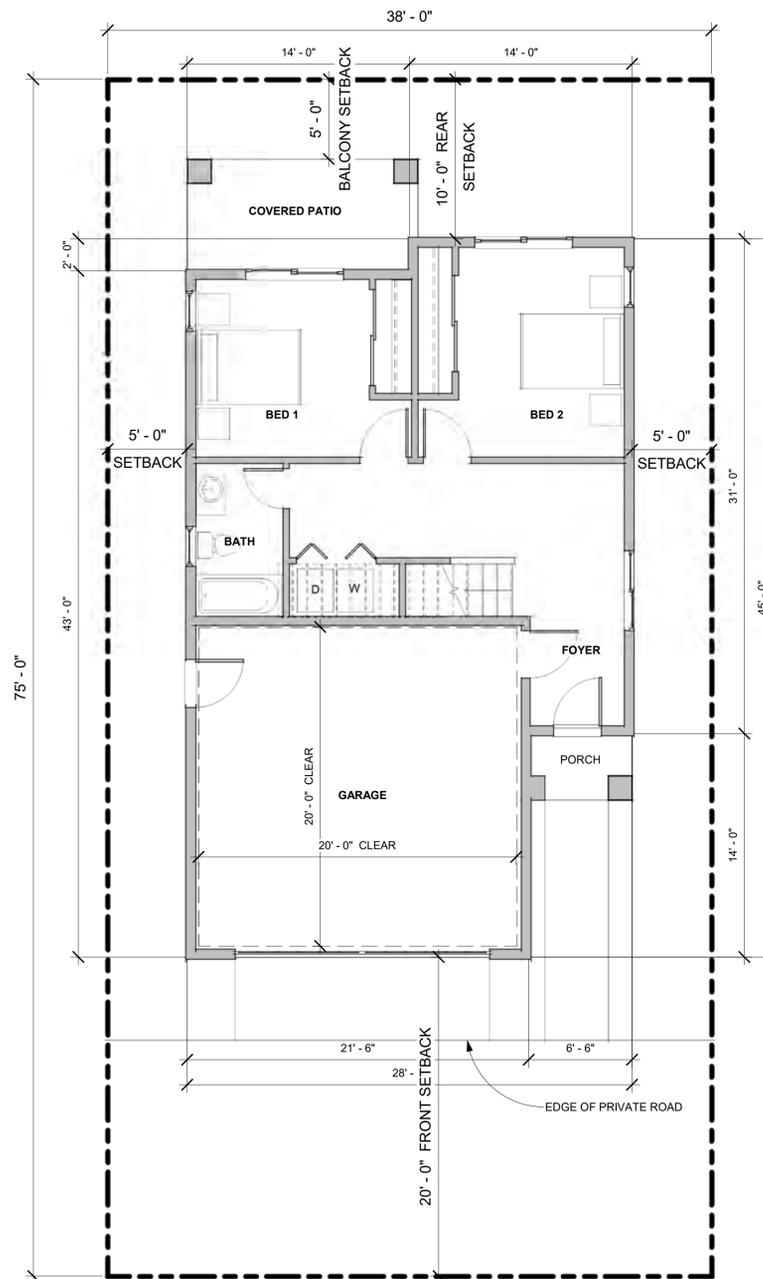
RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



SECOND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)



GROUND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)

LOT STATS	
TYPICAL LOT SIZE:	38' X 75'
FRONT SETBACK:	20'-0"
REAR SETBACK:	10'-0"
SIDE SETBACK:	5'-0"
LOT COVERAGE:	1,275 SF/2,850 SF = 44.7%
BUILDING AREA	
GROUND FLOOR	694 SF
SECOND FLOOR	1,034 SF
TOTAL AREA	1,728 SF
GARAGE	454 SF
BALCONY	100 SF
PORCH	27 SF



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)

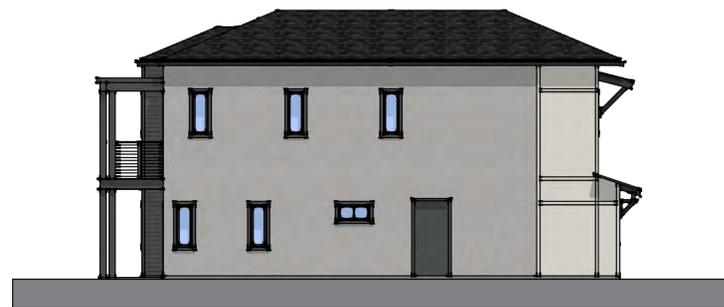


RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



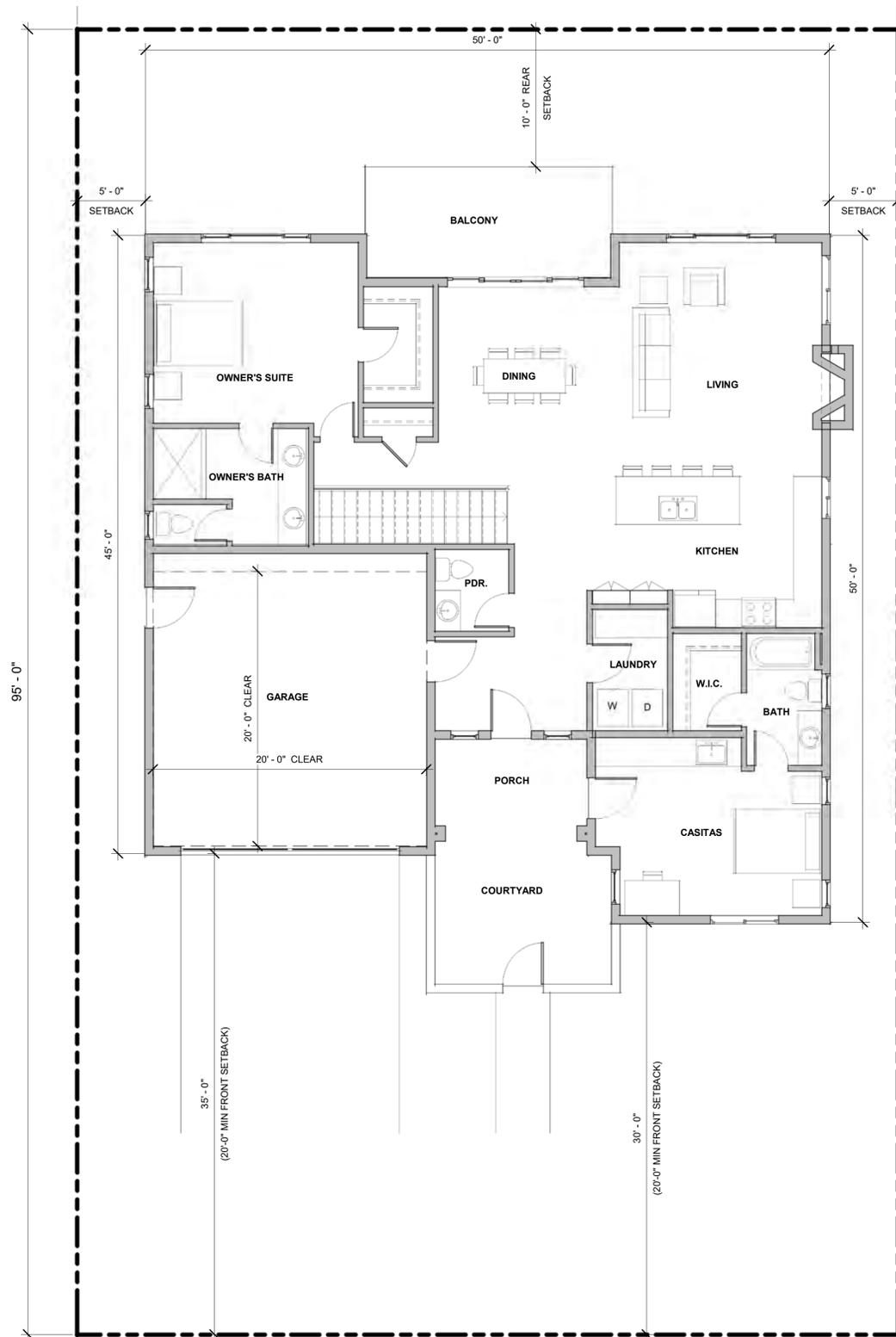
REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



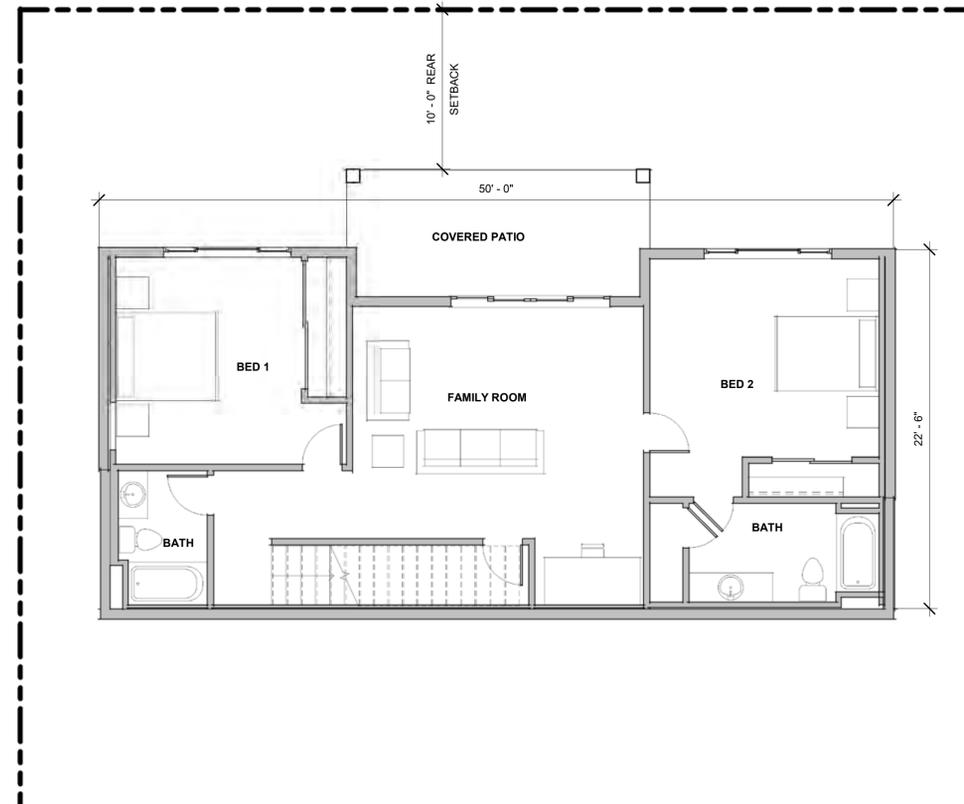
RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



UPPER FLOOR (STREET LEVEL)

3/16" = 1'-0" (24 X 36 SHEET)



LOWER FLOOR

3/16" = 1'-0" (24 X 36 SHEET)

LOT STATS

TYPICAL LOT SIZE:	60' X 95'
FRONT SETBACK:	20'-0"
REAR HOUSE SETBACK:	15'-0"
REAR BALCONY SETBACK:	10'-0"
SIDE SETBACK:	5'-0"
LOT COVERAGE:	2,411 SF/5,698 SF = 42%

BUILDING AREA

LOWER FLOOR	1,104 SF
UPPER FLOOR (STREET LEVEL)	1,716 SF
TOTAL AREA	2,820 SF
GARAGE	464 SF
BALCONY	147 SF
PORCH	84 SF



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)

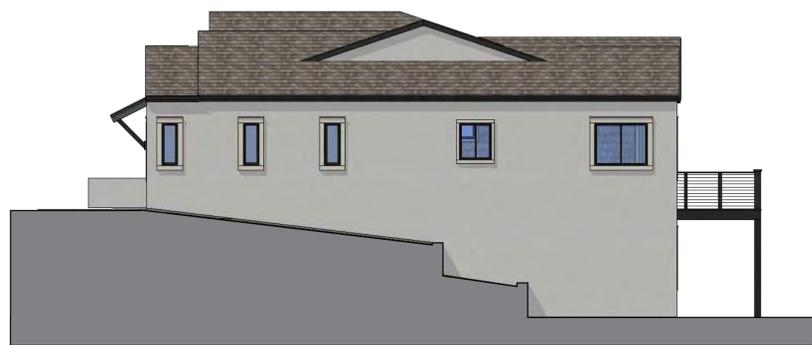


RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)

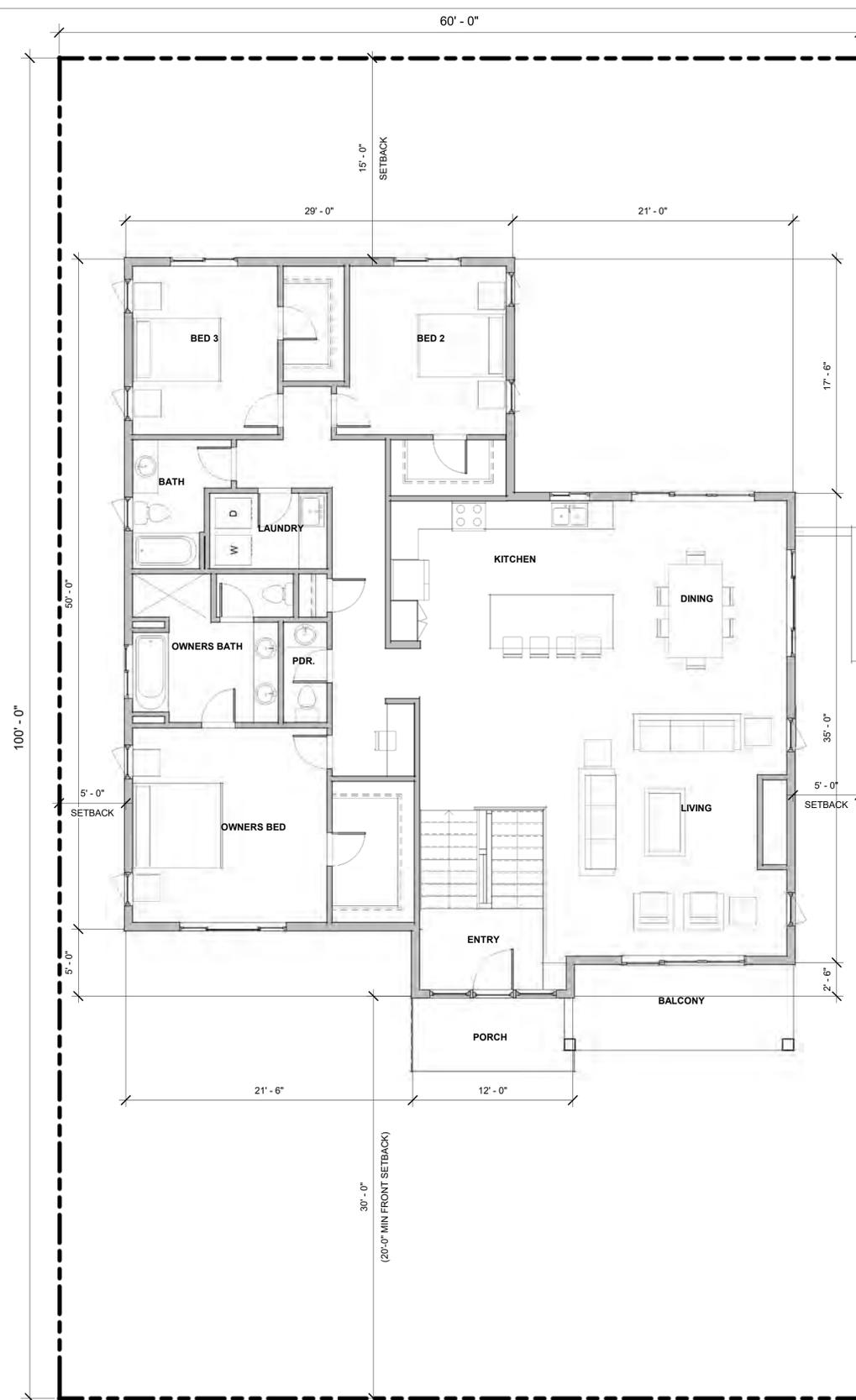
MAX. BLDG. HEIGHT
25'-0" ABV A.N.G.

I.O.P.
21'-2"

F.F. 1
11'-1"

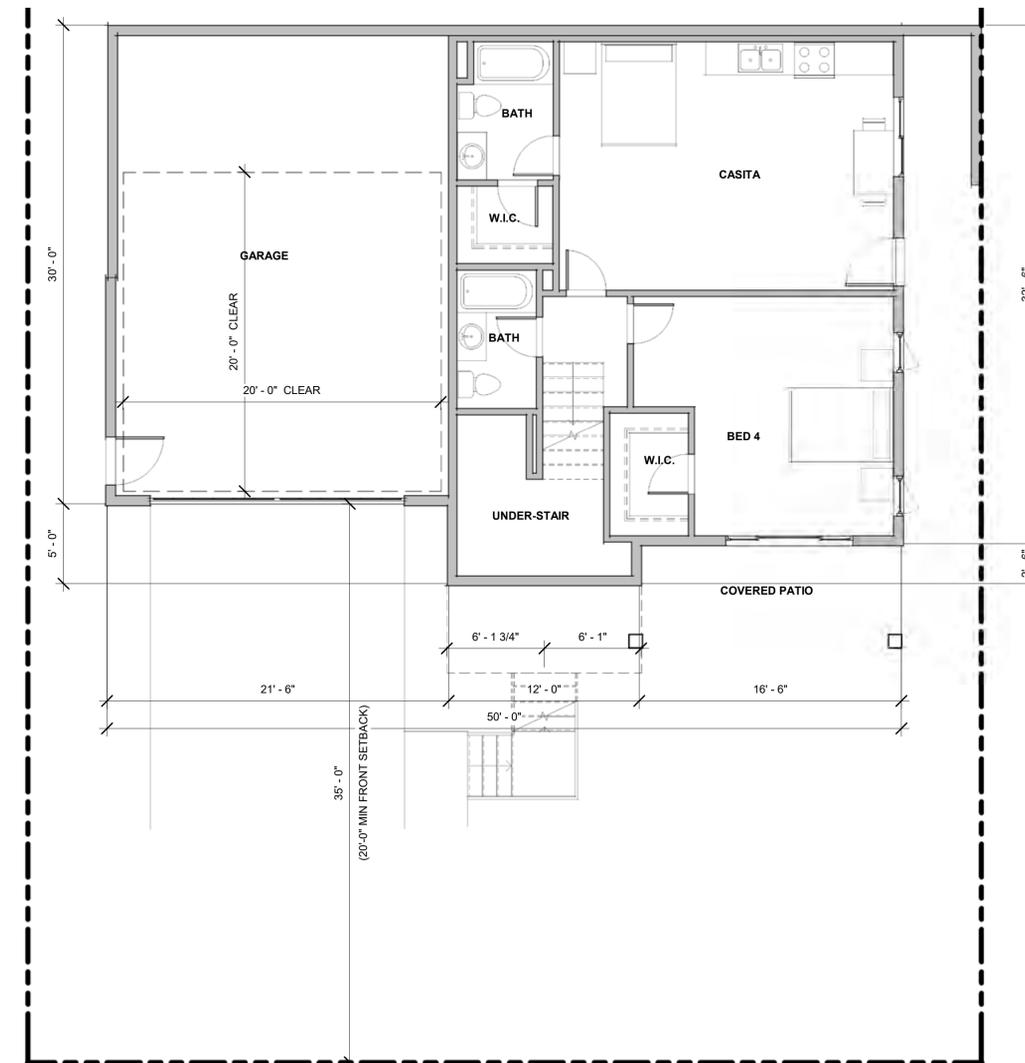
A.N.G.
5'-0"

F.F. 0
0'-0"



UPPER FLOOR

3/16" = 1'-0" (24 X 36 SHEET)



LOWER FLOOR (STREET LEVEL)

3/16" = 1'-0" (24 X 36 SHEET)

LOT STATS

TYPICAL LOT SIZE:	60' X 100'
FRONT SETBACK:	20'-0"
REAR HOUSE SETBACK:	15'-0"
REAR BALCONY SETBACK:	10'-0"
SIDE SETBACK:	5'-0"
LOT COVERAGE:	2,436 SF/5,944 = 41%

BUILDING AREA

LOWER FLOOR (STREET LEVEL)	1,035 SF
UPPER FLOOR	2,243 SF
TOTAL AREA	3,278 SF
GARAGE	640 SF
BALCONY	109 SF
PORCH	84 SF



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)

MAX. BLDG. HEIGHT
25'-0" ABV A.N.G.

T.O.P.
21'-2"

F.F. 1
11'-1"

A.N.G.
5'-0"

F.F. 0
0'-0"

Vesting Tentative Map No. 3190

IN THE CITY OF MORRO BAY, CALIFORNIA

BEING A PARCEL OF LAND IN LOT 8 IN BLOCK 1-E OF
THE ATASCADERO BEACH SUBDIVISION, IN THE COUNTY
OF SAN LUIS OBISPO, STATE OF CALIFORNIA, AS
DESCRIBED IN BOOK 2 OF MAPS, PAGE 15

OWNERS

MORRO 94, LLC
CHRISS MATHYS AND ROB SOLLEY
2141 TUOLOMNE STREET, SUITE J
FRESNO, CA 93721

REPRESENTATIVE

RRM DESIGN GROUP
3765 S. HIGUERA STREET
SAN LUIS OBISPO, CA 93401
(805) 543-1794

SHEET INDEX

C1..... TITLE SHEET
C2..... EXISTING CONDITIONS MAP
C3..... VESTING PARCEL MAP
C4..... SITE PLAN
C5..... GRADING PLAN
C6..... SITE AREA BREAKDOWN PLAN
C7..... STORMWATER MANAGEMENT PLAN
C8..... AVERAGE NATURAL GRADE
C9..... SITE SECTION A-A
C10..... SITE SECTION B-B
C11..... SITE SECTION C-C
L1..... TREE PROTECTION PLAN
L2..... LANDSCAPE CONCEPT PLAN

UTILITIES

ELECTRIC..... PACIFIC GAS & ELECTRIC
TELEPHONE..... AT&T
CABLE..... CHARTER COMMUNICATIONS
GAS..... SOCAL GAS COMPANY
SEWER..... CITY OF MORRO BAY
WATER..... CITY OF MORRO BAY

HORIZONTAL & VERTICAL CONTROL

THE BASIS OF BEARING FOR THIS SURVEY IS THIS IS LINE BETWEEN 2 SET PK NAILS WITH TINS SHOWN HEREON THE BEARING BEING N14°09'46"E. THE POINTS WERE SET USING THE RTN NETWORK NAD 83 ZONE 5

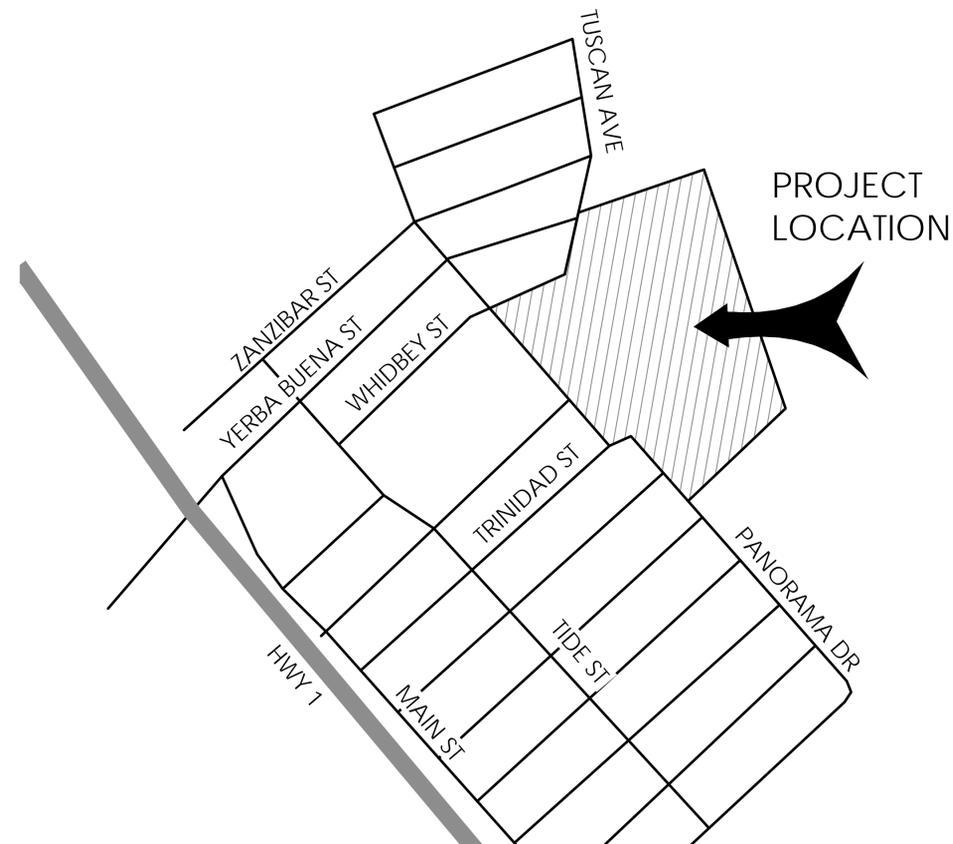
THE BENCHMARK FOR THIS PROJECT IS A FOUND 2.5 INCH BRASS CAP ON TOP OF A CONCRETE HEADWALL NGS DESIGNATION Q1314 1977 AT THE NORTHEAST CORNER OF THE INTERSECTION OF HWY 41 AND HWY 1 ELEVATION BEING 25.74'. NAVD 88

TOPOGRAPHY

AERIAL MAPPING DONE BY OTHERS, SUPPLEMENTAL TOPOGRAPHY AND MAPPING PROVIDED BY RRM DESIGN GROUP, MAY 2021

LAND USE

THE PROPOSED LAND USE IS CONSISTENT WITH THE EXISTING R-1/PD ZONING.



VICINITY MAP

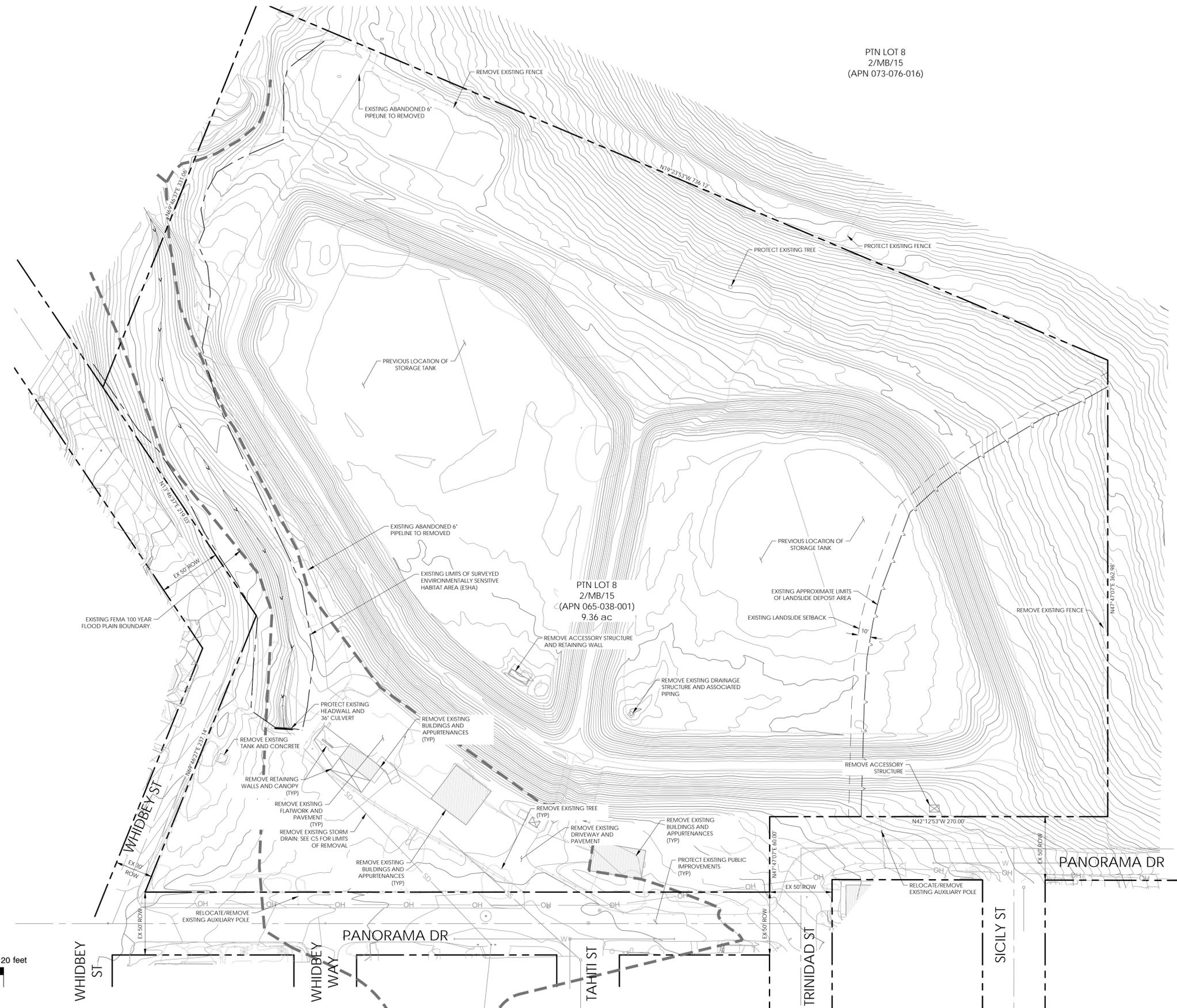
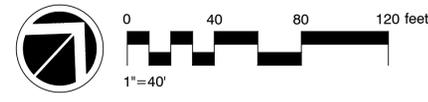
NOT TO SCALE



LEGEND

- SD — EXISTING PUBLIC STORM DRAIN
- SS — EXISTING PUBLIC SEWER MAIN
- W — EXISTING PUBLIC WATER MAIN
- 500 — EXISTING MAJOR CONTOUR
- 497 — EXISTING MINOR CONTOUR
- - - EXISTING FEMA FLOOD PLAIN
- - - ESHA
- - - TRACT BOUNDARY

PTN LOT 8
2/MB/15
(APN 073-076-016)



EXISTING CONDITIONS
3300 PANORAMA DRIVE

AUGUST 21, 2023

0404-01-CU21

C2

CUP/CDP PACKAGE

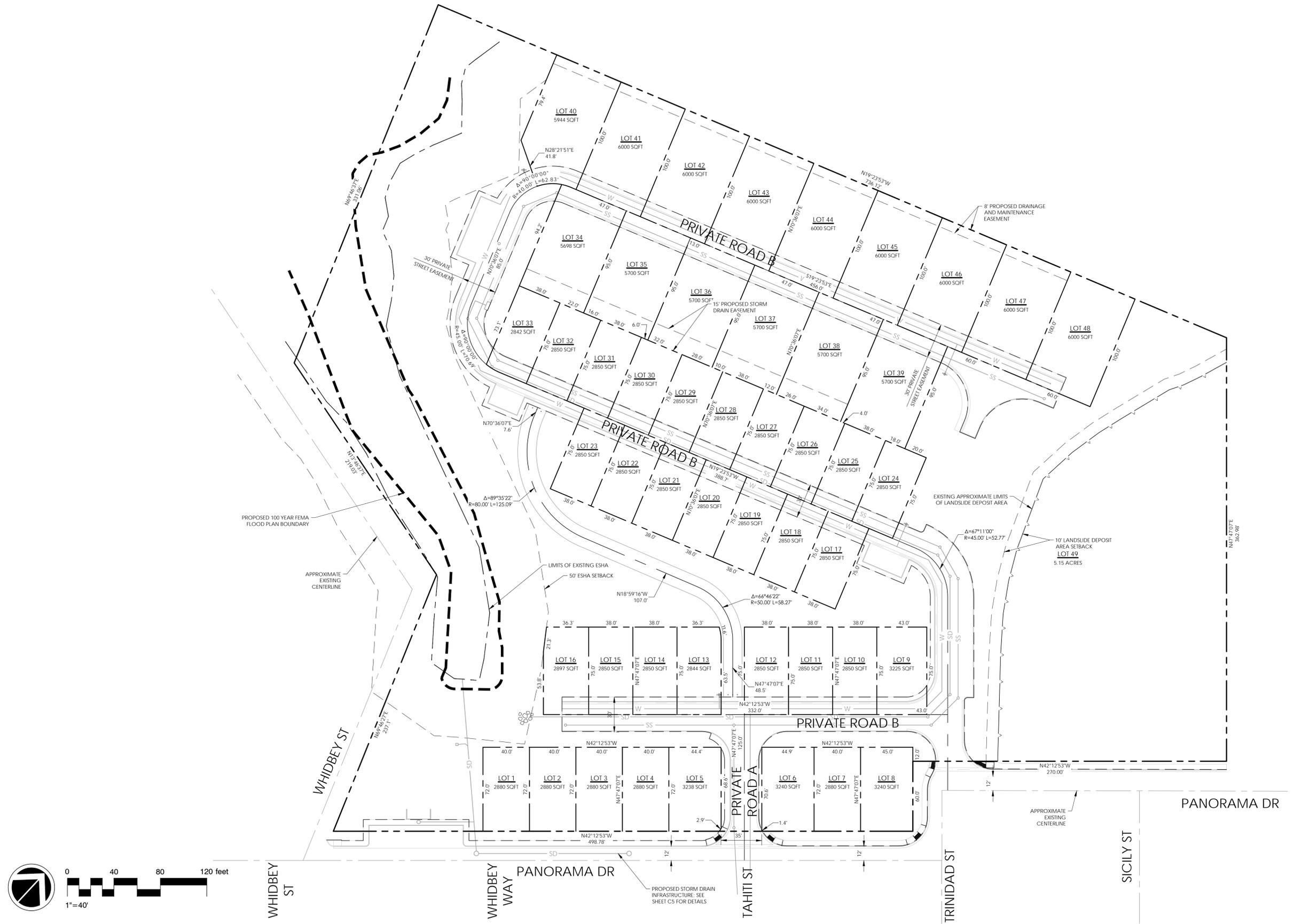
LEGEND

- TRACT BOUNDARY
- - - PROPOSED PROPERTY LINE
- - - PROPOSED EASEMENT/SETBACK
- - - PROPOSED RW
- SD STORM DRAIN
- SS SEWER SERVICE
- W WATER MAIN

EASEMENTS NOTE

PRIVATE VEHICULAR ACCESS, PEDESTRIAN ACCESS, EMERGENCY ACCESS, PARKING, DRAINAGE, STORM DRAIN, PUBLIC SEWER, AND PUBLIC WATER EASEMENTS OVER PRIVATE ROAD A, PRIVATE ROAD B, PRIVATE ROAD C, AND OPEN SPACE LOT TO THE BENEFIT OF LOTS 1 THROUGH 48.

PUBLIC UTILITY EASEMENT IS PROPOSED OVER ALL LOTS, INCLUSIVE, EXCLUDING BUILDING LOCATIONS FOR THE USE AND BENEFIT OF THE PRESENT AND FUTURE LOT OWNERS.



VESTING TENTATIVE MAP
3300 PANORAMA DRIVE

AUGUST 21, 2023

0404-01-CU21

C3

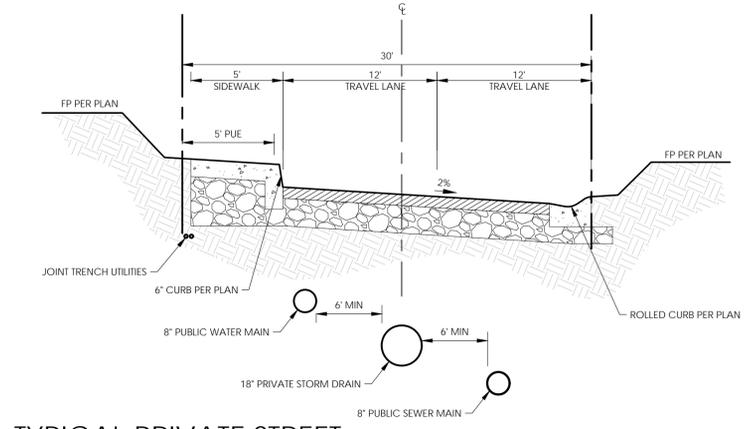
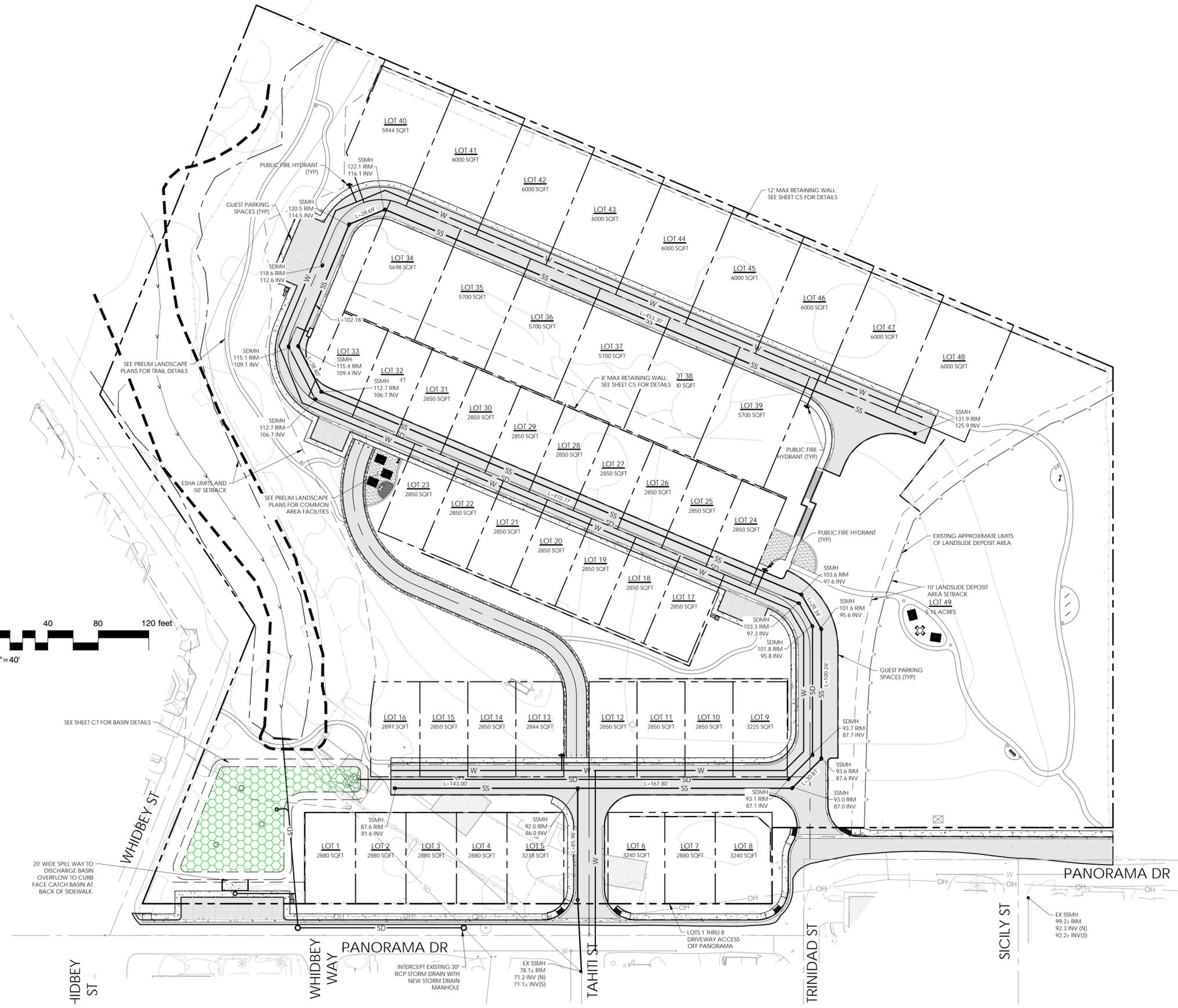
CUP/CDP PACKAGE

LEGEND

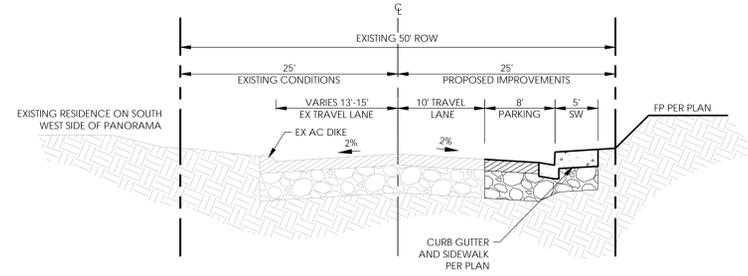
- SD PRIVATE STORM DRAIN
- SS 8" PUBLIC SEWER SERVICE
- W 8" PUBLIC WATER MAIN
- 500 EXISTING MAJOR CONTOUR
- 497 EXISTING MINOR CONTOUR
- PROPOSED FIRE HYDRANT (500' MAX SPACING)

NOTES

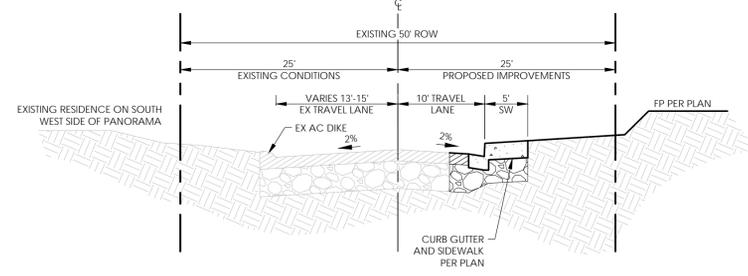
1. ANY DAMAGE, AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.
2. NO WORK SHALL OCCUR WITHIN (OR USE OF) THE CITY'S RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMIT APPLICATION AND REQUIREMENTS ARE AVAILABLE ON THE CITY'S WEBSITE AT THE FOLLOWING LOCATION: [HTTPS://WWW.MORRO-BAY.CA.US/197/PUBLIC-WORKS](https://www.morrobay.ca.us/197/PUBLIC-WORKS).
 - A STANDARD ENCROACHMENT PERMIT SHALL BE REQUIRED FOR THE PROPOSED DRIVEWAY. THE DRIVEWAY SHALL COMPLY WITH B-9 (DRIVEWAY RAMPS: SIZE & LOCATION).
 - A SEWER ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ANY REPAIRS OR INSTALLATION OF A SEWER LATERAL WITHIN THE CITY RIGHT-OF-WAY OR WITHIN A UTILITY EASEMENT.
 - IF A CONSTRUCTION DUMPSTER IS USED, THE DUMPSTER LOCATION SHALL BE ON PRIVATE PROPERTY, UNLESS ALLOWED BY A TEMPORARY ENCROACHMENT PERMIT WITHIN THE CITY RIGHT-OF-WAY.
3. ALL PROPOSED WATER BACKFLOW PREVENTER DEVICES ARE REQUIRED TO BE AN APPROVED DOMESTIC WATER BACKFLOW PREVENTION DEVICE PER THE CITY OF MORRO BAY.
4. A 1" WATER METER AND SERVICE IS PROPOSED FOR EACH RESIDENTIAL LOT



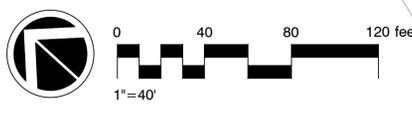
TYPICAL PRIVATE STREET
NOT TO SCALE



PANORAMA DRIVE - SOUTH EAST OF TRINIDAD STREET
REFERENCE CITY OF MORRO BAY DETAIL A-1 (NOT TO SCALE)



PANORAMA DRIVE - NORTH WEST OF TRINIDAD STREET



PRELIMINARY CIVIL SITE PLAN
3300 PANORAMA DRIVE

AUGUST 21, 2023

0404-01-CU21

C4

CUP/CDP PACKAGE

LEGEND

- SD — STORM DRAIN
- SS — SEWER SERVICE
- W — WATER MAIN
- 500 — EXISTING MAJOR CONTOUR
- 497 — EXISTING MINOR CONTOUR
- 500 — PROPOSED MAJOR CONTOUR
- 497 — PROPOSED MINOR CONTOUR

NOTES

1. FINISH FLOOR ELEVATIONS ARE PROPOSED TO BE 8" ABOVE FINISHED PAD ELEVATIONS.

ESTIMATED PRELIMINARY EARTHWORK QUANTITIES

GROSS AFFECTED AREA OF DISTURBANCE: 8.5 ACRES

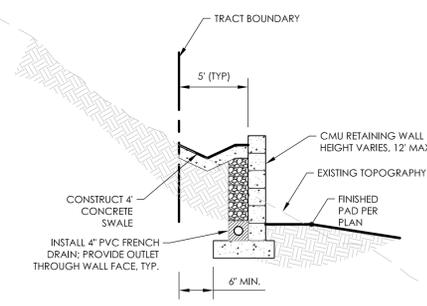
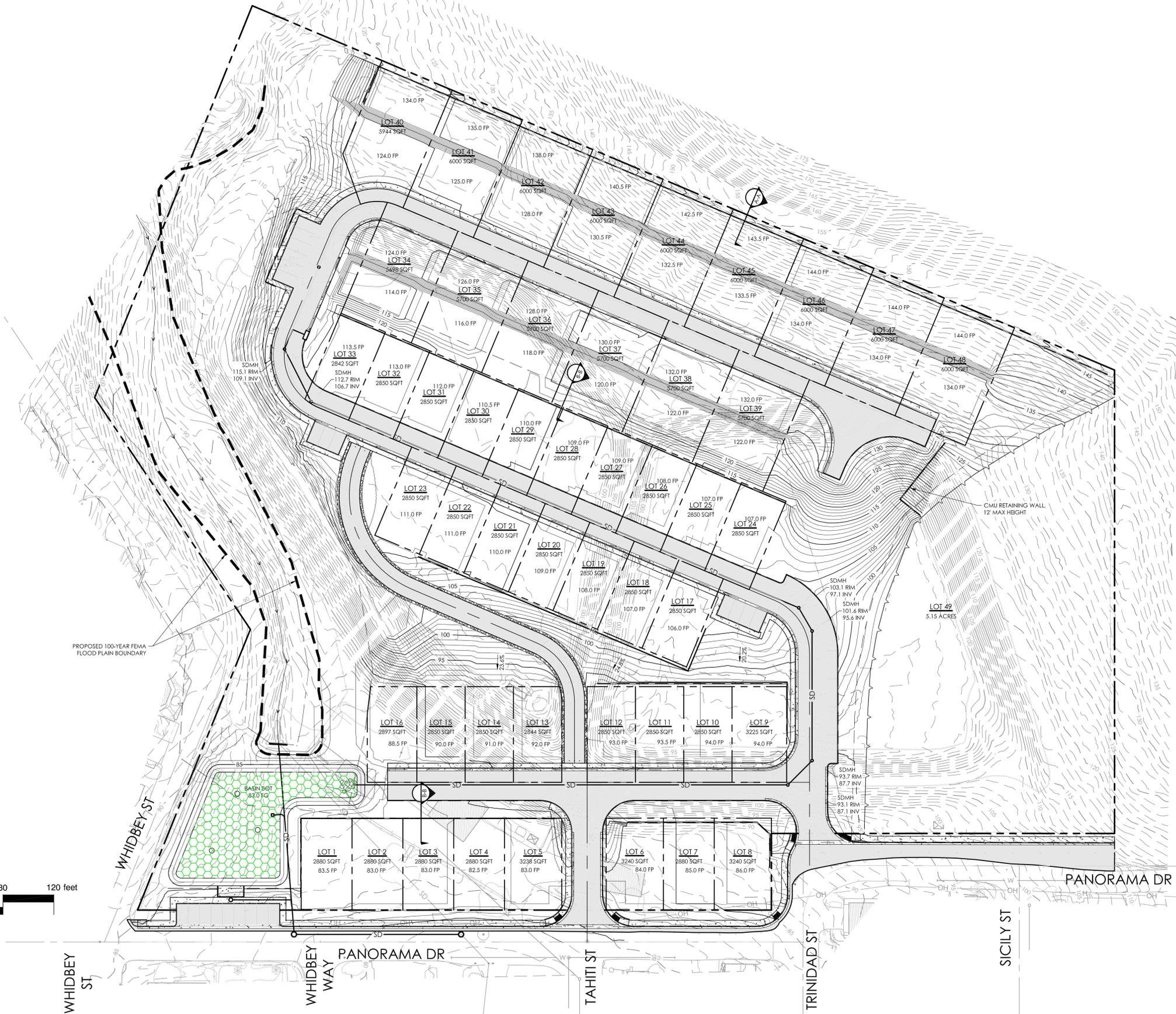
RAW CUT: 10,040 CUBIC YARDS

RAW FILL: 81,100 CUBIC YARDS

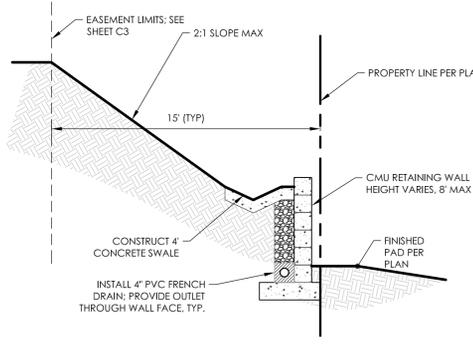
ADJUSTED FILL: 97,320 CUBIC YARDS
(ASSUMED 20% SHRINKAGE)

NET QUANTITY: 87,280 CUBIC YARDS IMPORT

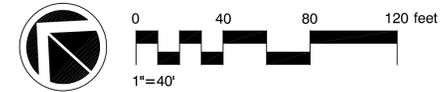
THE APPROXIMATE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE CALCULATED BETWEEN THE PROPOSED PRELIMINARY ROUGH GRADE SURFACE AND EXISTING GROUND TOPOGRAPHIC SURFACE, AND ARE SUBJECT TO CHANGE. APPROXIMATE QUANTITIES SHOWN ON ARE FOR REFERENCE ONLY. THESE ESTIMATES DO NOT INCLUDE CONSIDERATIONS FOR LOSSES OR BULKING DUE TO: SOIL AMENDMENTS, STABILIZATION, SLOPE BENCHING, DRAINAGE, SWALES, CONSTRUCTION TECHNIQUE, FOOTING & TRENCHING SPOILS, ETC. THESE CONSIDERATIONS, IN ADDITION TO ACTUAL FIELD CONDITIONS AND THE FINAL RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, MAY SIGNIFICANTLY AFFECT THE FINAL IMPORT/EXPORT QUANTITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE ACTUAL QUANTITIES FOR THE PURPOSE OF BIDDING, CONSTRUCTION AND COST ESTIMATES. CONTRACTOR IS ALSO RESPONSIBLE FOR ADJUSTMENTS TO SLOPE HINGE POINTS IN ORDER TO PROVIDE GRADED PAD AREA ADJACENT TO PATHS, WALKWAYS, AND ROADS FOR UTILITY BOXES, TRANSFORMERS, AND ABOVE GROUND UTILITY INFRASTRUCTURE.



RETAINING WALL SECTION (A-A)
NOT TO SCALE



RETAINING WALL SECTION (B-B)
NOT TO SCALE



PRELIMINARY GRADING PLAN
3300 PANORAMA DRIVE

AUGUST 21, 2023

0404-01-CU21

C5

CUP/CDP PACKAGE

SITE AREAS BREAKDOWN

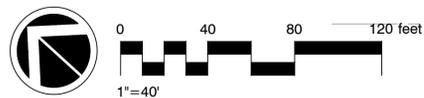
Description	Area (SF)	Area (AC)
ESHA Area	29,754	0.68
ESHA Buffer Area	39,171	0.90
Developable Lots	156,318	3.59
Common areas	182,901	4.20
Sub Total	408,145	9.37
ROW	29,886	0.69
Total Area	438,030	10.06

Common Areas Breakdown		
Description	Area (SF)	Area (AC)
Roads & Sidewalk (Lots 9-48)	27,601	0.63
Roads & Sidewalk (Lot 49)	28,293	0.65
Landscape	127,007	2.92
Total Common Area	182,901	4.20

Lot 49 Break Down		
Description	Area (SF)	Area (AC)
Landscape	127,007	2.92
Roads & Sidewalk (Lot 49)	28,293	0.65
ESHA Area	29,754	0.68
ESHA Buffer Area	39,171	0.90
Lot 49 Total Area	224,225	5.15

NOTES:

1. ALL COMMON AREAS AND ONSITE ROADS TO BE MAINTAINED BY HOA.
2. COMMON AREAS DO NOT INCLUDE PUBLIC ROADS & SIDEWALKS
3. THE RIGHT OF WAY AREA IS MEASURED BETWEEN PANORAMA DRIVE CENTERLINE OR WHIDBEY STREET CENTERLINE AND THE PROPERTY LINE OF THE PROJECT.
4. THE RETENTION BASIN IS INCLUDED IN ESHA BUFFER AREA AND COMMON AREA CALCULATIONS.
5. SIDEWALK AND ROADS IMPROVEMENTS INCLUDED WITHIN LOTS 9-48 ARE CONSIDERED COMMON AREA AND EXCLUDED FROM DEVELOPABLE LOT AREA.



DMA STATISTICS

DMA 1: 242,825 sf

NEW IMPERVIOUS = 132,955 sf
 BUILDINGS = 75,250
 PAVING AREA = 48,155 sf
 SIDEWALKS = 9,550 sf

LANDSCAPE = 109,870 sf

$i = 132,955 / 242,825 = 54.8\%$ IMPERVIOUS

DMA 2: 40,275 sf

NEW IMPERVIOUS = 26,095 sf
 BUILDINGS = 14,400
 PAVING AREA = 7,745 sf
 SIDEWALKS = 3,950 sf

LANDSCAPE = 14,180 sf

$i = 26,095 / 40,275 = 64.8\%$ IMPERVIOUS

DRAINAGE SUMMARY:

$[POST-DEV] - [PRE-DEV] = Q_A$ [STORAGE REQ]
 $Q_2 = 4.47 \text{ cfs} - 2.27 \text{ cfs} = 2.19 \text{ cfs}$ [2,565 cf]
 $Q_{10} = 6.92 \text{ cfs} - 2.27 \text{ cfs} = 3.40 \text{ cfs}$ [9,950 cf]
 $Q_{25} = 9.38 \text{ cfs} - 4.34 \text{ cfs} = 5.04 \text{ cfs}$ [11,635 cf]
 $Q_{50} = 12.22 \text{ cfs} - 4.98 \text{ cfs} = 7.24 \text{ cfs}$ [13,103 cf]
 $Q_{100} = 16.61 \text{ cfs} - 5.64 \text{ cfs} = 10.97 \text{ cfs}$ [23,144 cf] < 23,860 cf provided

LEGEND

- DIRECTION OF FLOW
- DRAINAGE MANAGEMENT AREA 1
- DRAINAGE MANAGEMENT AREA 2
- PROPOSED IMPROVEMENTS**
- PAVING AREA: 55,900 sf
- SIDEWALKS: 13,500 sf
- BUILDINGS: 89,650 sf
- LANDSCAPE: 124,050 sf
- TOTAL IMPERVIOUS = 159,050 sf (3.65 AC)**
- TOTAL AREA: 6.50 ACRES**
- PROPOSED TREATMENT**
- BIORETENTION AREA

REQUIRED STORMWATER CONTROL MEASURES

TIER 1 - RUNOFF REDUCTION

- ROOF DRAIN DISCONNECT
- MINIMIZE IMPERVIOUS AREAS

TIER 2 - WATER QUALITY (85th PERCENTILE = 1.0")

- ON-SITE RETENTION-BASED TREATMENT AND INFILTRATION

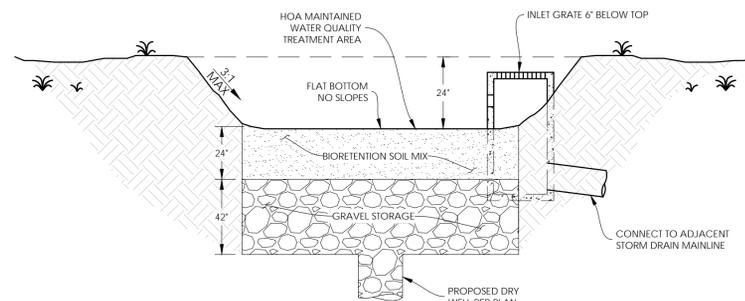
TIER 3 - RETAIN 95TH PERCENTILE STORM EVENT (1.55")

- WATERSHED MANAGEMENT ZONE 1
- BASINS WILL RETAIN AND INFILTRATE THE REQUIRED 95TH PERCENTILE RETENTION VOLUME WHERE:

VOLUME (cf) = $(1.55' / 12") \cdot C_i \cdot A$
 $C_i = 0.858i^3 - 0.78i^2 + 0.774i + 0.04$
 i = IMPERVIOUS AREA RATIO
 A = TRIBUTARY AREA (sf)

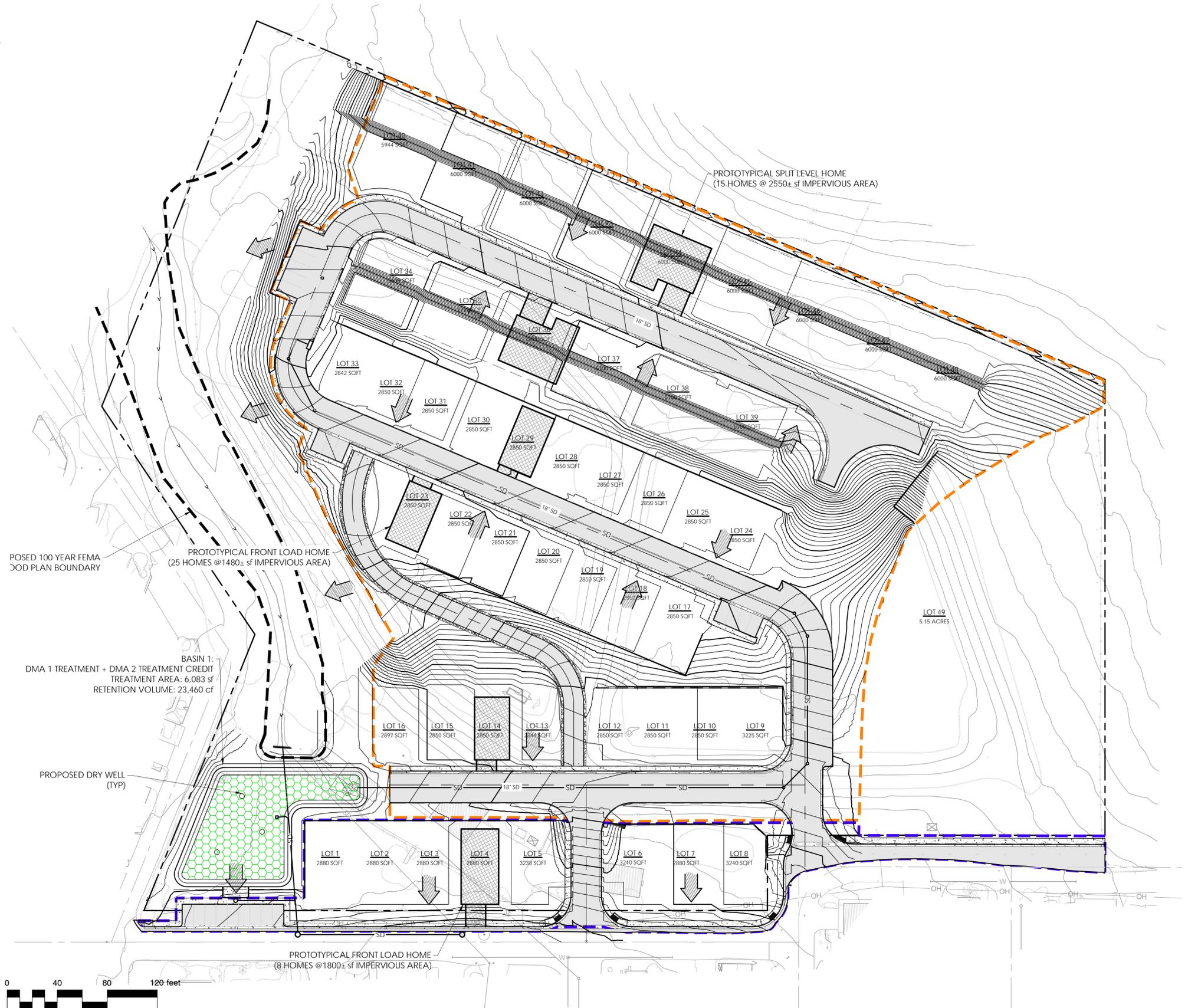
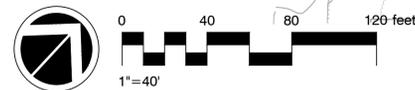
TIER 4 - PEAK MANAGEMENT

- WATERSHED MANAGEMENT ZONE 1
- PEAK MANAGEMENT FOR THE ON-SITE DEVELOPMENT IS PROVIDED IN THE RETENTION BASINS AS SHOWN.



TYPICAL TREATMENT BASIN

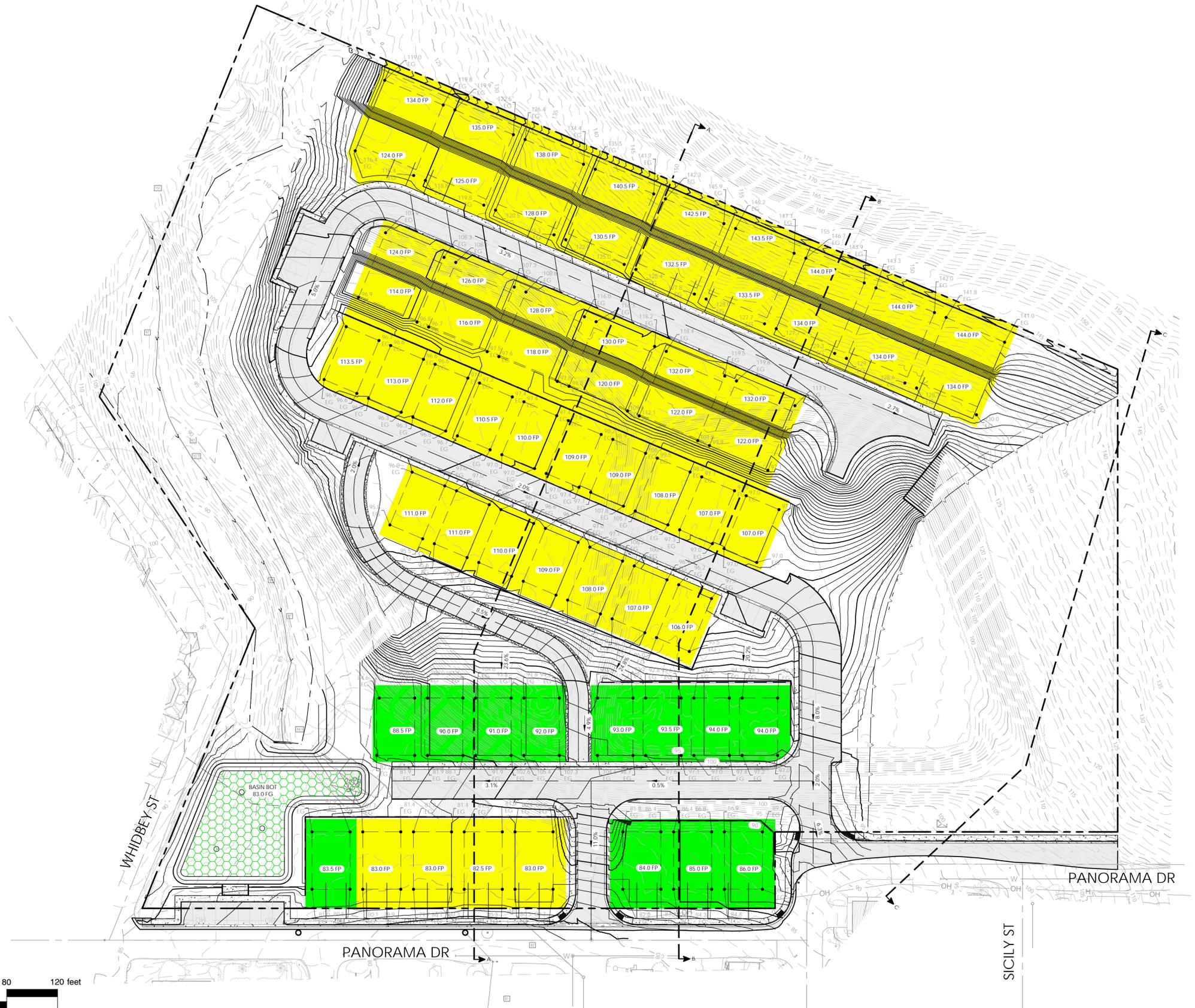
NTS



GRADE CALCULATIONS

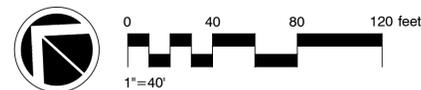
Lot	Low Point	High Point	Average Existing Grade	Average Proposed Grade	Average Existing Grade +25'	Proposed Pad +25'	Compliant?	Average Approximate Original Grade*	Compliant ?
Lot 1	80.5	82	81.3	83.5	106.3	108.5	NO	82.8	NO
Lot 2	79.9	81.7	80.8	83.0	105.8	108.0	NO	81.9	NO
Lot 3	79.7	81.4	80.6	83.0	105.6	108.0	NO	81.8	NO
Lot 4	80.3	81.5	80.9	82.5	105.9	107.5	NO	82.4	NO
Lot 5	80.3	80.9	80.6	83.0	105.6	108.0	NO	83.2	YES
Lot 6	82	86.4	84.2	84.0	109.2	109.0	YES	86.9	YES
Lot 7	83.7	86.8	85.3	85.0	110.3	110.0	YES	88.1	YES
Lot 8	84.8	89.3	87.1	86.0	112.1	111.0	YES	88.8	YES
Lot 9	94.3	94.7	94.5	94.0	119.5	119.0	YES	102.5	YES
Lot 10	93.8	97.4	95.6	94.0	120.6	119.0	YES	101.8	YES
Lot 11	92.8	97.6	95.2	93.5	120.2	118.5	YES	100.8	YES
Lot 12	93.2	104.6	98.9	93.0	123.9	118.0	YES	99.1	YES
Lot 13	91.8	107.3	99.6	92.0	124.6	117.0	YES	96.5	YES
Lot 14	91.9	104.6	98.3	91.0	123.3	116.0	YES	94.7	YES
Lot 15	81.9	107.4	94.7	90.0	119.7	115.0	YES	93.2	YES
Lot 16	81.9	95.9	88.9	88.5	113.9	113.5	YES	91.7	YES
Lot 17	95.5	97	96.3	106.0	121.3	131.0	NO	112.2	YES
Lot 18	96	105.9	101.0	107.0	126.0	132.0	NO	112.2	YES
Lot 19	96.9	106.9	101.9	108.0	126.9	133.0	NO	112.3	YES
Lot 20	95.8	97	96.4	109.0	121.4	134.0	NO	112.4	YES
Lot 21	95.9	96.7	96.3	110.0	121.3	135.0	NO	112.5	YES
Lot 22	95.6	97	96.3	111.0	121.3	136.0	NO	112.7	YES
Lot 23	95.5	97	96.3	111.0	121.3	136.0	NO	112.8	YES
Lot 24	97	97	97.0	107.0	122.0	132.0	NO	122.6	YES
Lot 25	97	97.7	97.4	107.0	122.4	132.0	NO	123.5	YES
Lot 26	98.2	105.7	102.0	108.0	127.0	133.0	NO	123.4	YES
Lot 27	97.7	107.8	102.8	109.0	127.8	134.0	NO	123.4	YES
Lot 28	97	98.2	97.6	109.0	122.6	134.0	NO	123.6	YES
Lot 29	97	97.4	97.2	110.0	122.2	135.0	NO	123.7	YES
Lot 30	96.7	97.4	97.1	110.5	122.1	135.5	NO	123.2	YES
Lot 31	96.3	97	96.7	112.0	121.7	137.0	NO	119.1	YES
Lot 32	96.3	96.6	96.5	113.0	121.5	138.0	NO	114.7	YES
Lot 33	96.6	96.9	96.8	113.5	121.8	138.5	NO	111.7	NO
Lot 34	96.8	108.3	102.6	119.0	127.6	144.0	NO	117.4	NO
Lot 35	96.7	108.1	102.4	121.0	127.4	146.0	NO	124.3	YES
Lot 36	97.6	116	106.8	123.0	131.8	148.0	NO	132.3	YES
Lot 37	98	118.2	108.1	125.0	133.1	150.0	NO	133.8	YES
Lot 38	101.8	119.5	110.7	127.0	135.7	152.0	NO	134.5	YES
Lot 39	97.1	119.8	108.5	127.0	133.5	152.0	NO	134	YES
Lot 40	116.4	119.8	118.1	129.0	143.1	154.0	NO	119	NO
Lot 41	118.8	122.5	120.7	130.0	145.7	155.0	NO	124.1	NO
Lot 42	120.5	134.4	127.5	133.0	152.5	158.0	NO	131.4	NO
Lot 43	122.9	141.7	132.3	135.5	157.3	160.5	NO	140.6	YES
Lot 44	125.4	145.9	135.7	137.5	160.7	162.5	NO	147	YES
Lot 45	127.7	147.1	137.4	138.5	162.4	163.5	NO	147.7	YES
Lot 46	127.7	146.7	137.2	139.0	162.2	164.0	NO	146.1	YES
Lot 47	128.6	143.3	136.0	139.0	161.0	164.0	NO	142.9	YES
Lot 48	128.7	141.8	135.3	139.0	160.3	164.0	NO	141.6	YES

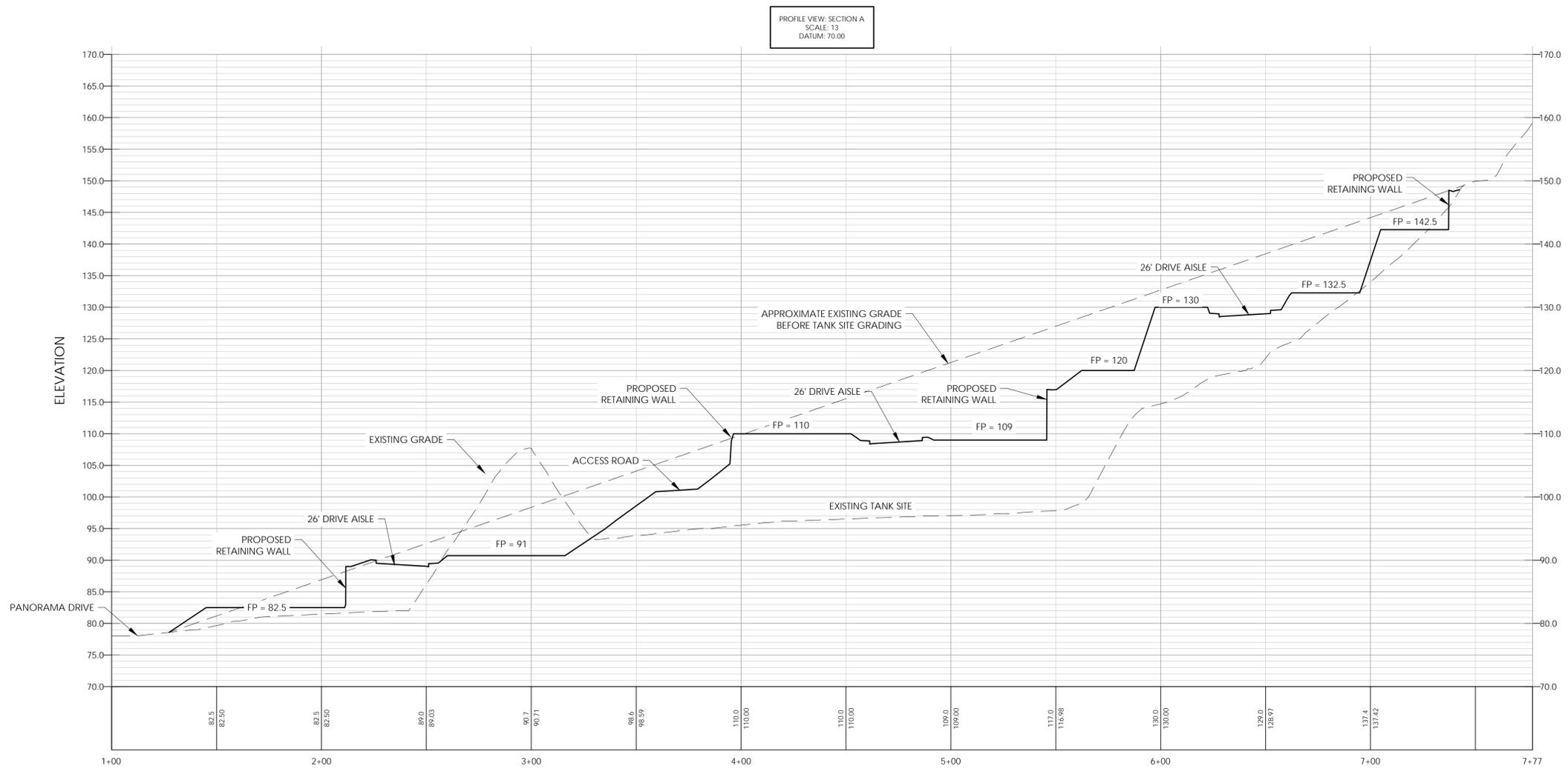
* THE 'AVERAGE APPROXIMATE ORIGINAL GRADE' REFERS TO THE SITE CONDITION PRIOR TO THE GRADING THAT CREATED THE NOW EXISTING FUEL TANK PADS.



LEGEND

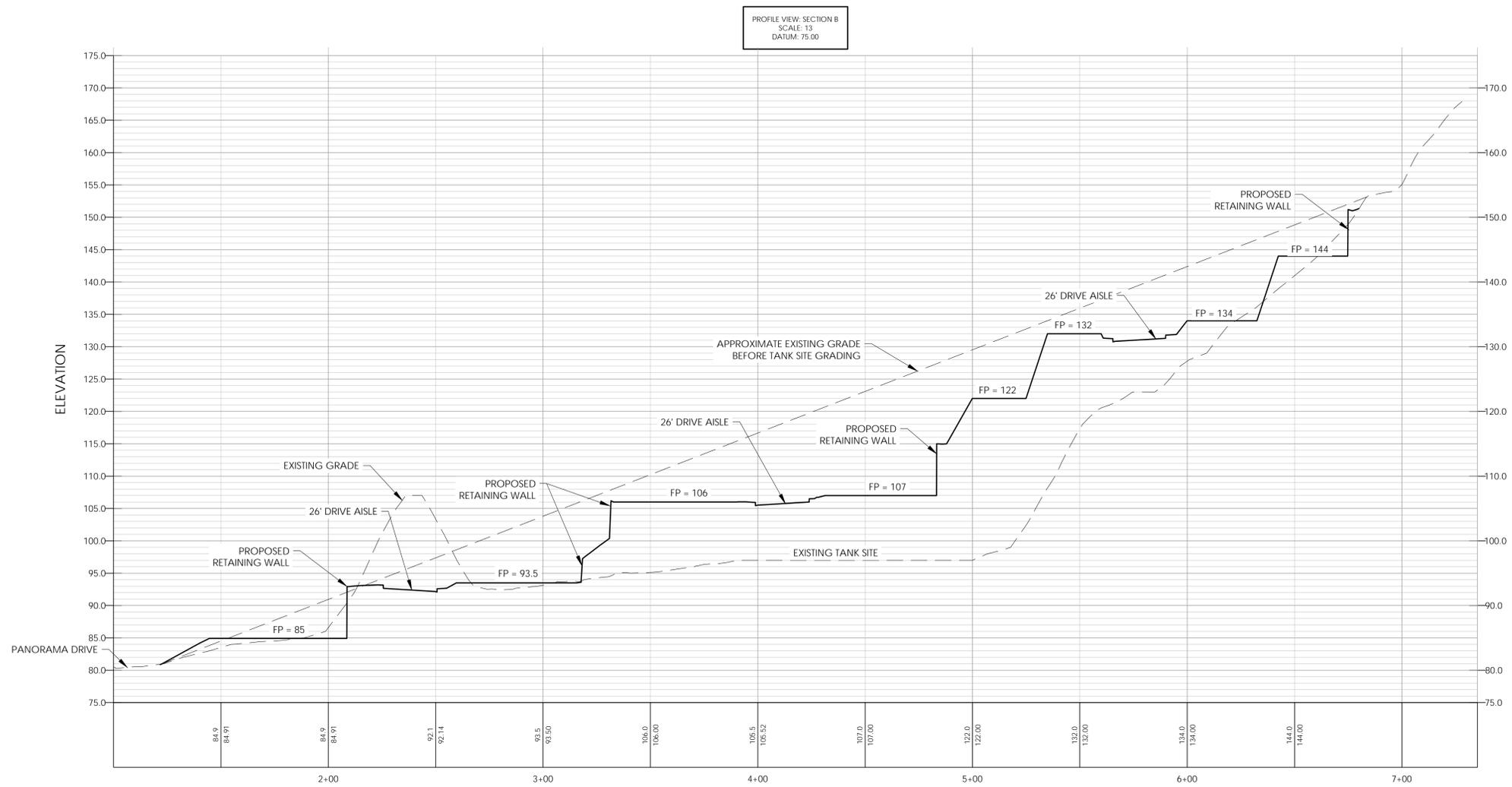
- COMPLIANT
- NON-COMPLIANT

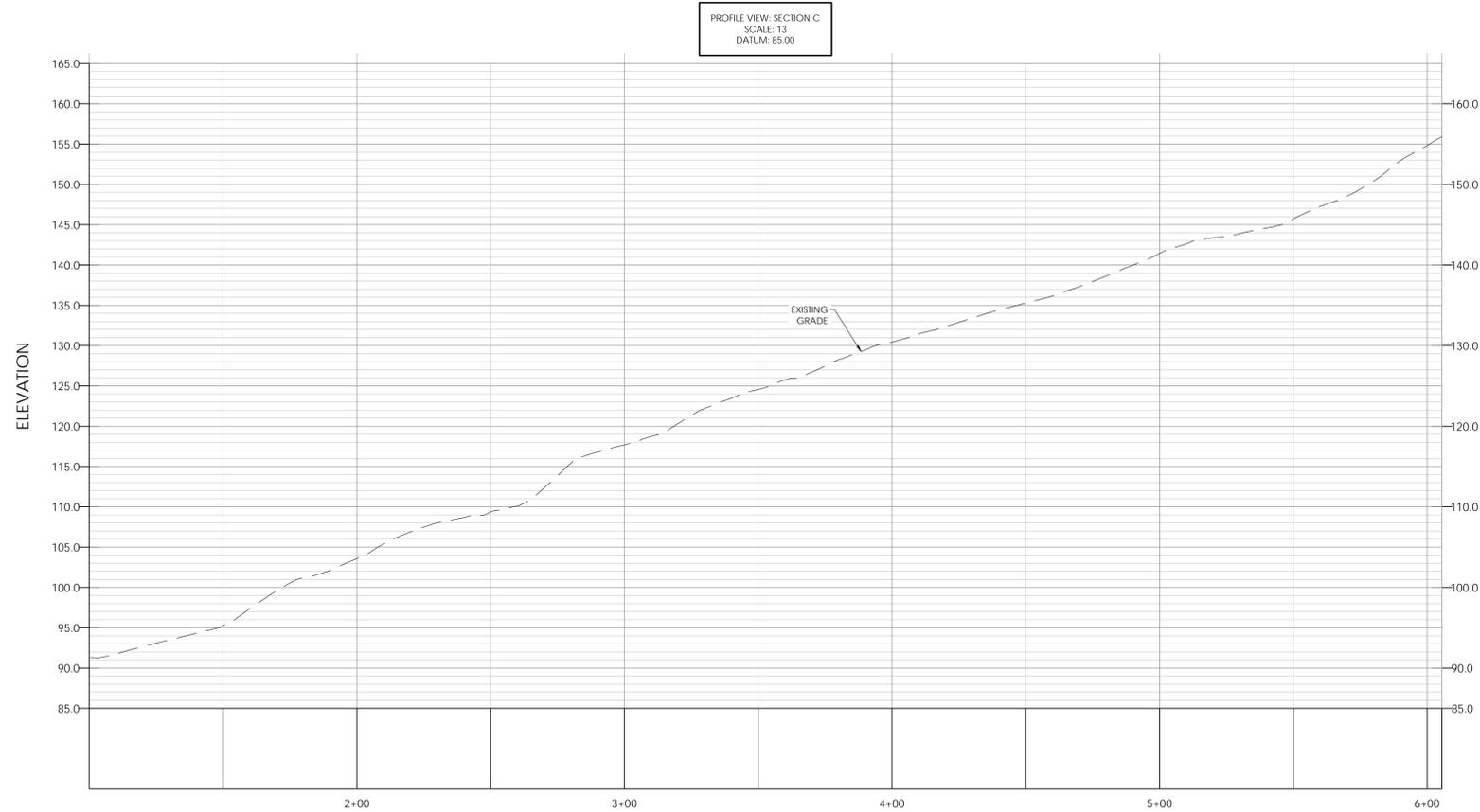




PROPOSED SITE SECTION A

1" = 30' HORIZONTAL SCALE
1" = 10' VERTICAL SCALE





PROPOSED SITE SECTION C

1" = 20' HORIZONTAL SCALE
1" = 5' VERTICAL SCALE

PROPOSED SITE SECTION C-C
3300 PANORAMA DRIVE

AUGUST 21, 2023

0404-01-CU21

C11

CUP/CDP PACKAGE



EXISTING TREE INVENTORY

Tree Tag	Botanical Name	Common Name	Diameter at Breast Height (in.)	Disposition
53	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	38.5	Remove
198	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	37.5	Remove
268	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
269	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
270	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	2.0	Remove
271	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	2.0	Remove
272	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
273	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	2.0	Remove
274	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
275	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
276	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	2.0	Remove
277	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
278	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
279	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
280	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
281	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	2.0	Remove
282	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
283	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	1.0	Remove
340	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	38"	Protect
341	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	37.0	Protect
344	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	25.5	Protect
345	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	22.0	Protect
347	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	30.0	Protect
349	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	24.5	Protect
350	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	32"	Protect
351	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	24.5	Protect
352	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	11.0	Protect
353	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	11.5	Protect
354	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	14.5	Protect
356	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	31.0	Protect
357	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	31.0	Protect
814	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	60.0	Remove
815	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	38.5	Remove
816	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	63.0	Remove
817	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	32.0	Remove
818	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	24.5	Remove
819	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	35.5	Remove
820	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	49.5	Remove
821	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	43.5	Remove
822	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	58.0	Remove
823	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	68.0	Remove
824	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	16.0	Remove
825	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	32.0	Remove
826	<i>Juniperus chinensis</i>	Hollywood juniper	28.5	Remove
827	<i>Juniperus chinensis</i>	Hollywood juniper	28.0	Remove
828	<i>Juniperus chinensis</i>	Hollywood juniper	32.0	Remove
829	<i>Juniperus chinensis</i>	Hollywood juniper	24.0	Remove
830	<i>Juniperus chinensis</i>	Hollywood juniper	17.5	Remove
831	<i>Juniperus chinensis</i>	Hollywood juniper	14.0	Protect
832	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	14.5	Protect
833	<i>Myoporum laetum</i>	ngaio	12.5	Protect
834	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	25.5	Protect
835	<i>Pinus radiata</i>	Monterey pine	15.5	Protect
836	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	37.5	Protect
837	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	32"	Protect
838	<i>Pinus radiata</i>	Monterey pine	17.0	Protect
839	<i>Pinus radiata</i>	Monterey pine	19.0	Protect
840	<i>Pinus radiata</i>	Monterey pine	13.0	Protect
841	<i>Pinus radiata</i>	Monterey pine	15.0	Protect
842	<i>Pinus radiata</i>	Monterey pine	13.0	Protect
843	<i>Pinus radiata</i>	Monterey pine	19.0	Protect
844	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	21.0	Protect
845	<i>Pinus radiata</i>	Monterey pine	12.0	Protect
846	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	21"	Protect
847	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	21"	Protect
848	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	23.0	Protect
849	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	21.5	Protect
850	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	30"	Protect
851	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	34"	Protect
852	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	24.5	Protect
853	<i>Salix lasiolepis</i>	Arroyo willow	10"	Protect
854	<i>Salix lasiolepis</i>	Arroyo willow	38"	Protect
855	<i>Salix lasiolepis</i>	Arroyo willow	18"	Protect
856	<i>Salix lasiolepis</i>	Arroyo willow	26"	Protect
857	<i>Salix lasiolepis</i>	Arroyo willow	8"	Protect
858	<i>Salix lasiolepis</i>	Arroyo willow	8"	Protect
859	<i>Pinus radiata</i>	Monterey pine	14"	Protect
860	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	34"	Protect
861	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	30"	Protect
862	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	36"	Protect
863	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	12"	Protect
864	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	28"	Protect
865	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	40"	Protect

*Indicates an estimated DBH measurement. These trees were inaccessible due to impassible fencing and it was not possible to obtain a physical measurement in the field.

LEGEND

- INDICATES AN EXISTING TREE TO REMAIN
- INDICATES AN EXISTING TREE TO BE REMOVED
- 830 TREE TAG NUMBER

TREE DISPOSITION TABLE

Disposition	Quantity
Existing	83
Protect	48
Remove	35
Proposed	51

NOTES

- TREE INVENTORY, LOCATIONS, AND TAG NUMBERS PER ARBORIST REPORT PREPARED BY RRM DESIGN GROUP, DATED JUNE 5, 2023.
- REFER TO SECTION 4.3 TREE REPLACEMENT OF THE ARBORIST REPORT FOR A DESCRIPTION OF THE TREE REPLACEMENT CONCEPT FOR THIS PROJECT.
- ALL TREES LOCATED WITHIN DESIGNATED ENVIRONMENTALLY SENSITIVE HABITAT (ESH) AREA ARE TO REMAIN.
- SEE SHEET L2 FOR SPECIES, LOCATION, AND SIZE OF PROPOSED TREE PLANTINGS.

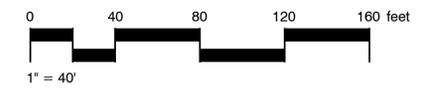


EXISTING SITE PLAN

PRUNING, REMOVAL, AND REPLACEMENT PLAN

TREES PROPOSED FOR REMOVAL ARE IN POOR HEALTH, ARE OVERCROWDED, EXHIBIT STRUCTURAL DEFECTS, OR CONFLICT WITH PROPOSED ON-SITE IMPROVEMENTS, SUCH AS BUILDING LOCATIONS, UNDERGROUND UTILITY INFRASTRUCTURE, ROADWAYS, OR ASSOCIATED GRADING. THESE PROPOSED IMPROVEMENTS ENDOUR INTO THE CRITICAL ROOT ZONE (CRZ) OF TREES PROPOSED FOR REMOVAL.

TREES PROPOSED FOR REMOVAL ON-SITE SHOULD BE REMOVED, AND THEIR STUMPS GROUND DOWN TO A DEPTH OF 24". MOST TREES TO REMAIN HAVE NOT BEEN MAINTAINED IN MANY YEARS. MANY HAVE LARGE AMOUNTS OF DEAD WOOD THROUGHOUT THE CROWN, AND SEVERAL HAVE UNBALANCED CROWNS. MOST WILL REQUIRE A CROWN CLEANING TO REDUCE RISK ASSOCIATED WITH DEAD LIMB DROP AND SEVERAL WILL REQUIRE A CROWN REDUCTION TO ENSURE A BALANCED CROWN. AN ISA LEVEL 1 TREE RISK ASSESSMENT SHOULD BE PERFORMED BY A QUALIFIED ARBORIST ON ANY TREES TO REMAIN TO DETERMINE THE FEASIBILITY OF PRESERVATION OR POTENTIAL MITIGATION STEPS TO JUSTIFY PRESERVATION. THE TREE RISK ASSESSMENT SHOULD FOCUS ON THE PROPOSED DEVELOPMENT FOOTPRINT AND NEW ESTABLISHED USES WITHIN THE TARGET ZONES OF TREES TO REMAIN.





WATER USE CALCULATIONS:

Reference Evapotranspiration (Eto)						
Hydrozone # / Planting Description*	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq. ft)	Estimated Total Water Use (ETWU)
Regular Landscape Areas						
1-DT Shrubs	0.25	Drip	0.91	0.27	119983	32962.36
2-DT Trees	0.25	Bubbler	0.8	0.31	2592	810.00
3-Turf	1	Drip	0.71	1.41	1610	2267.61
Totals					124185	36039.97
Special Landscape Areas						
Play Field				1	0	0
Edibles				1	0	0
Other				1	0	0
Totals					0	0
ETWU Total						891,557
Maximum Allowed Water Allowance (MAWA)						1,689,649

CONCEPTUAL PLANT SCHEDULE

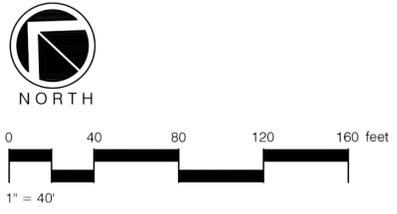
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS
	12	HESPEROCYPARIS MACROCARPA	MONTEREY CYPRESS	15 GAL	LOW
	2	LOPHOSTEMON CONFERTA	BRISBANE BOX	15 GAL	LOW
	20	LYONOTHAMNUS FLORIBUNDUS	CATALINA IRONWOOD	15 GAL	LOW
	8	PISTACIA CHINENSIS	CHINESE PISTACHE	15 GAL	LOW
	5	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	15 GAL	MODERATE
	14	PRUNUS ILICIFOLIA	HOLLYLEAF CHERRY	15 GAL	LOW
	40	QUERCUS AGRIFOLIA	COAST LIVE OAK MULTI-TRUNK	15 GAL	LOW
	24	SAMBUCUS NIGRA	BLACK ELDERBERRY	15 GAL	LOW
SHRUBS, GRASSES, AND GROUNDCOVERS		BOTANICAL NAME	COMMON NAME	CONT	WUCOLS
		ADENANTHOS X CUNNINGHAMII	ALBANY WOOLLYBUSH	5 GAL	LOW
		ANIGOZANTHOS X 'BIG RED'	BIG RED KANGAROO PAW	1 GAL	LOW
		ARCTOSTAPHYLOS X 'EMERALD CARPET'	EMERALD CARPET MANZANITA	5 GAL	LOW
		BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL	LOW
		CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GAL	LOW
		CAREX DIVULSA 'WESTFIELD'	WESTFIELD EUROPEAN GREY SEDGE	5 GAL	LOW
		CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	LOW
		CEANOETHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	YANKEE POINT CARMEL CREEPER	5 GAL	LOW
		CHONDROPETALUM TECTORIUM	SMALL CAPE RUSH	5 GAL	LOW
		ELYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE	1 GAL	LOW
		FESTUCA CALIFORNICA 'RIVER HOUSE BLUES'	RIVER HOUSE BLUES CALIFORNIA FESCUE	1 GAL	LOW
		LEUCADENDRON X 'WINTER RED'	CONEBUSH	5 GAL	LOW
		LOMANDRA LONGIFOLIA 'BREEZE' TM	BREEZE MAT RUSH	PLUGS	LOW
		MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	5 GAL	LOW
		MORELLA CALIFORNICA	PACIFIC WAX MYRTLE	5 GAL	LOW
		MUHLBERGIA RIGENS	DEER GRASS	5 GAL	LOW
		OLEA EUROPAEA 'LITTLE OLLIE' TM	LITTLE OLLIE OLIVE	15 GAL	LOW
		PHLOMIS FRUTICOSA	JERUSALEM SAGE	1 GAL	LOW
		PHORMIUM X 'DUSKY CHIEF'	'DUSKY CHIEF' NEW ZEALAND FLAX	5 GAL	LOW
		PHORMIUM X 'GREEN GLOW'	GREEN GLOW NEW ZEALAND FLAX	5 GAL	LOW
		PITIOSPORIUM TENUIFOLIUM 'SILVER SHEEN'	SILVER SHEEN TAIWHIHI	5 GAL	LOW
		ROMNEYA COULTERI 'WHITE CLOUD'	WHITE CLOUD MATILIJIA POPPY	5 GAL	LOW
		SALVIA ROSMARINUS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	1 GAL	LOW
		SALVIA X 'ALLEN CHICKERING'	ALLEN CHICKERING SAGE	5 GAL	LOW
		SALVIA X 'BEE'S BLISS'	BEE'S BLISS SAGE	5 GAL	LOW
		SESLERIA X 'GREENLEE'	GREENLEE MOOR GRASS	1 GAL	LOW
		WESTRINGIA FRUTICOSA 'GREY BOX'	COAST ROSEMARY	5 GAL	LOW
NATIVE RESTORATION PLANTING		BOTANICAL NAME	COMMON NAME	CONT	WUCOLS
		ARCTOSTAPHYLOS OBISPOENSIS	BISHOP MANZANITA	1 GAL	VERY LOW
		ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	SEED	LOW
		ARTEMISIA DOUGLASSIANA	MUGWORT	SEED	LOW
		ELYMUS CONDENSATUS	GRANT WILD RYE	SEED	LOW
		EPILOBIUM CALIFORNICUM	CALIFORNIA FUCHSIA	SEED	LOW
		ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	SEED	LOW
		FRANGULA CALIFORNICA	CALIFORNIA COFFEEBERRY	1 GAL	LOW
		HETEROMELES ARBUTIFOLIA	CALIFORNIA WILD ROSE	1 GAL	VERY LOW
		LONGICERA HESPIDIOLA	CALIFORNIA HONEYSUCKLE	SEED	LOW
		LUPINUS ALBIFRONS	BUSH LUPINE	SEED	VERY LOW
		MORELLA CALIFORNICA	PACIFIC WAX MYRTLE	1 GAL	LOW
		RIBES SPECIOSUM	FUCHSIA FLOWERING GOOSEBERRY	1 GAL	LOW
		ROSA CALIFORNICA	CALIFORNIA WILD ROSE	1 GAL	LOW
		SALVIA MELIFERA	BLACK SAGE	SEED	LOW
		SALVIA SPATHACEA	HUMMINGBIRD SAGE	SEED	LOW
		TRICHOSIEMA LANATUM	WOOLLY BLUE CURLS	SEED	LOW

PLANTING DESIGN CRITERIA:
 THE PLANT PALETTE IS COMPRISED OF PLANT MATERIAL AND TREES KNOWN TO THRIVE IN THE LOCAL CLIMATE AND SOIL CONDITIONS. THIS PLANT PALETTE COUPLED WITH THE IRRIGATION SYSTEM DESCRIBED, HAS BEEN DESIGNED TO MEET OR EXCEED THE STATE AND LOCAL STANDARDS FOR WATER CONSERVATION THROUGH WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN. LOW WATER SHRUBS AND GROUNDCOVERS COMPRISE THE MAJORITY OF THE TOTAL LANDSCAPED AREA.

THIS PLAN WILL COMPLY WITH MUNICIPAL CODE REQUIREMENTS AND STATE WATER EFFICIENT LANDSCAPE ORDINANCES (MWELO).

IRRIGATION DESIGN CRITERIA:
 THE IRRIGATION DESIGN WILL COMPLY WITH THE LOCAL AND THE STATE WATER CONSERVATION REQUIREMENTS. THE WATER CONSERVATION METHOD FOR NEW ORNAMENTAL LANDSCAPE PLANT MATERIAL HAS VERY LOW TO MODERATE WATER USE. A WEATHER SENSING, 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE. ALL TREES, SHRUBS, AND GROUNDCOVER AREAS WILL BE IRRIGATED ON SEPARATE HYDROZONES SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER. TREES WILL BE IRRIGATED BY BUBBLERS. ALL ORNAMENTAL PLANTING WILL RECEIVE DRIP IRRIGATION OR OTHER HIGHLY EFFICIENT IRRIGATION.

PROJECT AREAS:
 LANDSCAPE AREA ((LANDSCAPE AREA / LOT AREA) X 100): 31.2%
 PERMEABLE AREA ((PERMEABLE AREA / LOT AREA) X 100): 48.0%



LANDSCAPE CONCEPT PLAN
3300 PANORAMA DRIVE

AUGUST 21, 2023

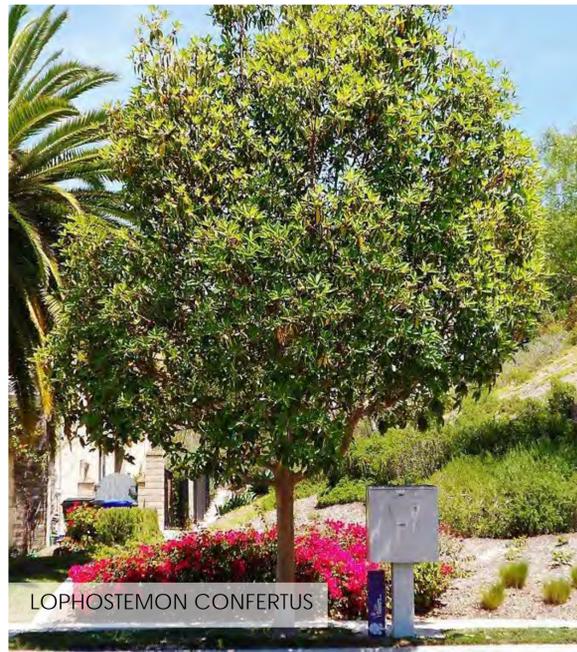
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CUP/CDP PACKAGE



PLATANUS RACEMOSA



LOPHOSTEMON CONFERTUS



QUERCUS AGRIFOLIA



LYONOTHAMNUS FLORIBUNDUS



SAMBUCUS NIGRA



PRUNUS ILICIFOLIA



PISTACIA CHINENSIS



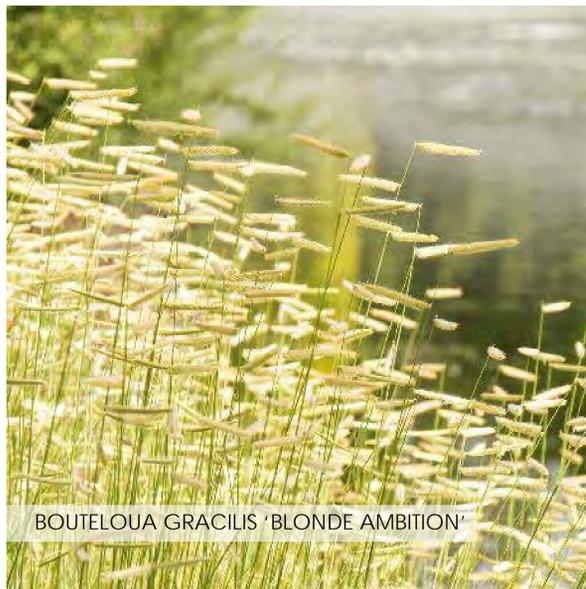
ADENANTHOS X CUNNINGHAMII



ANIGOZANTHOS X 'BIG RED'



ARCTOSTAPHYLOS X 'EMERALD CARPET'



BOUTELOUA GRACILIS 'BLONDE AMBITION'



CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'



CAREX DIVULSA



CARPENTERIA CALIFORNICA



CEANOTHUS GRISEUS



CHONDROPETALUM TECTORUM



FESTUCA CALIFORNICA



LEUCADENDRON SPP.



LOMANDRA 'BREEZE'



MISCANTHUS SINENSIS



MORELLA CALIFORNICA



PHLOMIS FRUTICOSA



PHORMIUM SPP.



PITOSPORUM TENUIFOLIUM



ROMNEYA COULTERI



SALVIA ROSMARINUS



SESLERIA 'GREENLEE'



SALVIA 'BEE'S BLISS'



WESTRINGIA FRUTICOSA



AGENDA NO: C-1

MEETING DATE: November 07, 2023

Staff Report

TO: Planning Commissioners

DATE: October 30, 2023

FROM: Scot Graham, Community Development Director

SUBJECT: Review of Planning Commission letter to City Council regarding small cottages on the waterfront located at 451 and 471 Embarcadero

RECOMMENDATION:

Planning Commission review the letter and forward to City Council.

BACKGROUND/DISCUSSION:

On October 3, 2023, Planning Commissioner, Joseph Ingraffia requested that an item be added to a future agenda to discuss current Harbor Department lease policy in the context of preserving existing community character along the waterfront. This item was raised in response to a recent Request For Proposal (RFP) that was released by the Harbor Department for redevelopment of Lease Sites 49/49W and Lease Sites 50-51/50W-51W, located at 431 Embarcadero (vacant) and 451/471 Embarcadero (contains two residential structures). The PC agreed with the request and asked that this item be placed on the next agenda for discussion.

On October 17, 2023, the Planning Commission discussed the issue and agreed to prepare a letter to be forwarded to the City Council expressing the concerns noted in the previous paragraph. Commissioner Ingraffia prepared the letter to the City Council, and it is included as Exhibit A to this staff report.

CONCLUSION:

The PC should review the draft letter and decide whether to forward it to City Council.

EXHIBIT(S)

A. Planning Commission letter to City Council

October 28, 2023

Re: MB Planning Commission Response to a recent Embarcadero Request for Proposal (RFP)

To the Morro Bay City Council:

The small “cottages” duplex at the far south end of the Embarcadero was recently the subject of a Request for Proposal (RFP) for lease and redevelopment. At a recent Planning Commission meeting, there was a public discussion weighing the value of restoring these structures, rather than demolishing them as part of a proposal for a larger redevelopment of the site. As a result of that discussion, the Planning Commission decided to ask the City Council to examine and clarify the Morro Bay lease policy and how that clarification might affect any new leasehold for the “cottages” duplex. This letter is the formal request to the Council for those actions and a brief summation for our reasons for the request.

The Planning Commission offers a few insights into what is actually contained in the Morro Bay Lease Management Policy, the document that authorizes the RFP. While the policy is explicit in its vision statement that one of the purposes is to maintain a positive cash flow to the Harbor Fund, other values are also explicitly listed including adherence to the various community general plans. These plans frequently reference protecting the unique character of Morro Bay as a small town and fishing village, an appeal vanished from most of the California coast south of San Francisco. For those unique Embarcadero sites which have not yet been developed to second story heights, have not yet been aggregated into larger properties and have not yet become islands surrounded by more intense development, special consideration could be given. In addition, there is explicit inclusion in the policy document that the MB City Council is empowered to consider more than revenues to be generated when approving tidelands redevelopment leases.

Rising citizen interest in the unique character of Morro Bay in general might also suggest a refinement of policy. We note increasing interest in repurposing the former middle school campus, in adopting a voluntary historical preservation ordinance and in the progress made in establishing a downtown design district. Buildings such as the “cottages” duplex on the Embarcadero may not be linked to a prestigious architect or to a person or event of undisputed historical significance to Morro Bay, but they could have cultural or community significance, making them at least worthy of consideration. Moreover, we shouldn’t discount that quaint, iconic buildings in Morro Bay make significant contributions to Morro Bay’s tourism appeal. The Pacific Ocean and the bay may be breathtaking, but Morro Bay’s small-town vibes are an economic driver as well and should be part of the leasehold economic calculation.

Given the Harbor Director's authority and given the complexity and multitude of issues involving any redevelopment on the Embarcadero, the Planning Commission acknowledges that it would be wise to call upon the experience of the Harbor Director and the Harbor Advisory Board to inform our concerns about the Embarcadero duplex and similar properties that may arise in the future. We suggest that there be a joint meeting of our two boards and directors to share experiences and knowledge and discuss cooperation and coordination.

In addition, the Planning Commission requests that the Council make an overall evaluation of the Morro Bay Lease Policy as applied to structures that are likely representatives of Morro Bay's character before making any specific decision about the "cottages" leasehold.

As commissioners, we would like to close by stating that unique Embarcadero lease sites, such as the cottages duplex, are part of a much larger planning vision for the central Embarcadero area. The Planning Commission's hope is that the city's decision makers will remain united in their support for that vision. Among others, that vision embraces the following:

- Utilizing the Morro Bay Waterfront Master Plan for overall guidance;
- Preserving unobstructed views of the bay, sand spit and Pacific Ocean;
- Creating flexible public spaces at the intersecting street ends;
- Improving organization of the Embarcadero parking resources;
- Improving management of vehicular traffic;
- Increasing pedestrian amenities to make the Embarcadero a shopping, strolling and dining destination;
- Establishing appropriate overall design guidelines for redevelopment; and
- Safeguarding the structures that represent the unique character of Morro Bay and foster an emotional appeal among residents and visitors alike.

The Planning Commission thanks you for your consideration of these issues and all your efforts.

Respectfully,

Morro Bay Planning Commission