



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean, and healthy place for residents and visitors to live, work and play.*

**Regular Meeting - Tuesday, February 18, 2025**  
**Veteran's Memorial Building – 6:00 P.M.**  
**209 Surf Street, Morro Bay, CA**

Chairperson – Eric Meyer

Vice-Chairperson Joseph Ingraffia  
Commissioner Mary Witkowski

Commissioner Asia King  
Commissioner Tony de Fazio

### **Public Participation:**

*Remote public participation is allowed in the following ways:*

- *Community members may attend the meeting in person at the Morro Bay Veterans Hall*
- *Members of the public may watch the meeting and speak during the general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the "raise hand" feature to indicate your desire to provide public comment.*

*Please click the link below to join the webinar:*

➤ <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHIRk9xaTlMwVnNRWFUQT09>

*Password: 135692*

➤ *Or Telephone Attendee: 1 (408) 638-0968 or 1 (669) 900 6833 or 1 (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to "Raise Hand" for Public Comment*

- *Alternatively, members of the public may watch the meeting either on cable Channel 20 or as streamed on the [City's website](#).*
- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Planning Commission at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) prior to the meeting. Agenda correspondence received by 10 a.m. on the meeting day will be posted on the City's website by 12:00 PM.*

ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE/PLEDGE OF ALLEGEANCE

PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT

Members of the audience wishing to address the Planning Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Planning Commission at this time.

PRESENTATIONS

A. CONSENT CALENDAR

**A-1** Approval of the minutes from the Special Planning Commission meeting of October 29, 2024.

**Staff Recommendation:** Approve minutes as submitted.

**A-2** Approval of the minutes from the Planning Commission meeting of November 19, 2024.

**Staff Recommendation:** Approve minutes as submitted.

B. PUBLIC HEARINGS

**B-1 Case No.:** CDP24-027, CUP24-03

**Site Location:** 460 Errol Street, Morro Bay, CA

**Project Description:** Conditional Use Permit (CUP24-03) and Coastal Development Permit (CDP24-027) for an RV Park with eight (8) RV stalls, (9) parking stalls, perimeter landscaping and fencing on a vacant 16,532 square foot (s.f.) parcel. This project is located in the Visitor Serving Commercial zoning district and is outside of the coastal appeals jurisdiction.

**CEQA Determination:** Exempt under Section 15332, Class 32 In-fill Development Projects.

**Staff Recommendation:** Conditionally Approve

**Staff Contact:** Kim Fowler, Planning Manager (805) 772-6577

C. NEW BUSINESS

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Vets Hall 209 Surf St, on March 4, 2025, at 6:00 p.m.

## **PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: [www.morrobayca.gov/planningcommission/](http://www.morrobayca.gov/planningcommission/) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morrobayca.gov/notifyme](http://www.morrobayca.gov/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

## **APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's website. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located with the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$336 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

AGENDA ITEM:   A-1  

DATE:   2-18-2025  

ACTION:   DRAFT  

**ACTION MINUTES – MORRO BAY PLANNING COMMISSION  
SPECIAL MEETING – OCTOBER 29, 2024  
VETERANS MEMORIAL HALL – 6:00 PM**

PRESENT:	Bill Roschen Mike Rodriguez Joe Ingraffia Asia King Eric Meyer	Chairperson Vice-Chairperson Commissioner Commissioner Commissioner
STAFF:	Airlin Singewald Kim Fowler	Community Development Director Planning Manager

ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE

<https://youtu.be/uhxrJf8ptEs?t=55>

PLANNING COMMISSIONER ANNOUNCEMENTS

<https://youtu.be/uhxrJf8ptEs?t=94>

Chairperson Roschen invited Director Singewald to comment on Vistra.

Director Singewald commented on the letter received from Vistra, the application with the city will be put on hold and Vistra will apply to the state.

Commissioners presented concerns and questions to staff.

Director Singewald answered their questions.

PUBLIC COMMENT PERIOD

<https://youtu.be/uhxrJf8ptEs?t=427>

Betty Winholtz, Morro Bay, mentioned Measure A-24 and the CEC website, for those that are interested.

Mayor Wixom, commented that city staff will be engaging at the state level process and the council will keep the community informed of any decisions. She also thanked the Harbor and Recreation Departments for their help with the recent community events.

Chairperson Roschen closed the public comment.  
<https://youtu.be/uhxrJf8ptEs?t=588>

Public Participation:

Remote public participation is allowed in the following ways:

- Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) prior to the meeting.
- Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).
- Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input. Please click the link below to join the webinar:
  - <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlMWWVNWRFUQT09>  
Password: 135692

Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to “Raise Hand” for Public Comment

PRESENTATIONS

A. CONSENT CALENDAR  
None

B. PUBLIC HEARING

**B-1 Case No.:** CUP24-04

**Site Location:** 431, 451, and 495 Embarcadero Road, Morro Bay, CA

**Project Description:** Request for Planning Commission approval for a development and redevelopment of City lease sites 49 L 49 W, 50 L 50 W, 51 L 51 W, and 52 L 52 W to include the renovation of an existing office building, demolition of existing vacation rental buildings, and construction of a new two-story building with eight (8) vacation rentals. A new water area will include one (1) new floating dock, (3) new finger slips, and one (1) finger dock space with a low floating dock for a kayak rental business. A new Harborwalk connection is proposed to connect pedestrians along the Embarcadero to Tideland Park. This property is in the Waterfront (WF) zoning district and is within the California Coastal Commission original permit jurisdiction.

**CEQA Determination:** Exempt under Section 15332, Class 32 for In-Fill Development Projects.

**Staff Recommendation:** Recommendation to Planning Commission for approval with attached conditions.

**Staff Contact:** Kim Fowler, Planning Manager, 805-772-6577, [kfowler@morrobayca.gov](mailto:kfowler@morrobayca.gov)

Director Singewald addressed some of the high-level questions that have been received regarding the project and process including the roles of the City Council, Planning Commission, and Community Development Department when soliciting and reviewing development projects on tidelands grant lease sites.

Kim Fowler, Planning Manager, presented the Staff Report.

Commissioners presented questions and comments to staff.

Staff, including Lori Thompson, Harbor Business Coordinator, answered questions.

Paul Gillen, Leaseholder, commented he has spent the last 5 years on how to develop the property, including public benefits.

Commissioners presented questions to Mr. Gillen, and he responded with clarifications.

Gene Doughty, project architect, spoke about the process of the project.

Chairperson Roschen opened the Public Comment Period.

<https://youtu.be/uhxrJf8ptEs?t=3873>

Chairperson Roschen mentioned comment letters received for public comment.

Linda Donnelly, Morro Bay, commented on Reg Whibley the original architect of the project's location.

Betsy Godet-Cross, Morro Bay, read a letter from a former Morro Bay City Manager, Andrea Lueker, commenting on the project.

Betty Winholtz, Morro Bay, asked questions about parking spaces, and the height of the proposed project.

Justin Larabie, owner of 456 Embarcadero Inn, commented on zoning codes, the 17' height rule and could there be a compromise, building a one-story hotel instead.

Christi VanCleve, Morro Bay, commented on preserving history and the character of the buildings, and mentioned the hotel across the street, 456 Embarcadero Inn, would lose some room views.

Judy Lynn, commented on the current buildings on the site, and how property owners have rights, likes the created plan and is in favor of it, though concerned with height.

Chairperson Roschen closed the Public Comment Period.

<https://youtu.be/uhxrJf8ptEs?t=5015>

Staff addressed the public questions.

Commissioners presented questions and comments to staff.

Chairperson Roschen suggested a brief break and will reconvene at 7:45 pm.

Meeting reconvened with general discussion with Commissioners and Staff.

Commissioners asked for applicants' input.

Paul Gillen, Leaseholder, suggested denying the project and taking it to City Council. Felt the planning commission didn't provide comments when he originally brought it to them.

General discussion with Commissioners, moving to continue to a date certain, and Mr. Gillen agreed.

Staff confirmed the next date certain would-be the November 19<sup>th</sup> meeting, or December 3<sup>rd</sup>.

**MOTION:** Chairperson Roschen moved to continue to a date certain, November 19, 2024. Commissioner Ingraffia seconded, and the motion passes 4-0, with Ingraffia, Rodriguez, Roschen, Meyer and voting yes.

C. NEW BUSINESS  
None

D. UNFINISHED BUSINESS  
None

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS  
<https://youtu.be/uhxrJf8ptEs>

Vice-Chairperson Rodriguez would like to see a historical ordinance and guidelines for defining public benefits.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS  
<https://youtu.be/uhxrJf8ptEs?t=10255>

Director Singewald reiterated that the historic preservation ordinance is a council goal, as is the community public benefit memo. Reminded the commissioners and public that the November 5<sup>th</sup> meeting was cancelled, and tonight's Special Meeting was replacing that.

The meeting on November 19<sup>th</sup> will have two items, Bayside Landing continuance, and 900 Ridgeway. The Community Development Department has 3 items going to City Council on November 12<sup>th</sup>, and he is working with Coastal Commission staff on finalizing the grant agreement and forming a Waterfront Master Plan advisory committee.

G. ADJOURNMENT

The meeting was adjourned at 8:56 pm to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on November 19, 2024, at 6:00 p.m.

AGENDA ITEM:   A-2  

DATE:   2-18-2025  

ACTION:   DRAFT  

ACTION MINUTES – MORRO BAY PLANNING COMMISSION  
REGULAR MEETING – NOVEMBER 19, 2024  
VETERANS MEMORIAL HALL – 6:00 PM

PRESENT:	Bill Roschen Mike Rodriguez Joe Ingraffia Asia King Eric Meyer	Chairperson Vice-Chairperson Commissioner Commissioner Commissioner
STAFF:	Airlin Singewald Kim Fowler Susana Toner	Community Development Director Planning Manager Assistant Planner

ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE

<https://youtu.be/OJywMPiowr4?t=66>

PLANNING COMMISSIONER ANNOUNCEMENTS

None

PUBLIC COMMENT PERIOD

<https://youtu.be/OJywMPiowr4?t=110>

Martin Lomeli, Morro Bay, spoke about Reg Wibley, he supports the project before the commission tonight, and agreed the cottages on-site aren't worth saving. He also supports the project at 900 Ridgeway.

Judy Stewart, Morro Bay, commented on the house at 900 Ridgeway, she's concerned about asbestos if the house is moved and that it's not on any historical register being that it's 100 years old.

Betty Winholtz, Morro Bay, presented a slide show on Public Street Trees for Morro Bay, highlighting the Trimming Height Criteria.

Richard Stewart, Morro Bay, commented on the parcel map and number of lots at 900 Ridgeway, he is concerned about the potential of having more than one neighbor at the location.

Chairperson Roschen closed the public comment.  
<https://youtu.be/OJywMPiowr4?t=788>

Public Participation:

Remote public participation is allowed in the following ways:

- Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) prior to the meeting.
- Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).
- Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input. Please click the link below to join the webinar:
  - <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHIRTK9xaTlmWVNWRFWFUQT09>  
Password: 135692

Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to “Raise Hand” for Public Comment

PRESENTATIONS

A. CONSENT CALENDAR

- A-1** Approval of the minutes from the Planning Commission meeting of October 15, 2024.  
**Staff Recommendation: Approve minutes as submitted.**

**MOTION:** Commissioner Meyer moved to approve minutes. Commissioner Rodriguez seconded, and the motion passes 5-0, with King, Roschen, Ingraffia, Meyer and Rodriguez voting yes.

B. PUBLIC HEARING

- B-2** **Case No:** Coastal Development Permit CDP24-001 and Parcel Map PAR23-02  
**Site Location:** 900 Ridgeway, Morro Bay, CA  
**Proposal:** Coastal Development Permit (CDP24-001) and Parcel Map (PAR23-02) for a three-lot subdivision. The project will include moving the existing residence to the same proposed lot as the existing art studio. This project is located in the Single Family Residential (RS-A) zoning district and is outside of the coastal appeals jurisdiction.  
**CEQA:** Exempt under Section 15315, Class 15 for Minor Land Subdivisions.  
**Staff Recommendation:** Recommendation to Planning Commission for approval with attached conditions

**Staff Contact:** Susana Toner, Assistant Planner, 805-772-6270,  
[stoner@morrobayca.gov](mailto:stoner@morrobayca.gov)

Susana Toner, Assistant Planner, presented the staff report.

Commissioners presented questions and comments to staff.

Staff, including Cindy Cecil, City Engineer, answered questions to the commissioners.

Andrew Darrell, MBS Land Surveys, agent to the applicant, answered questions to the commissioners.

Randy Ramsay, Applicant, commented on the buildings and how they intend to preserve what they can.

Chairperson Roschen opened the Public Comment Period.  
<https://youtu.be/OJywMPiowr4?t=2564>

Betty Winholtz, Morro Bay, commented on the uniqueness of the buildings and is concerned with the staircase.

Richard Stewart, Morro Bay, asked if a T.E.M test had been done regarding asbestos.

Michelle Leicester-Cadaret, Morro Bay, appreciates the preservation of the buildings, wondered if the proposed 3 lots could be 2 instead.

Staff addressed the public questions.

Chairperson Roschen closed the public comment.  
<https://youtu.be/OJywMPiowr4?t=2785>

**MOTION:** Commissioner Meyer moved to approve staff recommendation for approval with attached conditions. Vice-Chairperson Rodriguez seconded the motion, and the motion passes 5-0, with Ingraffia, Rodriguez, Meyer, King and Roschen voting yes.

**B-1 Case No.:** CUP24-04

**Site Location:** 431, 451, and 495 Embarcadero Road, Morro Bay, CA

**Project Description:** Request for Planning Commission approval for a development and redevelopment of City lease sites 49 L 49 W, 50 L 50 W, 51 L 51 W, and 52 L 52 W to include the renovation of an existing office building, demolition of existing vacation rental buildings, and construction of a new two-story building with eight (8) vacation rentals. A new water area will include one (1) new floating dock, (3) new finger slips, and one (1) finger dock space with a low floating dock for a kayak rental business. A new Harborwalk connection is proposed to connect pedestrians along the Embarcadero to Tideland Park. This property is in the Waterfront (WF) zoning district and is within the California Coastal Commission original permit jurisdiction.

**CEQA Determination:** Exempt under Section 15332, Class 32 for In-Fill Development Projects.

**Staff Recommendation:** Recommendation to Planning Commission for approval with attached conditions.

**Staff Contact:** Kim Fowler, Planning Manager, 805-772-6577, [kfowler@morrobayca.gov](mailto:kfowler@morrobayca.gov)

Kim Fowler, Planning Manager, presented the Staff Report.

Commissioners presented questions and comments to staff.

Staff answered comments and questions to the commissioners.

Paul Gillen, Leaseholder, commented on meeting the requirements that were required and requested.

Gene Doughty, project architect, thanked Betty Winholtz for her letters, and commented on what was required on the plans.

Commissioners presented questions to Mr. Doughty, and he responded with clarifications.

Chairperson Roschen opened the Public Comment Period.

<https://youtu.be/OJywMPiowr4?t=4745>

Michelle Leicester-Cadaret, Morro Bay, mentioned she would like the Planning Commission and Council to rethink the economics of this proposal as designed.

June Swall, Morro Bay, commented on the proposed 8 units and redesigning them, and how hotel rooms bring in more revenue plus TOT, than food and beverage services.

Margaret Carmen, commented on the proposed height restrictions of the project, and we should preserve the ambiance of our town.

Daniel McCall, owner of 456 Embarcadero Inn & Suites, commented on the proposed height and how his guests will lose their view, unsure of pocket park and observation area being of use.

Betty Winholtz, Morro Bay, commented on Tidelands Park being an attraction already, also feels the existing buildings are worth saving, feels parking is a huge issue and that the planning commission needs to listen to the public since the permit is discretionary.

Shirley Fraser, Morro Bay, stated that she agrees with others about the height restrictions, and it seems to be continuously disregarded.

Christi VanCleave, Morro Bay, commented that the existing two-story building is worth preserving and maintaining the existing windows.

Chairperson Roschen closed the Public Comment Period.

<https://youtu.be/OJywMPiowr4?t=5876>

Chairperson Roschen suggested a brief break.

Meeting reconvened with general discussion, including clarifications regarding denying the project with Commissioners and Staff.

**MOTION:** Commissioner Ingraffia moved to deny staff recommendation for approval with attached conditions, and directing the Chairperson to review and sign a revised resolution with findings for denial. Chairperson Roschen seconded, and the motion passes 4-1, with Ingraffia, Roschen, Meyer and King voting yes, and Rodriguez voting no.

Motion was denied based on the following criteria, per Commissioner:

- Commissioner Ingraffia, no adequate community benefits, wanted to see 7 hotel rooms, and 1 preserved or reproduced to resemble Reggie Whibley's original structure.
- Commissioner King, had issues with height & mass as it's currently presented, would like to see with additional modifications.
- Chairperson Roschen, would like to see fewer units on the second floor, and couldn't approve the deck at the proposed scale.
- Commissioner Meyer, wanted the elevator hidden, and preferred 5 units on the first floor and two units on the second floor.

C. NEW BUSINESS  
None

D. UNFINISHED BUSINESS  
None

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS  
<https://youtu.be/OJywMPiowr4?t=9575>

Commissioner Meyer suggested having a meeting regarding Public Benefits.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS  
<https://youtu.be/OJywMPiowr4?t=9606>

Director Singewald mentioned the December 3<sup>rd</sup> Planning Commission meeting will be cancelled, there are no items for that meeting. December 17<sup>th</sup> will have two items, and the January 7, 2025 meeting will be cancelled, and one item is scheduled for the January 21, 2025 meeting.

Chairperson Roschen mentioned he and Commissioner King would like to put together a series of housing information sessions that can be ready for the new year.

G. ADJOURNMENT

The meeting was adjourned at 8:43 pm to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on December 3, 2024, at 6:00 p.m.



# Staff Report

**TO:** City of Morro Bay Planning Commission

**FROM:** Kim Fowler, Planning Manager, Planning Division

**SUBJECT:** 460 Errol Street; Coastal Development Permit (CDP24-027) and Conditional Use Permit (CUP24-03)

## I. SUMMARY:

This item is a request by Rio Grande Recreational Vehicles (RV) Park for a Conditional Use Permit and Coastal Development Permit to authorize the development of a new RV park consisting of: eight (8) RV stalls, nine (9) parking stalls, one (1) onsite cargo container structure, perimeter fencing, and landscaping. An environmentally sensitive habitat area will remain undeveloped. The property is in the Visitor Serving Commercial (VSC) zoning district and is located within the California Coastal Commission appeals jurisdiction.

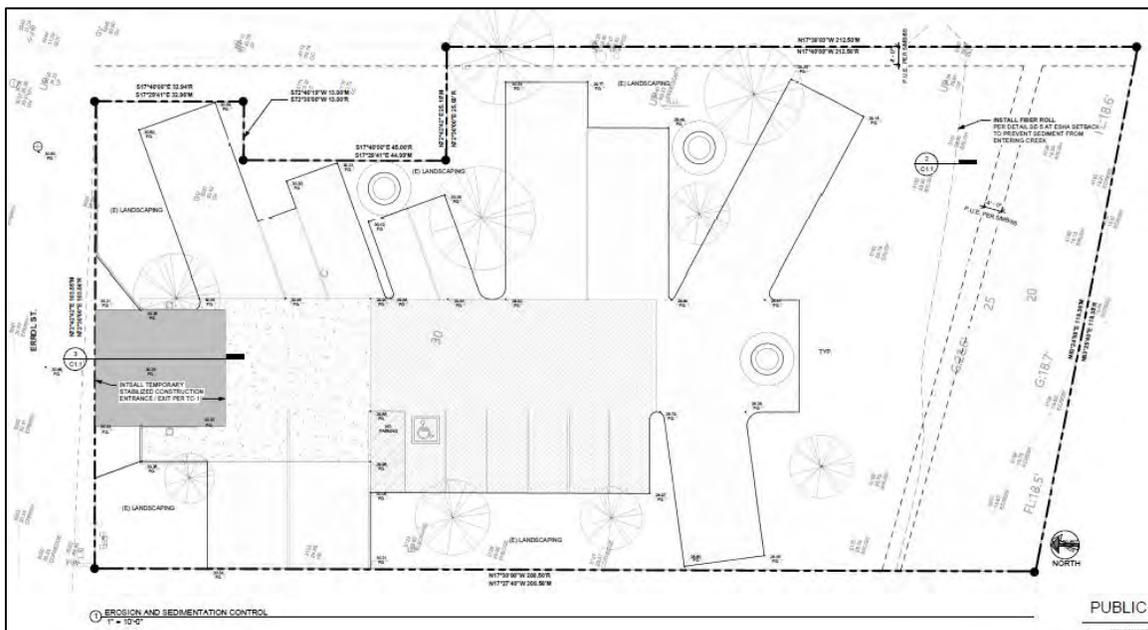


Figure 1 – Site Plan

**II. RECOMMENDED ACTION:**

**STAFF RECOMMENDS THE PLANNING COMMISSION APPROVE COASTAL DEVELOPMENT NO. CDP24-027 AND CONDITIONAL USE PERMIT NO. CUP24-03 FOR THE DEVELOPMENT OF AN RV PARK AT 460 ERROL ROAD AS SHOWN ON PLANS DATE STAMPED FEBRUARY 18, 2025, BY ADOPTING PLANNING COMMISSION RESOLUTION 01-25 WHICH INCLUDES THE ATTACHED FINDINGS AND CONDITIONS OF APPROVAL (EXHIBIT A).**

**III. PROJECT DESCRIPTION:**

The applicant has proposed a Recreational Vehicle (RV) Park with eight (8) RV stalls, nine (9) parking stalls, one (1) onsite cargo container structure, perimeter fencing and landscaping on a vacant 16,532 square foot (s.f.) parcel. An environmentally sensitive habitat area will remain undeveloped. The property is in the Visitor Serving Commercial (VSC) zoning district and is located within the California Coastal Commission appeals jurisdiction.

**IV. AUTHORIZATION/GUIDELINES:**

Development proposals require both development and use permits.

MBMC Section 17.39.010.B.2 authorizes the Planning Commission to act on a Coastal Development Permit, and MBMC Section 17.40.030.A authorizes the Planning Commission to act on a Conditional Use Permit application.

The final determination by the Planning Commission on these concurrently processed applications may be appealed by the applicant, owner, or by any other person aggrieved by a decision, motion, or resolution from which the action is taken. Planning Commission decision appeals to the City Council shall be filed in writing within 10 days of the date of the action, decision, motion, or resolution from which the action is taken.

This project is also located within the Coastal Commission appeals jurisdiction due to its proximity to Little Morro Creek, an environmentally sensitive habitat area (ESHA). In accordance with Coastal Action Section 30603, the city's CDP final action may be appealed by an aggrieved person to the Coastal Commission because it is located within 100 feet of an ESHA.

**V. ENVIRONMENTAL REVIEW:**

CEQA Determination: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15332 (In-fill Development Projects in Urban Areas). Specifically:

1. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
2. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
3. The project site has no value as habitat for endangered, rare or threatened species.
4. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
5. The site can be adequately served by all required utilities and public services.

Under this exception, and with the above conditions met, no further environmental analysis is required. A Notice of Exemption will be filed with the San Luis Obispo County Clerk's Office upon final approval.

## VI. **PUBLIC NOTICE:**

Notice of this item was published in the New Times SLO newspaper on February 6, 2025, a sign was posted at the site with the project number and project rendering (see Figure 2), and all property owners and occupants of record within 500 feet of the subject site were notified of the public hearing and invited to share their concerns on this application.

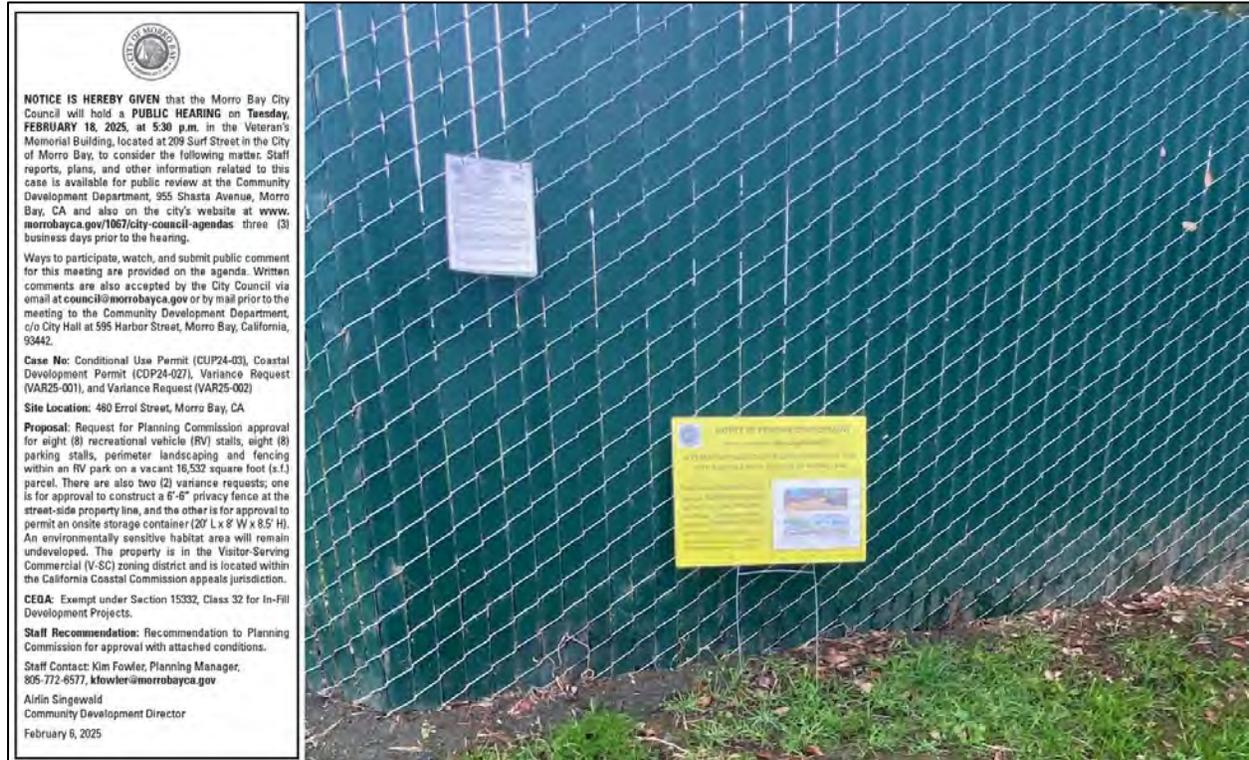


Figure 2 – Public Noticing

**VII. PROJECT BACKGROUND:**

<b>Project Team</b>	
Applicant:	Charles and Eloise Champi 1951 Dalrymple Drive, Hanford, CA 93230 (559) 584-8272 <a href="mailto:chuck@champifence.com">chuck@champifence.com</a>
Property Owners:	Onan Champi 625 East Ivy Street, Hanford, CA 93230 (559) 816-1450 <a href="mailto:onan@ncegc.com">onan@ncegc.com</a>
<b>Land Use</b>	
Property Location:	460 Errol Street
Assessor Parcel Number:	068-291-009
General Plan/Coastal Local Plan Designation:	Visitor Serving Commercial
Zoning Classification:	Visitor Serving Commercial (VSC)
Surrounding Land Uses:	North: Silver City Resort South: Residential East: Residential West: Silver City Resort
Coastal Zone:	Located within the CCC Appeals Jurisdiction
<b>Additional Regulatory Documents</b>	<b>Applicability</b>
2018 Downtown Waterfront Strategic Plan (DWSP)	Not applicable
2015 Residential Design Guidelines	Not applicable
1997 Cloisters Design Guidelines	Not applicable
Seashell Estates CC&Rs	Not applicable

**VIII. GENERAL PLAN AND ZONING CODE ANALYSIS:**

Zoning Code (MBMC Section 17):

Development Standards (MBMC Section 17.08.030):

<b>VSC Development Standards (MBMC Table 17.08.030)</b>			
	<i>Required</i>	<i>Proposed</i>	<i>Complies?</i>
<i>Lot and Density Standards</i>			
<b>Minimum Density (du/ac)</b>	N/A	N/A	Yes
<b>Maximum Density (du/ac)</b>	N/A	N/A	Yes
<b>Maximum Floor Area Ratio (FAR)</b>	1.25	N/A	Yes
<i>Building Form and Location Standards</i>			
<b>Maximum height (ft)</b>	30'	8'-6"	Yes
<b>Minimum Setbacks (ft) – Front</b>	0	0	Yes
<b>Minimum Setbacks (ft) – Corner Side</b>	0	N/A	Yes
<b>Minimum Setbacks (ft) – Interior Side</b>	0, 10 adjacent to a Residential District	10	Yes
<b>Minimum Setbacks (ft) – Rear</b>	0, 10 adjacent to a Residential District	0	Yes
<i>Open Space Standards</i>			
<b>Minimum Open Space (sq ft per residential unit)</b>	50	N/A	Yes

*Cultural Resource Protection (General Plan and MBMC Section 17.14.070):*

Morro Bay is located in the Central Coast archaeological region and historically occupied by the Obispeno Chumash and Salinan tribes. Since most archaeological and paleontological resources are not uncovered or readily seen until grading or construction occurs, it is difficult to site developments appropriately based on the location of archaeological/cultural resources. To address this, the City’s General Plan (also known as Plan Morro Bay) outlines a cultural resources overlay to protect cultural, archaeological, and paleontological resources in Morro Bay.

This project is located within the Coastal Resource Protection-Cultural Resource (CRP-CR) Overlay District and is subject to all applicable Land Use Plan (LUP) Cultural and Historic Resources policies. A preliminary site survey for cultural, archaeological, and paleontological resources is therefore required before issuance of a land use permit.

A Cultural Resources Study was prepared by Applied Earthworks in December 2023. This confidential study (not included as an attachment in this staff report but currently on file with the Community Development Department) included a pedestrian survey and field inspection, as well as records review and Native American communication. The study confirmed the presence of surface deposits within the project area and recommended cultural resource monitoring during clean-up and ground disturbance. This recommendation is added as condition of approval no. 43.

*Environmentally Sensitive Habitat Areas (General Plan and MBMC 17.14.080):*

Morro Bay is known for its natural beauty and a wide range of unique natural resources. These natural resources and environmentally sensitive habitat areas (ESHA) are a celebrated element of Morro Bay's economy and therefore may require protection through habitat conservation.

General Plan Goal C-1 indicates that "sensitive habitats are protected from potential negative impacts of land use and development." Several General Plan policies have been developed to meet this goal; those policies applicable to this project proposal are listed below:

- Policy C-1.1: ESHA. Protect ESHAs, defined as any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem, and which could be easily disturbed or degraded by human activities and developments.
- Policy C-1.2: Development in ESHA. Development in areas adjacent to ESHA shall be sited and designed to prevent impacts which would significantly degrade those areas and shall be compatible with the continuance of those habitats.
- Policy C-1.3: Biological Site Assessments. A biological assessment shall be required, including site-specific mapping of ESHA boundaries, for any development proposed on sites that include or are within 100 feet of mapped ESHA.
- Policy C-1.6: Structures in ESHA Buffers and Reduction of ESHA Buffers. No permanent structures shall be permitted within the setback area except for the minimum amount of fencing required for security and habitat protection purposes or structures of a minor nature such as fences or at-grade improvements for pedestrian or equestrian trails. The buffer may be reduced per determination of City staff for sites on which the linear distance is not met but the project is separated from ESHA by topography (e.g. downslope or on the opposite side of a ridge).

As shown below in Figure 3, a riparian habitat area is mapped within a portion of the project site.

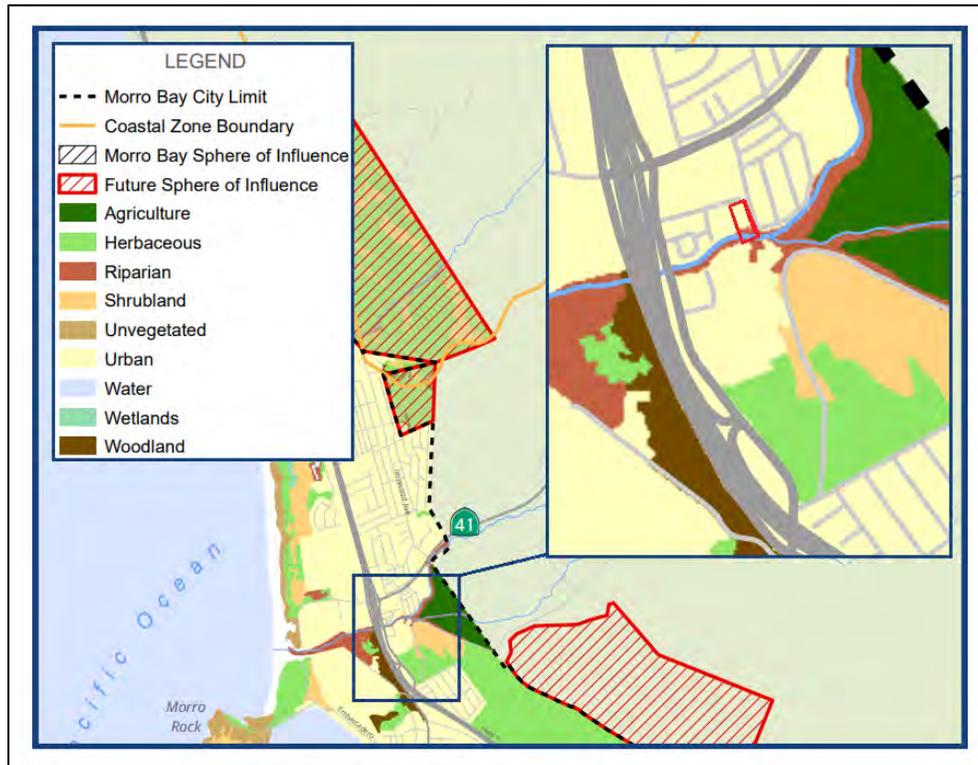


Figure 3 - Habitat

A Biological Report was prepared by Althouse and Meade, Inc. in December 2023 (Exhibit C) to evaluate potential project impacts and provide recommendations for project design and riparian habitat conservation. The report outlined existing conditions and provided a habitat assessment on vegetation communities and botanical resources.

Two habitat types were identified within the property: 1) riparian, and 2) disturbed land. The riparian habitat is primarily characterized by arroyo willow. While wildlife species were observed, no special status plant or animal species were detected.

PG&E has had historical property access to conduct emergency powerline repairs, pole repairs, guy wire adjustments, and vegetation clearance. The 2022 and 2023 winter storms that affected San Luis Obispo County also overwhelmed the property with woody debris, sediment and trash. This storm also resulted in a compromised PG&E power pole and associated overhead power line that was realigned. City contractors also used the property for access to debris fields on adjacent properties, as well as debris stockpiling. This post-flood activity tracked heavy equipment through the riparian habitat, causing degradation, sediment and debris deposits.

Due to surrounding development, past sedimentation and flooding, and subsequent clean-up activities, it is unlikely for special status plants to occur within the development footprint, which is outside the confines of the ESHA.

As shown in Figure 4, the project details outlined below are consistent with the General Plan and Zoning Code measures to protect ESHAs:

- The project is located within an ESHA for riparian habitat but is sited to prevent impacts which would significantly degrade those areas and is considered compatible with the continuance of those habitats
- No special status plants or animal species were detected on the property during the biological survey
- No permanent vertical structures are proposed onsite
- Permanent features such as permeable pavers, water and sewer hookups within the ESHA setback area are considered minor in nature
- A three-wire strand or split rail fence shall be provided outside the boundary of the riparian habitat with a sign that reads “Environmentally Sensitive Habitat Area – Entry Beyond This Point is Prohibited”

ESHA findings are provided in the resolution for this report.



Figure 4 – ESHA Setback Areas

*Exterior Lighting and Illumination (MBMC Section 17.14.090.B):*

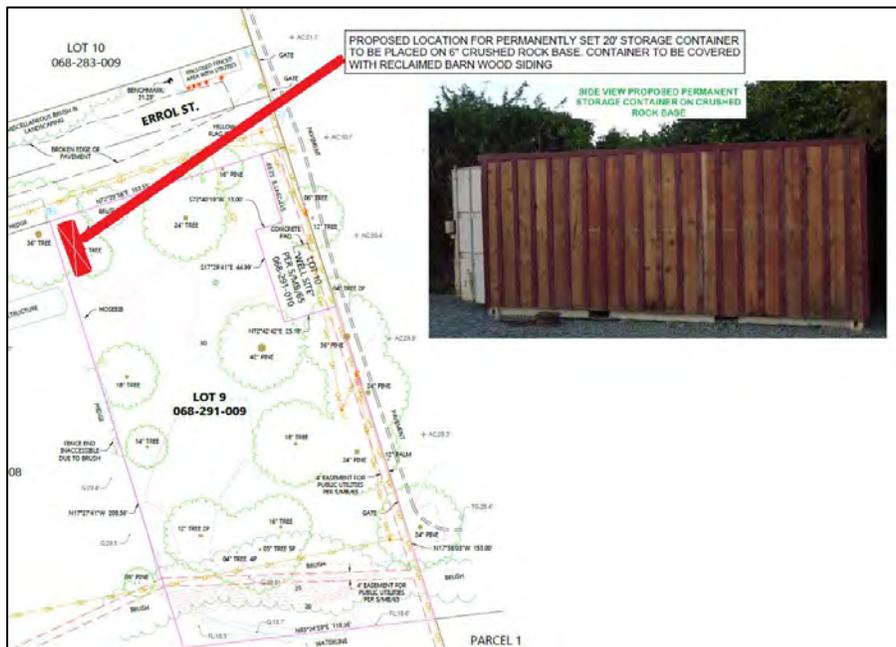
Visual resources and viewsheds in Morro Bay include natural and manmade features such as vistas, scenic corridors, and the visual character of various parts of the built environment,

including but not limited to Morro Rock, the former Vistra power plant, downtown Morro Bay, and various coastal resources including the beach, sandspit, harbor, and the salt marsh. To protect the aesthetic and visual natural resources in and around Morro Bay, Plan Morro Bay Policy C-9.5 requires development to be sited and designed to avoid illuminating, reduce glare, protect and enhance skyward nighttime public views, and minimize lighting in open spaces and natural areas.

Condition of approval no. 51 will require an exterior lighting and illumination plan consistent with MBMC Section 17.14.090.B to be provided as an exhibit in the building permit submittal package and shall include details to the satisfaction of the Community Development Director.

### *Outdoor Storage (MBMC Section 17.23.110)*

Storage of goods, materials, machines, equipment, and inoperable vehicles or parts outside of a building for more than 72 hours are not permitted in a commercial zoning district (MBMC Table 17.23.11). This project therefore proposes a 20' L x 8' W x 8.5' H cargo container structure with barnwood siding to be stored onsite for the purposes of concealing onsite equipment necessary to support the RV park (Figure 4). A building permit will be required prior to the installation of this structure.



*Figure 4 – Proposed Cargo Container Structure Location*

**Fences and Freestanding Walls (MBMC Section 17.23.060):**

As shown in Figure 5, this project proposal includes both existing and proposed 6'-6" tall slatted chain-link fences, which are permitted in the VSC zoning district. The fence shall not include barbed wire, razor wire, ultra-barrier, electrified, or other hazardous fencing. Concrete block fencing is not proposed. Condition of approval no. 52 will ensure that all walls and fences are maintained in a safe, neat and orderly condition at all times.



Figure 5 – Existing Project Fencing

**Landscaping (MBMC Section 17.25.030):**

The purpose of landscaping regulations are to improve the appearance of development and minimize or eliminate conflicts between potentially incompatible uses through landscaping; provide areas onsite to absorb rainfall and assist in reducing stormwater runoff; assist in erosion control; and implement the Water Conservation in Landscaping Act.

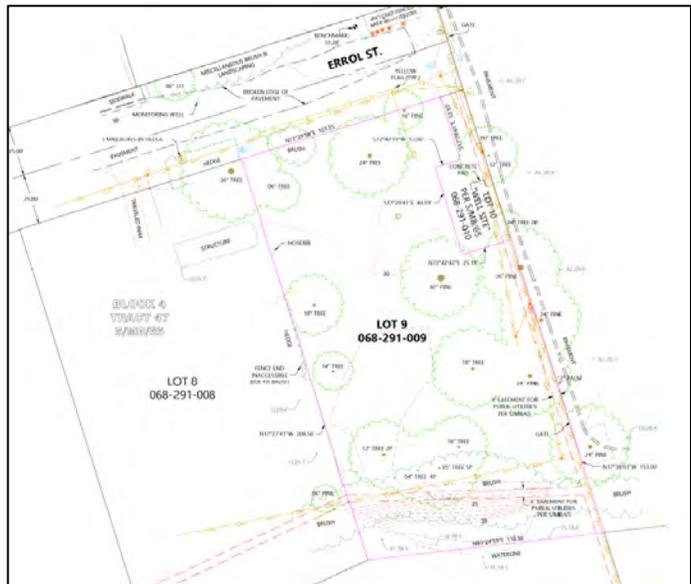


Figure 6 – Preliminary Landscape Plan

As shown in Figure 6, Preliminary Landscape Plan, a 6'-0" wide landscape buffer planted with a mix of trees and shrubs is proposed along the eastern property line since the adjacent

property is zoned Residential Medium (RM). Additionally, a minimum of one (1) 15-gallon size tree and three (3) shrubs shall be planted per 20 linear feet to create a tree canopy over the buffer yard.

A Landscape Plan in accordance with MBMC Section 17.25 is conditioned to be provided as an exhibit in the building permit package and shall include details to the satisfaction of the Community Development Director.

*Parking and Loading (MBMC Section 17.27):*

Parking and loading regulations ensure that adequate off-street parking and loading facilities are provided for new land uses and major alterations to existing uses; establish standards and regulations for safe and well-designed parking unloading, and vehicular circulation areas that minimize conflicts between pedestrian and vehicles within parking lots and, where appropriate, create buffers from surrounding land uses; and offer flexible means of minimizing the amount of area devoted to parking by allowing reductions in the number of required spaces in transit-served locations, shared parking facilities, and other situations expected to have lower vehicle parking demand.

Onsite parking for RV park requirements is calculated at one (1) stall for each RV space plus one common space for each five (5) RV spaces. With eight (8) RV stalls and nine (9) parking stalls provided, this project meets the parking requirements stipulated in MBMC Table 17.27.040. Additionally, four (4) short-term bicycle parking stalls will be provided to serve RV park visitors.

*Signage (MBMC Section 17.29):*

The project does not propose new signage. Any new signage will require a separate master sign program and/or sign permit from the Community Development Director.

*Variance Request (MBMC Section 17.44):*

This project does not include a variance request.

**IX. PLANNING COMMISSION ACTION:**

Approval as recommended: If the Planning Commission intends to approve this proposal, the Commission should approve a motion to approve CDP24-027 and CUP24-03, stating that the proposal satisfies the requisite findings, and adopt the attached Resolution that incorporates the requisite environmental and permit findings and the conditions of approval.

**Approval with modifications:** If the Planning Commission intends to approve this proposal with modifications as discussed on the record, the Commission should approve a motion to approve CDP24-027 and CUP24-03, as based on the record, direct staff to amend the staff report accordingly, stating that the amended staff report will satisfy the requisite findings, and adopt a Resolution that will incorporate the requisite environmental and permit findings and the conditions of approval, as modified by the Commission.

**Denial:** If the Planning Commission intends to deny this proposal, the Commission should approve a motion to deny CDP24-027 and CUP24-03, stating that the finding(s) of the proposal does not satisfy with reasons based on the record, and direct staff to prepare a resolution for adoption at the next meeting that incorporates the Commission's decisions and specific findings.

**Continuation:** If the Planning Commission intends to continue this proposal, the Commission should approve a motion to continue CDP24-027 and CUP24-03, and direct staff to work with the applicant to revise the proposal in the meantime.

If any Planning Commissioner or other interested party has questions or comments regarding this matter prior to the meeting, please contact Kim Fowler, Planning Manager, at 805-772-6577, or by email at [kfowler@morrobayca.gov](mailto:kfowler@morrobayca.gov).

Approved:

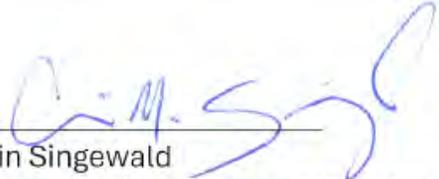
  
Airlin Singewald  
Community Development Director

Exhibit A	Planning Commission Resolution 01-25
Exhibit B	Full Set of Planning Exhibits
Exhibit C	Biological Study, Prepared December 2023

## RESOLUTION NO. PC 01-25

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION FOR COASTAL  
DEVELOPMENT PERMIT NO. CDP24-07 AND CONDITIONAL USE PERMIT NO. CUP24-03  
FOR A DEVELOPMENT OF A RECREATIONAL VEHICLE (RV) PARK WITH ONSITE  
STRUCTURE, PERIMETER FENCING AND LANDSCAPING.

**WHEREAS**, the Planning Commission of the City of Morro Bay (the "City") conducted a public hearing on February 18, 2025, conducted in a hybrid format with both an in-person meeting at the Morro Bay Veterans Memorial Building, 209 Surf Street, Morro Bay, CA 93442 as well as through virtual public participation provided telephonically through Zoom, for the purpose of considering the approval of CDP24-07 and CUP24-03 for the development of a Recreational Vehicle park at 460 Errol Street; and

**WHEREAS**, notices of said public hearing were made at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

**California Environmental Quality Act (CEQA)**

1. That for purposes of the California Environmental Quality Act, Case Nos. CDP24-07 and CUP24-03 are categorically exempt under Section 15332 Class for in-fill development projects in urban areas.

**Coastal Development Permit Findings**

1. **LCP Consistency.** The project is consistent with the LCP.

*Plan Morro Bay was adopted in 2021, encompassing both the City's General Plan and Coastal Land Use Plan (LCP). As an RV park located within Highway 101, the project falls within the General Plan's land use designation of Visitor Serving Commercial, which is intended to provide areas for visitor-oriented services and uses located at easily accessible locations and tourist destinations.*

2. **Public Views.** The project protects or enhances public views.

*Plan Morro Bay includes various policies related to the protection and enhancement of coastal public views. This project, however, is not located along the coast and therefore does not negatively impact coastal public views.*

3. **Habitat Protection.** The project protects vegetation, natural habitats and natural resources consistent with LCP.

*The Conservation Element of Plan Morro Bay addresses the use and preservation of natural resources to improve the environmental quality of Morro Bay. This property is located within a mapped known environmentally sensitive habitat but meets or exceeds the required buffer requirement and therefore is not expected to compromise existing vegetation, natural habitats or natural resources with proper erosion control measures.*

4. **Design Consistency.** The design, location, size, and operating characteristics of the proposed development is consistent with applicable LCP design requirements, including design plans and area plans incorporated into the LCP.

*Plan Morro Bay designates the City of Morro Bay's Zoning Code (Title 17 of the Municipal Code) as the regulatory authority for implementation of coastal requirements including allowed uses, development standards, and coastal resource protection standards. The design, size, location, and operating characteristics of this project is consistent with applicable sections of the Morro Bay Zoning Code.*

5. **Coastal Access.** The project protects or enhances public access to and along the coast.

*Plan Morro Bay includes various policies related to the protection and enhancement of public access to and along the coast. This project, however, is not located along the coast and therefore does not negatively affect public access to and along the coast.*

6. **Visitor Serving.** The project supports the LCP goal of providing for visitor-serving needs as appropriate, including providing low and no cost visitor and recreational facilities.

*Plan Morro Bay includes various policies related to visitor-serving needs. As an RV park located within Highway 101, the project will provide areas for visitor-oriented services.*

7. **Appropriate Use.** The project is consistent with the allowed LCP uses associated with the property.

*Plan Morro Bay was adopted in 2021, encompassing both the City's General Plan and Coastal Land Use Plan (LCP). As an RV park is a use that is consistent with the uses allowed within the VSC land use designation.*

8. **Coastal Resources.** The proposed development protects or enhances coastal resources, where applicable.

*Plan Morro Bay includes various policies related to the protection or enhancement of coastal resources. This project site is within the Cultural Resources Overlay and will protect any potential resources through an Archaeological Monitoring Report and monitoring during all ground disturbing activities.*

9. **Environmental Justice.** The project addresses whether proposed development results in environmental justice impacts, consistent with LCP environmental justice policies. When relevant, the project includes mitigation measures to minimize or eliminate potential adverse and/or disproportionate impacts of development on environmental justice communities.

*The project does not trigger environmental justice impacts. No mitigation measures are required to minimize or eliminate potential adverse and/or disproportionate impacts of development on environmental justice communities.*

10. **Hazards.** The proposed development is consistent with the LCP's coastal hazards provisions.

*Coastal hazards include, but are not limited to, episodic and long-term shoreline retreat and coastal erosion, high seas, ocean waves, storms, tsunamis, coastal flooding, landslide, bluff and geologic instability, and the interaction of same, and all is impacted by sea level rise. This project, however, is not located along the coast and therefore is not subject to the LCP's coastal hazards provisions.*

### **Conditional Use Permit Findings**

1. The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this Title (Title 17) and all other titles of the Municipal Code.

*The proposed RV park (proposed use) is consistent with the VSC zoning district.*

2. The proposed use is consistent with the General Plan and any applicable specific plan.

*Plan Morro Bay was adopted in 2021, encompassing both the City's General Plan and Coastal Land Use Plan (LCP). As an RV park is a use that is consistent with the uses allowed within the VSC land use designation.*

3. The proposed use will not be adverse to the public health, safety, or general welfare of the community, nor detrimental to surrounding properties or improvements.

*The RV park will not be adverse to the public health, safety, or general welfare of the community, nor be detrimental to surrounding mobile home parks and residences.*

4. The proposed use complies with any design or development standards applicable to the zoning district or the use in question unless waived or modified pursuant to the provisions of Title 17.

*The design, size, location, and operating characteristics of this project is consistent with applicable sections of the Morro Bay Zoning Code (MBMC Title 17).*

5. The design, location, size, and operating characteristics of the RV park are compatible with the existing and reasonably foreseeable future land uses in the vicinity.

*The RV park is compatible with the existing surrounding mobile home parks and residences, as well as foreseeable future visitor serving commercial uses.*

6. The site is physically suitable for the type, density, and intensity of the use being proposed.

*The site is flat with direct ingress and egress, will not remove any existing vegetation, will protect the ESHA and is therefore suitable for the proposed RV park.*

### **Environmentally Sensitive Habitat Area (ESHA) Findings**

1. The resource as identified will not be significantly degraded or disrupted by the proposed development and the development will be compatible with the continuance of the resource.

*The project is designed to avoid direct impacts to ESHA-designated riparian habitat; these resources will therefore not be significantly degraded or disrupted.*

2. There is no feasible less environmentally damaging alternative.

*The project does not propose any permanent vertical structures and permanent features such as permeable pavers, water and sewer hookups are minor in nature. This project therefore is already minimizing environmental impacts to the extent possible; any less would not be a feasible project alternative.*

3. All feasible mitigation measures capable of reducing or eliminating project-related impacts have been adopted.

*All feasible mitigation measures have been implemented the project was designed to avoid ESHAs and condition of approval no. 58 requires installation of fencing and signs to keep people out of the ESHAs.*

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit No. 24-07 and Conditional Use Permit No. CUP24-03 subject to the following conditions:

### **STANDARD CONDITIONS:**

1. Permit: Coastal Development Permit (CDP24-07) and Conditional Use Permit (CUP24-04) to allow development of a Recreational Vehicle (RV) Park with eight (8) RV stalls, nine (9) parking stalls, one (1) onsite cargo container structure, perimeter fencing and landscaping on a vacant 16,542 square foot (s.f.) parcel at 460 Errol Street. The property is in the VSC zoning district and is located within the California Coastal Commission appeals jurisdiction. The property is located within the Cultural Resources overlay area.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.

4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The Applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.
8. Conditions of Approval: The Findings and Conditions of Approval shall be included as a full-size sheet in the Building Plans.

### **BUILDING CONDITIONS:**

The codes in effect during this project review include the 2022 editions of the California Building Code (CBC), California Residential Code (CRC), California Green Building Code (CGBC), California Plumbing Code (CPC), California Mechanical Code (CMC), California Electrical Code (CEC), and the California Energy Code (CEnc). The CBC is based on the 2021 editions of the International Building Code which was published by the International Code Council. The CPC & CMC are based on the 2021 editions of the Uniform Plumbing & Mechanical Codes which were published by IAPMO. The CEC is based on the 2020 edition of the National Electrical Code published by the National Fire Protection Association (NFPA).

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

### **GENERAL:**

9. Electrical permit required. An AC electrical that is subject to direct burial and will supply the gate opener or additional receptable outlets, sub-panels, etc., will require an electrical permit

and inspections. ALL TRENCHING ACTIVITIES SHALL REQUIRE ARCHAEOLOGICAL MONITORING.

10. Plumbing permit required. The plumbing work (e.g. sewer tie-in and hose bib installation) will require a plumbing permit and inspections. This can be combined into a site alteration permit for corrective work, if this has not been completed. The sewer connection shall be permanently capped off and verified until otherwise indicated by the Building Inspector. ALL TRENCHING ACTIVITIES SHALL REQUIRE ARCHAEOLOGICAL MONITORING.
11. A permit is not required for low voltage wiring for surveillance purposes.

**PRIOR TO ISSUANCE OF A BUILDING PERMIT:**

12. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business and Professions Code, except when otherwise approved by the Chief Building Official.
13. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
14. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
15. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code and a Statement of Special Inspections is required on the structural cover sheet. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
16. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
17. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.

18. **BUILDING PERMIT APPLICATION.** To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.
19. The Title sheet of the plans shall include, but not limited to:
- Street address, lot, block, tract and Assessor Parcel Number
  - Occupancy Classification(s)
  - Construction Type
  - Maximum height of the building allowed and proposed
  - Floor area of the building(s)
  - Fire sprinklers, proposed or existing
  - Minimum building setback allowed and proposed

**CONDITIONS TO BE MET DURING CONSTRUCTION:**

20. Site Maintenance. During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained throughout the duration of the project. The storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.
21. Archaeological Materials. In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
22. Foundation Setback Verification: Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some lot types.

**CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:**

23. Prior to Building Division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.

24. Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
25. If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
26. If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
27. Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
28. Final T-24 energy reports (Certificates of Installation).

**PUBLIC WORKS CONDITIONS:**

29. Stormwater Management: City has adopted Low Impact Development (LID) and Post Construction requirements. All proposed projects must complete the "Performance Requirement Determination Form" and identify new and replaced impervious surfaces, to determine if any requirements should be submitted. The requirements can be found in the Stormwater management guidance manual on the City's website <https://www.morrobayca.gov/DocumentCenter/View/11828/MB-Stormwater-Management-MAIN-Manual> Note: All runoffs must be directed onto vegetated areas prior to overflowing into the street. The submitted determination form needs to be updated to calculate all non-pervious are (concrete and paver area). If over 2,500sf, then Performance Requirement No. 1 must be signed and submitted (MBMC 14.48.140)
30. Preliminary Title Report: Submit a copy of a preliminary title report to verify lot dimensions. (MBMC 14.48.140)
31. Frontage Improvements: The installation of frontage improvements is required. Show the installation of a driveway approach (per City standard detail B-7 or B-8). Show and label minimum 18" asphalt cut and pave back for concrete driveway. Add note that asphalt cut and pave back will be to need replaced at nearest clean edge per PW inspector recommendations. Add dimension to driveway and apron. (MBMC 14.44.020)
32. Construction Details: Add construction details of proposed installations.
33. Sewer Lateral: If the existing sewer lateral (from property line to sewer mainline) is proposed to be used, portion of clay pipe (from wye to property line) must be replaced. City video from mainline identifies an offset to the wye connection and mortar within the sewer lateral. Add note to replace clay pipe from wye connection to property line. (MBMC 14.07.030)
34. Water Meter: Indicate on plans location and sizes of both water meter and water lateral. Coordinate sizes with Fire Sprinkler plans. (MBMC 13.04.010 & 14.04.010.C)
35. Water Backflow Prevention Device: Verify and label all new or existing water backflow preventers. Water backflow preventer devices are required for fire water systems, irrigation systems (on a dedicated water meter), systems which may change in character of use (commercial rentals, etc.), gray water systems, or any plumbing system which has cross-

connections or the ability to allow water of deteriorated sanitary quality to enter the public water supply. Add note to plan that device is required to be an approved domestic water backflow prevention device. (MBMC 13.08.040)

36. County Cross-Connection Inspection: Add note to plan that contractor is required to contact the County Cross-Connection Control Program to confirm prevention device location and completed test form. The contractor must provide the city a copy of the test results. (MBMC 13.08.040)
37. Grading and Drainage: Indicate on plans the existing and updated contours, drainage patterns, spot elevations, and all existing and proposed drainage pipes and structures. All runoff must be directed onto vegetated areas. (CBC 107.2.1/CRC R106.1.1)
38. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. See attached Water and Sewer As-builts, maps and sewer lateral at wye connection that we added to portal.
39. Erosion and Sediment Control Plan: For small projects less than 1/2 acre and less than 15% slope, provide a standard erosion and sediment control plan. Show on plans the type and location of the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area. Guidelines for the control plan may be found on the City's website at the following location: <https://www.morrobayca.gov/documentcenter/view/462>
40. Inspections: Add note that all stormwater and erosion and sediment control inspections to be performed by the Public Works Department Inspector Matt Bishop at (805)772-6232.
41. Add the following Notes to the Plans:
  - a. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
  - b. It is the responsibility of the designer and contractor to verify all utility locations and connections for the project.
  - c. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permit application and requirements are available on the City's website at the following location: <https://www.morrobay.ca.us/197/Public-Works/>.
    - A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location).
    - A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement.
    - A water encroachment permit and water meter application shall be required for new water meter installations within the City right-of-way.
    - If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by a temporary encroachment permit within the City right-of-way.

**PLANNING CONDITIONS:**

42. **Building Permit Required:** A building permit is required prior to the installation of the one (1) single-unit permitted cargo container structure for non-residential occupancy. Containers shall be standard-sized, and their original manufactured physical dimensions (width, length, and height) shall not be altered. Roofs and walls may not be altered to add openings for skylights, windows, or doors. This single-unit structure shall not exceed one level above grade plane, include barnwood siding as shown on plans approved with CDP24-07 and CUP24-03 and comply with required setbacks. Plumbing for electrical, gas, water, and sewer is not permitted. Cargo containers may not be stacked (multi-level) or used for residential occupancy. If not placed on a permanent foundation system, cargo containers must be placed on grade that is level with suitable material for supporting such container. Roof
43. **Archaeological Monitoring Required:** Prior to the issuance of a building permit, an Archaeological Monitoring Plan shall be prepared and approved by the Community Development Director to provide an archaeologist and cultural Native American monitor during any ground disturbing or trenching activities. A final monitoring report shall be submitted to the Planning Division upon completion of monitoring. The developer shall be liable for any costs associated with providing onsite monitors.
44. **Pre-Construction Meeting Required:** Prior to any ground disturbing or trenching activities, an on-site pre-construction meeting must be scheduled between the Planning Division, the Building Division, the archaeologist, the cultural Native American monitor, and the project agent to discuss monitoring and reporting requirements.
45. **Construction Hours:** Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues (MBMC Section 9.28.030.1).
46. **Dust Control:** That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
47. **Boundaries and Setbacks:** The property owner is responsible for verification of lot boundaries. Prior to requesting foundation inspection, a licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Director. A copy of the surveyor's Form Certification based on a boundary survey shall be submitted with the request for foundation inspection.
48. **Structure Height Verification:** Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the Community Development Director certifying that the tops of the forms are in compliance with the finish floor elevations as shown on approved plans. Prior to either roof nail or framing inspection, a licensed surveyor shall

submit a letter to the building inspector certifying that the height of the structures is in accordance with the approved plans and complies with the maximum height requirements as approved for this project.

49. Inspection: The Applicant shall comply with all City conditions of approval and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.
50. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval for both the Conditional Use Permit and the Coastal Development Permit shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
51. Exterior Lighting and Illumination Plan: Exterior lighting and illumination shall comply with MBMC Section 17.14.090.B. A lighting plan including safety corridor lighting shall be identified on plans to be included with the building permit submittal. All lights shall be directed, oriented, and shielded to prevent light trespass or glare onto adjacent properties. The light level at property lines shall not exceed 0.3 foot-candles. Building plans submitted for approval shall be lighting that uses cut-off, shielded, or downward fixtures (i.e., the bulb is not directly visible) and is between 2600 and 3500 Kelvin and has a CRI of 85 or greater.
52. Walls and Fences: Walls and fences shall be maintained in a safe, neat, and orderly condition at all times.
53. Landscape and Irrigation Plan: A Landscape and Irrigation Plan consistent with MBMC Section 17.14.090.C shall be included with the building permit submittal.
54. Landscape and Irrigation Completion: Landscaping shall be fully installed and appropriately irrigated prior to the issuance of the first certificate of occupancy and must be maintained in a thriving condition at all times.
55. Trash Receptacles: A minimum of two trash cans with self-closing lids or other bird deterrent as approved by the Community Development Director shall be identified on plans to be included with the building permit submittal. It is the responsibility of the property owner or their designee to establish trash pickup accounts and services.
56. Bicycle Racks: A bicycle rack with a minimum capacity of holding four (4) bicycles shall be installed. The location and brand of bicycle rack shall be included with the building permit submittal. The bicycle racks shall be consistent with other city facilities or as otherwise approved by the Community Development Director.
57. Picnic Tables: A minimum of two (2) picnic tables shall be available for general use. It is the responsibility of the developer or his designee to ensure that theft or damage of these items are replaced within 14 days to the satisfaction of the Community Development Director.
58. ESHA Preservation: A permanent fence with permanent signs that read "Environmentally Sensitive Habitat Area, Entry Beyond This Point is Prohibited" shall be provided along the outside boundary of the riparian habitat, consistent with the Biological Report prepared in December 2023 for this project.

59. General Signage: Any new signage will require a master sign program and/or sign permit from the Community Development Director. Signs must be permitted and installed prior to each tenant receiving a certificate of occupancy.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 18<sup>th</sup> day of February, 2025, on the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

\_\_\_\_\_  
Chairperson Eric Meyer

ATTEST

\_\_\_\_\_  
Airlin Singewald, Secretary

The foregoing resolution was passed and adopted this 18<sup>th</sup> day of February, 2025.

GENERAL NOTES

- (THESE NOTES APPLY TO ALL PORTIONS, PHASES AND SUBCONTRACTS OF THIS PROJECT.)
- USE OF PLANS: THESE PLANS ARE THE PROPERTY OF MSA AND MAY NOT BE USED WITHOUT MSA EXPRESSED, WRITTEN CONSENT.
  - DIMENSIONS: DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWINGS SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL DIMENSIONS ARE ROUGH AND TO FACE OF STUD (F.O.S.). ALL DIMENSIONS SHALL BE FIELD VERIFIED BEFORE COMMENCING WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION IS FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM MSA PRIOR TO PROCEEDING WITH ANY RELATED WORK.
  - CHANGES: CHANGES TO APPROVED PLANS AND SPECIFICATIONS SHALL BE MADE ONLY IN WRITING AND SHALL BE APPROVED BY THE ARCHITECT. CONTRACTOR SHALL ASSUME RESPONSIBILITY AND COSTS FOR ALL SUBSTITUTIONS REQUIRE OWNER AND ARCHITECT'S APPROVAL. FAILURE TO GAIN APPROVAL IS SUFFICIENT GROUNDS FOR ORDERING REMOVAL OF PRODUCT AT CONTRACTOR'S EXPENSE.
  - APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER ORDINANCES OR LAW. CBC 105.4.
  - SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS & THE EXISTING CONDITIONS) ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM MSA PRIOR TO PROCEEDING WITH ANY RELATED WORK.
  - THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE INDUSTRIAL SAFETY REGULATIONS, THE LOCAL GOVERNING AGENCY, THE ARCHITECT, AND THE OWNER SHALL NOT BE RESPONSIBLE FOR ENFORCING ANY SAFETY REGULATIONS.
  - THE ARCHITECT OF RECORD SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING ALL SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.
  - TEMPORARY FACILITIES: CONTRACTOR SHALL PAY FOR, PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR PROJECT PROTECTION AND CONSTRUCTION, AND AS REQUIRED BY LOCAL REGULATION AND THESE DOCUMENTS. SUCH FACILITIES INCLUDE, BUT ARE NOT LIMITED TO: TOILETS, LIGHTS, HEATERS, POWER, GAS, FANS, WATER, PHONES, FENCES, SIGNS, SHEDS, ETC.. REMOVE FROM SITE UPON COMPLETION OF WORK. OBTAIN BUILDING OFFICIAL OR FIRE MARSHAL APPROVAL PRIOR TO USE OF ANY TEMPORARY HEATING DEVICE.
  - PROTECTION AND SAFETY: CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL ITEMS (SIGNS, LIGHTS, FENCES, BRACING, ANCHORAGE, FIRE-EXTINGUISHERS, ETC.) NECESSARY FOR THE PROTECTION OF THE PUBLIC, WORKERS, MATERIALS, CONSTRUCTION AND PROPERTY PER LOCAL, STATE AND FEDERAL REQUIREMENTS (INCLUDING EARTHQUAKES, FIRES, SPILLS, ACCIDENTS, EROSION, MUD, DUST, ETC.). STAGING OF MATERIALS AND EQUIPMENT SHALL NOT OVERLOAD ANY EXISTING, NEW AND/OR TEMPORARY STRUCTURES ON THE BUILDING SITE.
  - PROVIDE APPROVED ADDRESS NUMBERS PERMANENTLY AFFIXED TO BUILDING VISIBLE FROM STREET FRONTING PROPERTY. NUMBERS SHALL BE MINIMUM 4" HIGH WITH MINIMUM 1/2" STROKE WIDTH, CONTRASTING COLOR TO BACKGROUND. CBC 501.2, CFC 505.1. CONTRACTORS SHALL COORDINATE THE LOCATION WITH THE ARCHITECT AND FIRE DEPARTMENT.
  - NO HAZARDOUS MATERIALS SHALL BE STORED AND / OR USED WITHIN THE BUILDING, WHICH EXCEED THE QUANTITIES LISTED IN CBC TABLE 307.1.
  - MECHANICAL EQUIPMENT SHALL BE SCREENED WITH PAINT OR BUILDING MATERIALS AND COLORS COMPLEMENTARY TO THE BUILDING.
  - CONTRACTOR TO NOTIFY OWNER PRIOR TO COMMENCING WITH ANY WORK. CONTRACTOR SHALL CONFORM TO ANY REQUIREMENTS FOR NOISE AND DUST CONTROL, TRASH, STORAGE, WORK HOURS, SITE ACCESS, SIGNAGE, ETC. AS DIRECTED BY THE OWNER.
  - ALL NEW IMPROVEMENTS SHALL MEET CURRENT ACCESSIBLE REQUIREMENTS.
  - CONTRACTOR IS RESPONSIBLE FOR SCHEDULING INSPECTIONS BY THE BUILDING DEPT. AND OTHER AGENCIES AS REQUIRED.
  - PROVIDE ENTRANCE AND / OR EQUIPMENT ROOM KEY(S) FOR KEY BOX UPON FINAL INSPECTION.
  - SIGNAGE SHALL BE UNDER A SEPARATE PERMIT. SIGNAGE AND SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE OWNER, ARCHITECT AND THE CITY PRIOR TO FABRICATION.
  - ALL EXITS TO BE OPERABLE FROM INSIDE WITHOUT USE OF A KEY, TOOL OR SPECIAL KNOWLEDGE.
  - FIRE SPRINKLERS ARE TO BE REVIEWED AND APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.



Conceptual RV Park  
460 Errol Street Morro Bay

PROJECT DATA

PROJECT DESCRIPTION

A 16,532 SF. RV PARK ON AN EXISTING UNINPROVED SITE (RAW LAND).

SITE INFORMATION

TRACT: ---  
 COMMUNITY: CITY OF MORRO BAY  
 APN: 068-291-009  
 ADDRESS: 460 ERROL ST., MORRO BAY, CA 93442  
 SITE AREA: 23,940 SF  
 FIRE HAZARD ZONE: ---  
 ZONING: VSC  
 OVERLAY DISTRICT: CULTURAL RESOURCES PROTECTION (CRP)  
 LAND USE DESIGNATION: VISITOR SERVING COMMERCIAL  
 USE: COMMERCIAL & MIX USE  
 OCCUPANCY: ---  
 TYPE OF CONSTRUCTION: ---  
 SPRINKLERS REQUIRED: ---

PARKING DATA

PARKING PROVIDED:  
 RV PARKING: 8  
 AUTO PARKING: 8 (1 VAN)

BUILDING INFORMATION

BUILDING AREA CALCULATION (GROSS SF.):

PROPOSED UNCONDITIONED: 16,532  
 TOTAL COMPLETED AREA: 16,532

GOVERNING CODE

(AS ADOPTED BY THE CITY OF MORRO BAY)  
 (2022) CALIFORNIA BUILDING CODE  
 (2022) CALIFORNIA PLUMBING CODE  
 (2022) CALIFORNIA MECHANICAL CODE  
 (2022) CALIFORNIA ELECTRICAL CODE  
 (2022) CALIFORNIA ENERGY CODE  
 (2022) CALIFORNIA GREEN BUILDING CODE  
 (2022) CALIFORNIA FIRE CODE  
 (2022) CALIFORNIA BUILDING EFFICIENCY STANDARDS  
 (2022) CALIFORNIA REFERENCE STANDARDS CODE  
 CITY OF MORRO BAY CONSTRUCTION & FIRE CODES

PROJECT DIRECTORY

OWNER / BUILDER:  
 ONAN CHAMPI  
 615 NORTH 10TH AVE.,  
 HANFORD, CA 93230  
 559-816-1450  
 ONAN@CHAMPFENCE.COM

ARCHITECT:  
 MSA  
 MICAH D. SMITH, AIA,  
 LICENSE # C33179  
 2325 GANADOR CT  
 SAN LUIS OBISPO, CA 93401  
 805-704-7118  
 MICAH@MSMITH-ARCH.COM

AGENCIES AND UTILITIES

UTILITIES:  
 ELECTRICITY: PACIFIC GAS & ELECTRIC  
 GAS: SO CAL GAS  
 WATER: CITY OF MORRO BAY  
 SEWER: CITY OF MORRO BAY  
 TELEPHONE: AT&T  
 C.A.T.V. N/A

PUBLIC WORKS NOTES

- ANY DAMAGE, AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.
- IT IS THE RESPONSIBILITY OF THE DESIGNER AND CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS AND CONNECTIONS FOR THE PROJECT.
- NO WORK SHALL OCCUR WITHIN (OR USE OF) THE CITY'S RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMIT APPLICATIONS AND REQUIREMENTS ARE AVAILABLE ON THE CITY'S WEBSITE AT THE FOLLOWING LOCATION: [HTTPS://WWW.MORROBAY.CA.US/197/PUBLIC-WORKS](https://www.morrobay.ca.us/197/PUBLIC-WORKS).
- A STANDARD ENCROACHMENT PERMIT SHALL BE REQUIRED FOR THE PROPOSED DRIVEWAY; THE DRIVEWAY SHALL COMPLY WITH B-9 (DRIVEWAY RAMPS: SIZE & LOCATION).
- A SEWER ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ANY REPAIRS OR INSTALLATION OF A SEWER LATERAL WITHIN THE CITY RIGHT-OF-WAY OR WITHIN A UTILITY EASEMENT.
- A WATER ENCROACHMENT PERMIT AND WATER METER APPLICATION SHALL BE REQUIRED FOR NEW WATER METER INSTALLATIONS WITHIN THE CITY RIGHT-OF-WAY.
- IF A CONSTRUCTION DUMPSTER IS USED, THE DUMPSTER LOCATION SHALL BE ON PRIVATE PROPERTY, UNLESS ALLOWED BY A TEMPORARY ENCROACHMENT PERMIT WITHIN THE CITY RIGHT-OF-WAY.
- SPECIFY ON PROJECT DATA NOTES, UNDER THE SITE INFORMATION HEADING AN ADDITIONAL LINE THAT STATES "THIS SITE IS LOCATED IN THE CULTURAL RESOURCES PROTECTION (CRP) OVERLAY DISTRICT"
- WATER BACKFLOW PREVENTION DEVICE IS REQUIRED TO BE AN APPROVED DOMESTIC WATER BACKFLOW PREVENTION DEVICE. (MBMC 13.08.040)
- CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY CROSS-CONNECTION CONTROL PROGRAM TO CONFIRM PREVENTION DEVICE LOCATION AND COMPLETE TEST FORM. THE CONTRACTOR MUST PROVIDE THE CITY A COPY OF THE TEST RESULTS. (MBMC 13.08.040)
- ALL STORM WATER AND EROSION & SEDIMENT CONTROL INSPECTIONS TO BE PERFORMED BY THE PUBLIC WORKS DEPARTMENT INSPECTOR, MATT BISHOP AT (805) 772-6232

RIO GORDO RV PARK

460 ERROL ST., MORRO BAY, CA 93442

SHEET INDEX

TITLE SHEET	T1.0
PROPERTY BOUNDARY AND ADACENT USES	T1.1
TRACT MAP	T1.2
AS-BUILTS PER CITY OF MORRO BAY	T1.3
RECORD SURVEY	RS-1
TOPOGRAPHY	TS-1
EROSION AND SEDIMENTATION CONTROL PLAN	C1.1
ARCHITECTURAL GRADING AND DRAINAGE PLAN	C1.2
ARCHITECTURAL UTILITY PLAN	C1.3
STANDARD DETAILS	C1.4
PROPOSED SITE PLAN	A1.4
LANDSCAPE / ESHA	L1.0
TOTAL SHEETS: 12	

MSA

REVISION SCHEDULE

DELTA

TITLE SHEET

SUPPORTING DOCUMENTS

- NONE

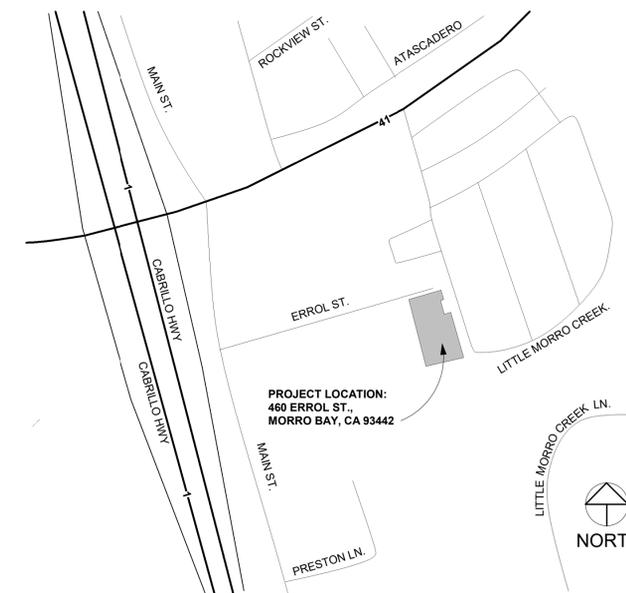
DEFERRED SUBMITTAL

- NONE

FIRE DEPARTMENT NOTES

- PROVIDE PORTABLE FIRE EXTINGUISHERS 2A 10BC IN SUCH LOCATIONS SO THAT MAX. FLOOR TRAVEL DISTANCE DOES NOT EXCEED 75'-0" TO THE NEAREST EXTINGUISHER FROM ANY PORTION OF THE BUILDING. FIRE EXTINGUISHER CABINET LOCATIONS ARE INDICATED ON THE FLOOR PLAN AND ALL EXTINGUISHERS ARE REQUIRED TO BE ON SITE DURING CONSTRUCTION. (CFC SEC. 1002 AS AMENDED)
- ANY PERSON USING A TORCH OR OTHER FLAME-PRODUCING DEVICE FOR SWEATING PIPE JOINTS FROM OR IN ANY BUILDING OR STRUCTURE SHALL PROVIDE ONE APPROVED FIRE EXTINGUISHER ON THE PREMISES WHERE SAID BURNING OPERATION IS PERFORMED. COMBUSTIBLE MATERIAL IN THE CLOSE PROXIMITY OF OPEN FLAME SHALL BE PROTECTED AGAINST IGNITION BY SHIELDING, WETTING OR OTHER MEANS. IN ALL CASES, A FIRE WATCH SHALL BE MAINTAINED IN THE VICINITY OF THE OPERATION FOR ONE-HALF HOUR AFTER THE TORCH OR FLAME-PRODUCING DEVICE HAS BEEN USED. (CFC 1109.3)
- PLAN AND SPECIFICATIONS FOR THE NFPA-13 AND NFPA-13R AUTOMATIC FIRE-SPRINKLER SYSTEM AND FIRE ALARM SYSTEM SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. (CFC 1001.3 & 1001.4)
  - FOR FIRE-ALARM SYSTEMS EMPLOYING AUTOMATIC FIRE DETECTORS OR WATERFLOW DIRECTION DEVICES, AT LEAST ONE FIRE ALARM BOX SHALL BE PROVIDED TO INITIATE A FIRE ALARM SIGNAL. THIS FIRE ALARM BOX (PULL STATION) SHALL BE LOCATED WHERE REQUIRED BY THE FIRE DEPARTMENT. (NFPA 72, 3-8.12)
  - AN APPROVED AUDIBLE SPRINKLER FLOW ALARM SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. AN APPROVED AUDIBLE SPRINKLER FLOW ALARM TO ALERT THE OCCUPANTS SHALL BE PROVIDED IN THE INTERIOR OF THE BUILDING IN A NORMALLY OCCUPIED LOCATION. ACTION OF THE ALARM SHALL BE AS SET FORTH IN CBC CHAPTER 9.
  - SPRINKLER SYSTEMS IN BUILDINGS THAT HAVE AN UNDETERMINED USE WILL REQUIRE AN AUTOMATIC SPRINKLER SYSTEM WITH A DENSITY OF NO LESS THAN THAT REQUIRED FOR AN ORDINARY HAZARD GROUP 2 WITH A MIN. DESIGN AREA OF 3,000 SF. FOR BUILDINGS OF UNDETERMINED USE WITH CEILING HEIGHTS OVER 20 FT., THE SYSTEM SHALL BE DESIGNED FOR DENSITY OF 0.33 SF WITH A MIN. DESIGN AREA OF 3,000 SF.
- AN APPROVED AUDIBLE SPRINKLER FLOW ALARM SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. AN APPROVED AUDIBLE SPRINKLER FLOW ALARM TO ALERT THE OCCUPANTS SHALL BE PROVIDED IN THE INTERIOR OF THE BUILDING IN A NORMALLY OCCUPIED LOCATION. ACTION OF THE ALARM SHALL BE AS SET FORTH IN CBC STANDARD 9-1.
- THE FIRE DEPARTMENT SHALL INSPECT / APPROVE THE FOLLOWING PER (CFC ARTICLE 10):
  - MATERIALS SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION.
  - OVERHEAD SPRINKLER PIPING - PRIOR TO CONCEALMENT.
  - FINAL OCCUPANCY SIGN OFF - PRIOR TO OCCUPANCY.
  - ALL REQUIREMENTS SHALL BE COMPLETED PRIOR TO FINAL OCCUPANCY APPROVAL, EXCEPT AS NOTED OTHERWISE.
  - THE FIRE DEPARTMENT SHALL BE GIVEN 48 HOURS MIN. NOTICE FOR ALL INSPECTIONS.
- THE CONTRACTOR SHALL SUBMIT PLANS AND SPECIFICATIONS FOR THE ENTIRE FIRE ALARM SYSTEM TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CFC 14.103(A). CONTRACTOR SHALL OBTAIN AN ALARM-USER'S PERMIT FROM THE LOCAL GOVERNING AGENCY.
- CONTRACTOR SHALL INSTALL A KNOX-BOX KEY WITH APPROPRIATE KEYS FOR FIRE DEPT. EMERGENCY USE. REFER TO FLOOR PLAN FOR LOCATION. PROVIDE ENTRANCE AND / OR EQUIPMENT ROOM KEY(S) FOR KEY BOX UPON FINAL INSPECTION. KNOX BOXES (ONE PER BUILDING) SHALL BE APPROVED BY THE FIRE DEPARTMENT. AT A HEIGHT 6 FT. ABOVE GRADE. CONTRACTOR WILL COORDINATE WITH FIRE DEPARTMENT FOR SPECIFIC LOCATION OF KNOX BOX
- ALL LOCKABLE EXTERIOR AND INTERIOR DOORS SHALL BE GRANDMASTER KEYED.
- THE FIRE ALARM CONTROL PANEL FIRE SPRINKLER RISER, MAIN ELECTRICAL SHUT-OFF, AND ROOF ACCESS SHALL BE LABELED WITH 1" HIGH CONTRASTING LETTERS.

VICINITY MAP

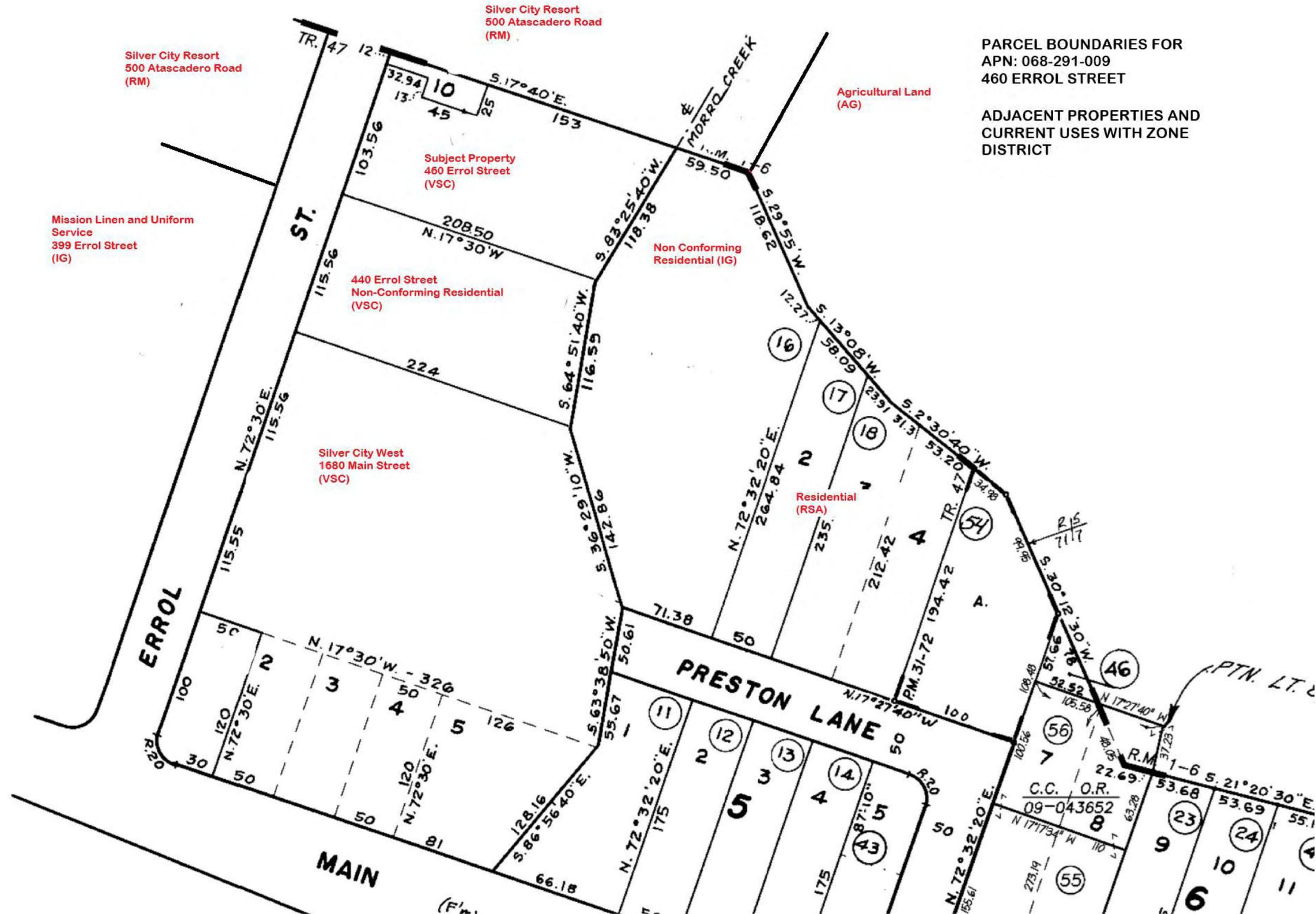


RIO GORDO RV PARK  
 RV PARK  
 460 ERROL ST., MORRO BAY, CA 93442  
 24-004



T1.0

Scale: 1/4" = 1'-0"  
 Date: NOVEMBER 6, 2024



Silver City Resort  
500 Atascadero Road  
(RM)

Mission Linen and Uniform  
Service  
399 Errol Street  
(IG)

Silver City Resort  
500 Atascadero Road  
(RM)

Subject Property  
460 Errol Street  
(VSC)

440 Errol Street  
Non-Conforming Residential  
(VSC)

Silver City West  
1680 Main Street  
(VSC)

Agricultural Land  
(AG)

Non Conforming  
Residential (IG)

Residential  
(RSA)

PARCEL BOUNDARIES FOR  
APN: 068-291-009  
460 ERROL STREET

ADJACENT PROPERTIES AND  
CURRENT USES WITH ZONE  
DISTRICT

MSA

MICAH D. SMITH, AIA  
ARCHITECT, LIC. NO. C3179  
San Jose, CA 95128  
Tel: 408.249.4922  
Fax: 408.249.7118  
WWW.MSMITH-ARCH.COM

REVISION SCHEDULE	DATE	DESCRIPTION
DELTA		

PROPERTY BOUNDARY AND  
ADJACENT USES

RIO GORDO RV PARK

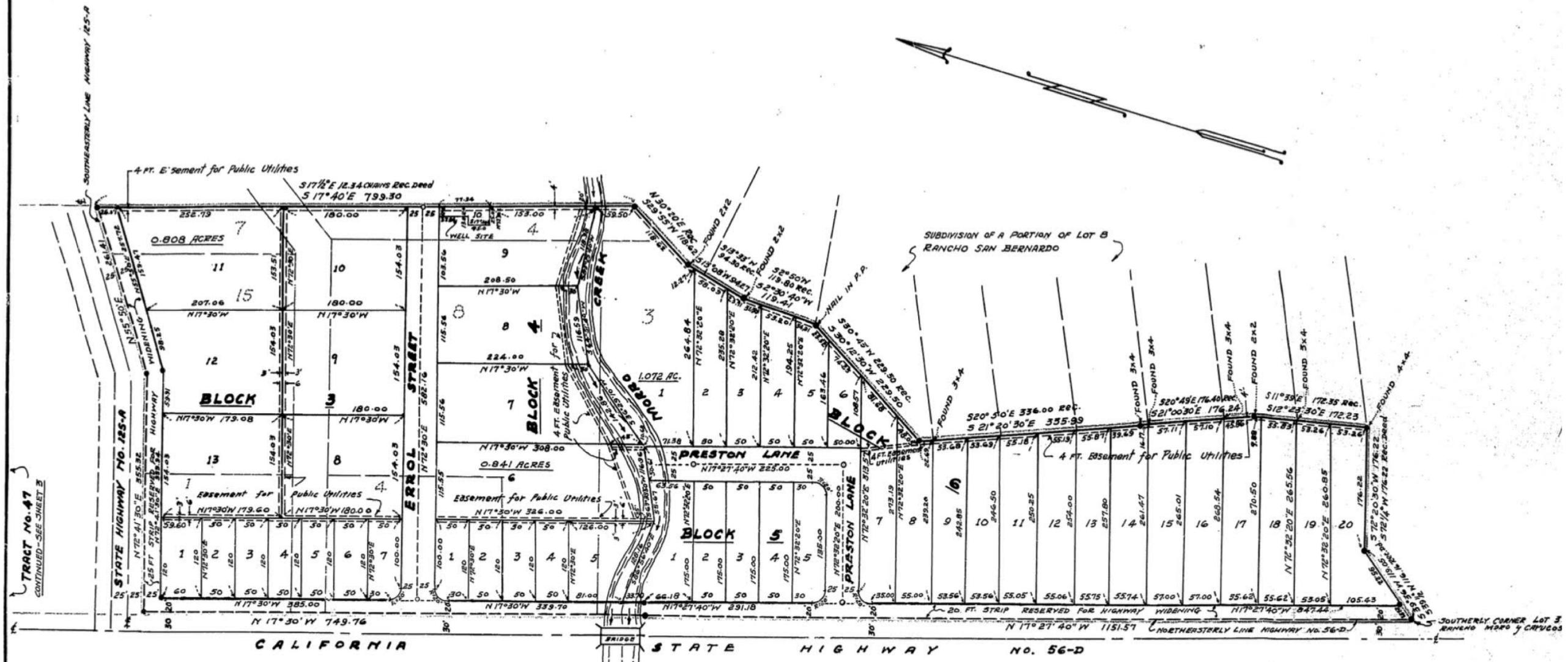
TENANT IMPROVEMENT @ GIFT SHOP & NEW PATIO SEATING  
460 ERROL ST., MORRO BAY, CA 93442

24-004



Sheet: T1.1

Scale:  
Date: NOVEMBER 6, 2024



**NOTE:**

- — — — — Indicates Exterior Boundary of Tract
- - - - - Indicates 3/4" Iron pipe set 18" underground in Streets
- • — — — Indicates 3/4" Iron pipe 18" long

The basis of bearings for this survey was taken from the westerly line of lots 15, 16, 17, and 18 of the Subdivision of Rancho Moro y Cayucos as per map filed in Book A Page 160. The bearing being noted as N 17° 30' W

MAP OF  
**TRACT NO. 47**  
 MORRO GARDEN FARMS

A SUBDIVISION OF  
 LOTS 3 AND 8 AND A PORTION OF LOTS  
 4, 7, 15, 16, 17, AND 18 OF SUBDIVISIONS OF  
**RANCHO MORO Y CAYUCOS**

AND BLOCKS 1 AND 4 OF  
**TOWN OF LAGUNA**  
 SAN LUIS OBISPO COUNTY, CALIFORNIA

PACIFIC ENGINEERS & SURVEYORS, INC.  
 APRIL 1948 SCALE: 1"=100'

Sheet No. 2 of 3 Sheets

MSA

MICAH D. SMITH, AIA  
 ARCHITECT, LIC. NO. C3179  
 SAN LUIS OBISPO, CA 95041  
 MICHAELSMITH-ARCH.COM  
 WWW.MSMITH-ARCH.COM

REVISION SCHEDULE	DATE	DESCRIPTION
DELTA		

TRACT MAP

RIO GORDO RV PARK

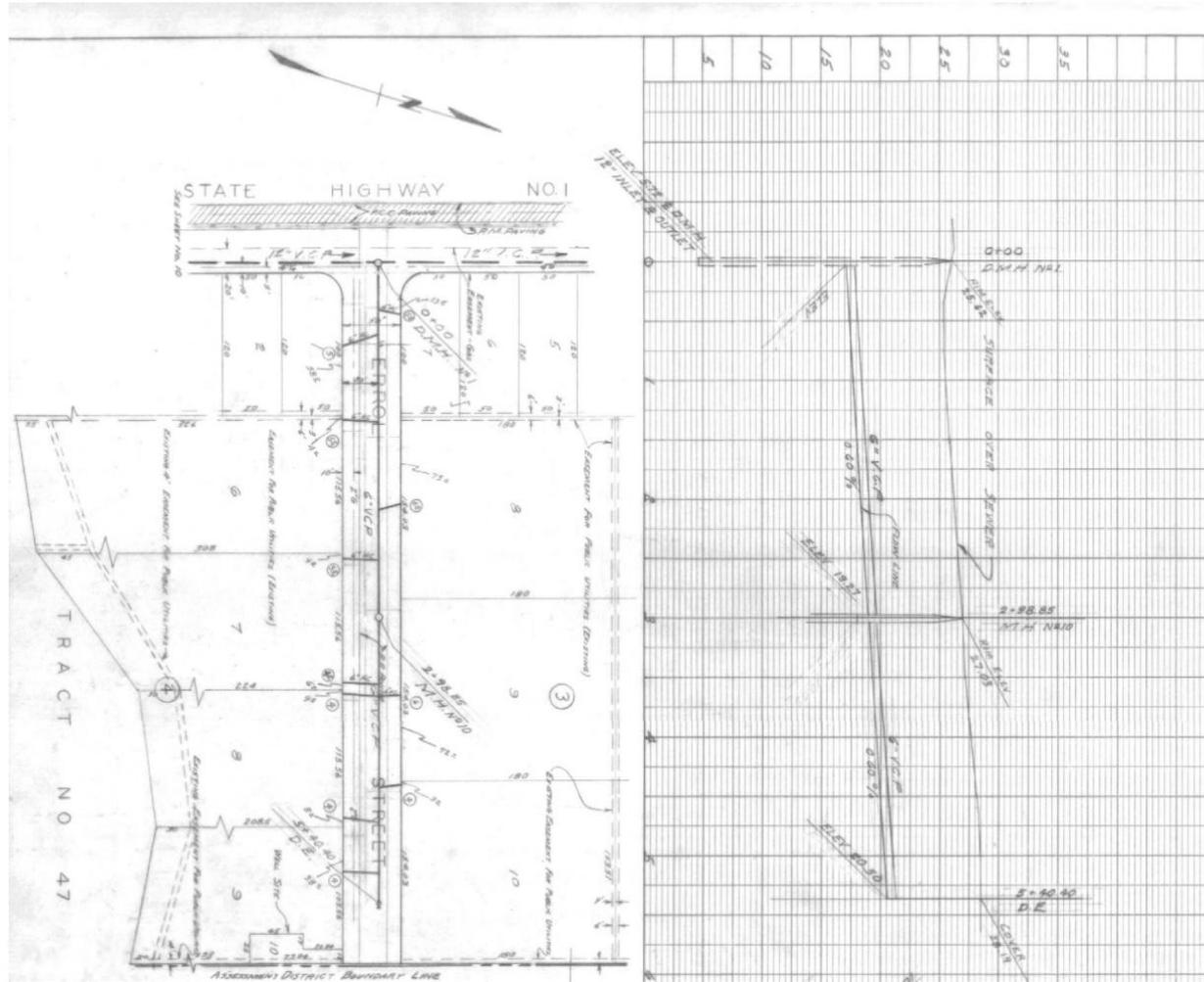
460 ERROL ST., MORRO BAY, CA 93442

24-004



T1.2

Scale:  
 Date: NOVEMBER 6, 2024



1 PUBLIC WORKS INFRASTRUCTURE - SANTARY SEWER  
12" = 1'-0"



2 PUBLIC WORKS INFRASTRUCTURE - WATER  
12" = 1'-0"

**MSA**  
MICAH D. SMITH, AIA  
ARCHITECT, LIC. NO. C3179  
San Jose, CA 95128  
MORRO, CA 94042  
MICAH@MSMITH-ARCH.COM  
WWW.MSMITH-ARCH.COM

REVISION	DATE	DESCRIPTION
DELTA		

AS-BUILTS PER CITY OF MORRO BAY

RIO GORDO RV PARK  
460 ERROL ST., MORRO BAY, CA 93442  
24-004



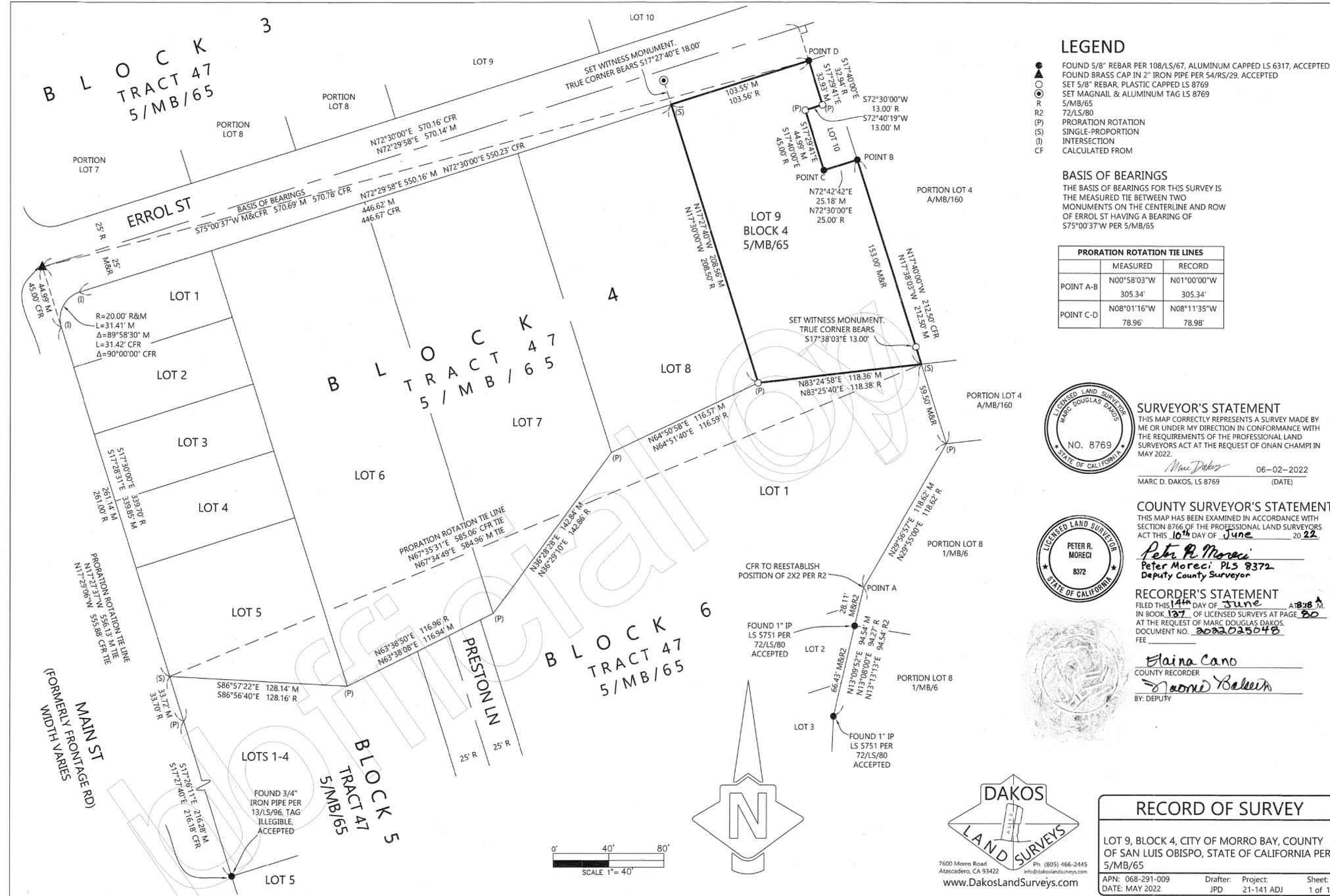
Sheet: **T1.3**

Scale: 12" = 1'-0"  
Date: NOVEMBER 6, 2024

PM  
6/10/2022

RS 21-231

80



MSA  
MICAH D. SMITH, AIA  
ARCHITECT, LIC. NO. C33179  
SAN LUIS OBISPO, CA 95401  
OO: 805-264-0022 MO: 805-264-7118  
WWW.MSMITH-ARCH.COM

REVISION SCHEDULE	DESCRIPTION
DELTA	DATE

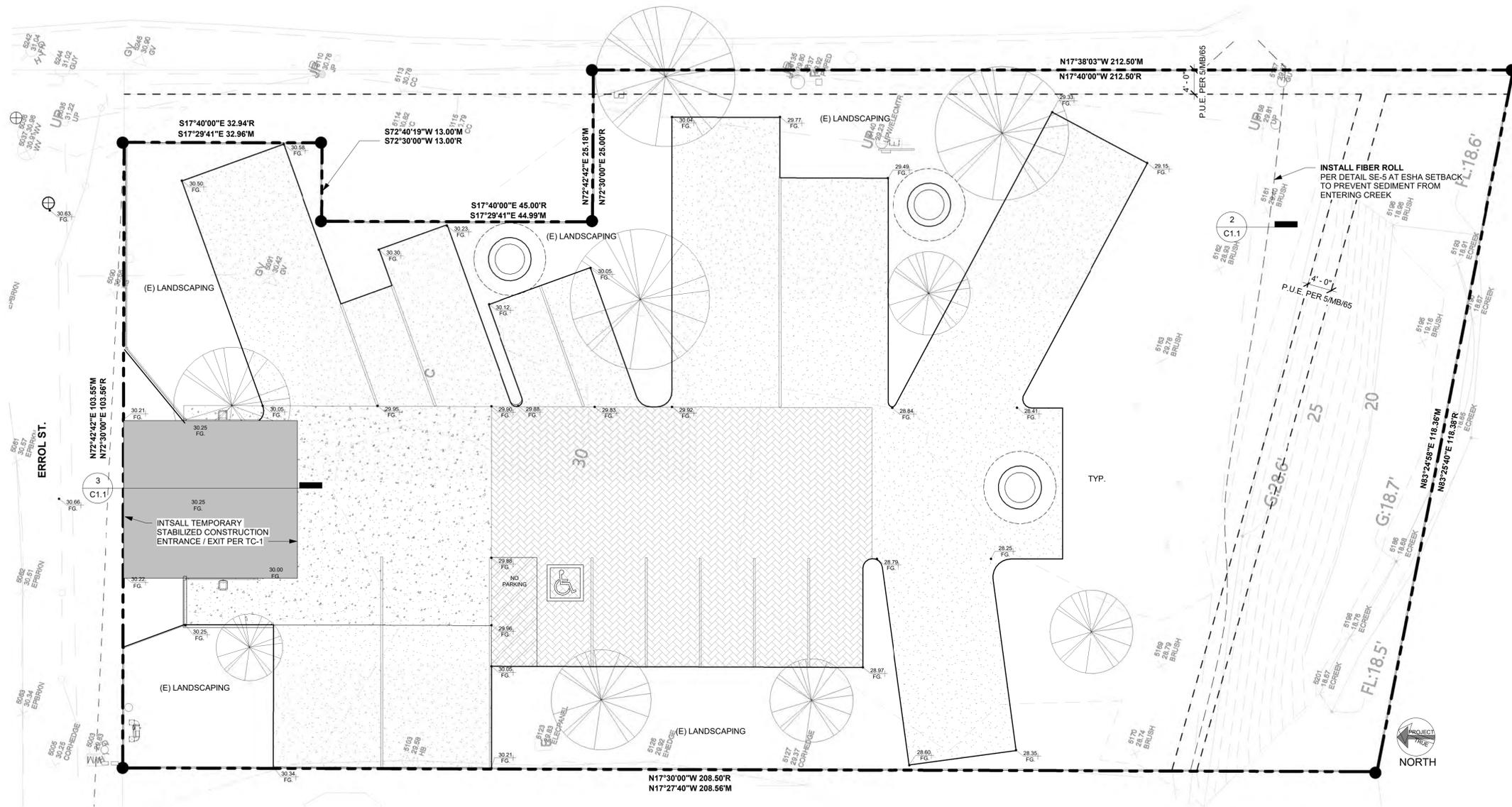
RECORD SURVEY

RIO GORDO RV PARK  
460 ERROL ST., MORRO BAY, CA 93442  
24-004

Sheet: RS-1  
Scale:  
Date: NOVEMBER 6, 2024

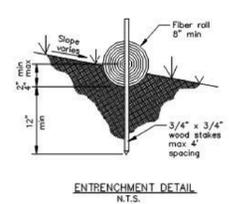
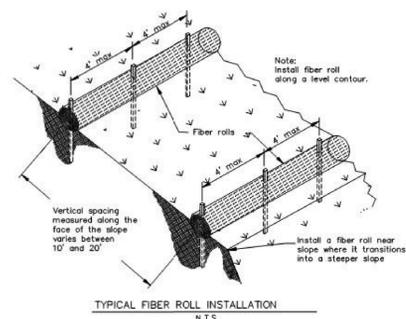
REFERENCE ONLY





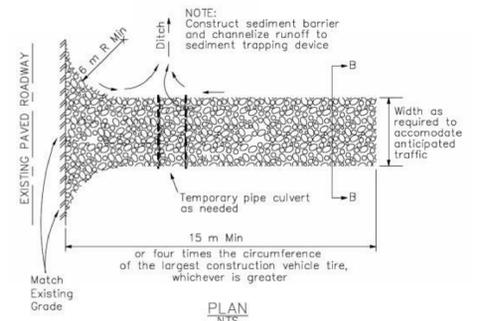
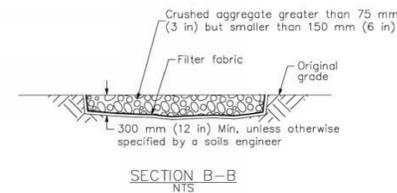
1 EROSION AND SEDIMENTATION CONTROL  
1" = 10'-0"

**Fiber Rolls SE-5**



2 MORRO BAY STANDARD EROSION - SE-5  
12" = 1'-0"

**Stabilized Construction Entrance/Exit TC-1**



3 MORRO BAY STANDARD EROSION - TC-1  
12" = 1'-0"

**PUBLIC WORKS NOTES**

- ANY DAMAGE, AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.
- IT IS THE RESPONSIBILITY OF THE DESIGNER AND CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS AND CONNECTIONS FOR THE PROJECT.
- NO WORK SHALL OCCUR WITHIN (OR USE OF) THE CITY'S RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMIT APPLICATIONS AND REQUIREMENTS ARE AVAILABLE ON THE CITY'S WEBSITE AT THE FOLLOWING LOCATION: [HTTPS://WWW.MORROBAY.CA.US/197/PUBLIC-WORKS](https://www.morrobay.ca.us/197/PUBLIC-WORKS).
- A STANDARD ENCROACHMENT PERMIT SHALL BE REQUIRED FOR THE PROPOSED DRIVEWAY; THE DRIVEWAY SHALL COMPLY WITH B-9 ( DRIVEWAY RAMPS: SIZE & LOCATION).
- A SEWER ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ANY REPAIRS OR INSTALLATION OF A SEWER LATERAL WITHIN THE CITY RIGHT-OF-WAY OR WITHIN A UTILITY EASEMENT.
- A WATER ENCROACHMENT PERMIT AND WATER METER APPLICATION SHALL BE REQUIRED FOR NEW WATER METER INSTALLATIONS WITHIN THE CITY RIGHT-OF-WAY.
- IF A CONSTRUCTION DUMPSTER IS USED, THE DUMPSTER LOCATION SHALL BE ON PRIVATE PROPERTY, UNLESS ALLOWED BY A TEMPORARY ENCROACHMENT PERMIT WITHIN THE CITY RIGHT-OF-WAY
- SPECIFY ON PROJECT DATA NOTES, UNDER THE SITE INFORMATION HEADING AN ADDITIONAL LINE THAT STATES "THIS SITE IS LOCATED IN THE CULTURAL RESOURCES PROTECTION (CRP) OVERLAY DISTRICT"
- WATER BACKFLOW PREVENTION DEVICE IS REQUIRED TO BE AN APPROVED DOMESTIC WATER BACKFLOW PREVENTION DEVICE. (MBMC 13.08.040)
- CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY CROSS-CONNECTION CONTROL PROGRAM TO CONFIRM PREVENTION DEVICE LOCATION AND COMPLETE TEST FORM. THE CONTRACTOR MUST PROVIDE THE CITY A COPY OF THE TEST RESULTS. (MBMC 13.08.040)
- ALL STORM WATER AND EROSION & SEDIMENT CONTROL INSPECTIONS TO BE PERFORMED BY THE PUBLIC WORKS DEPARTMENT INSPECTOR, MATT BISHOP AT (805) 772-6232

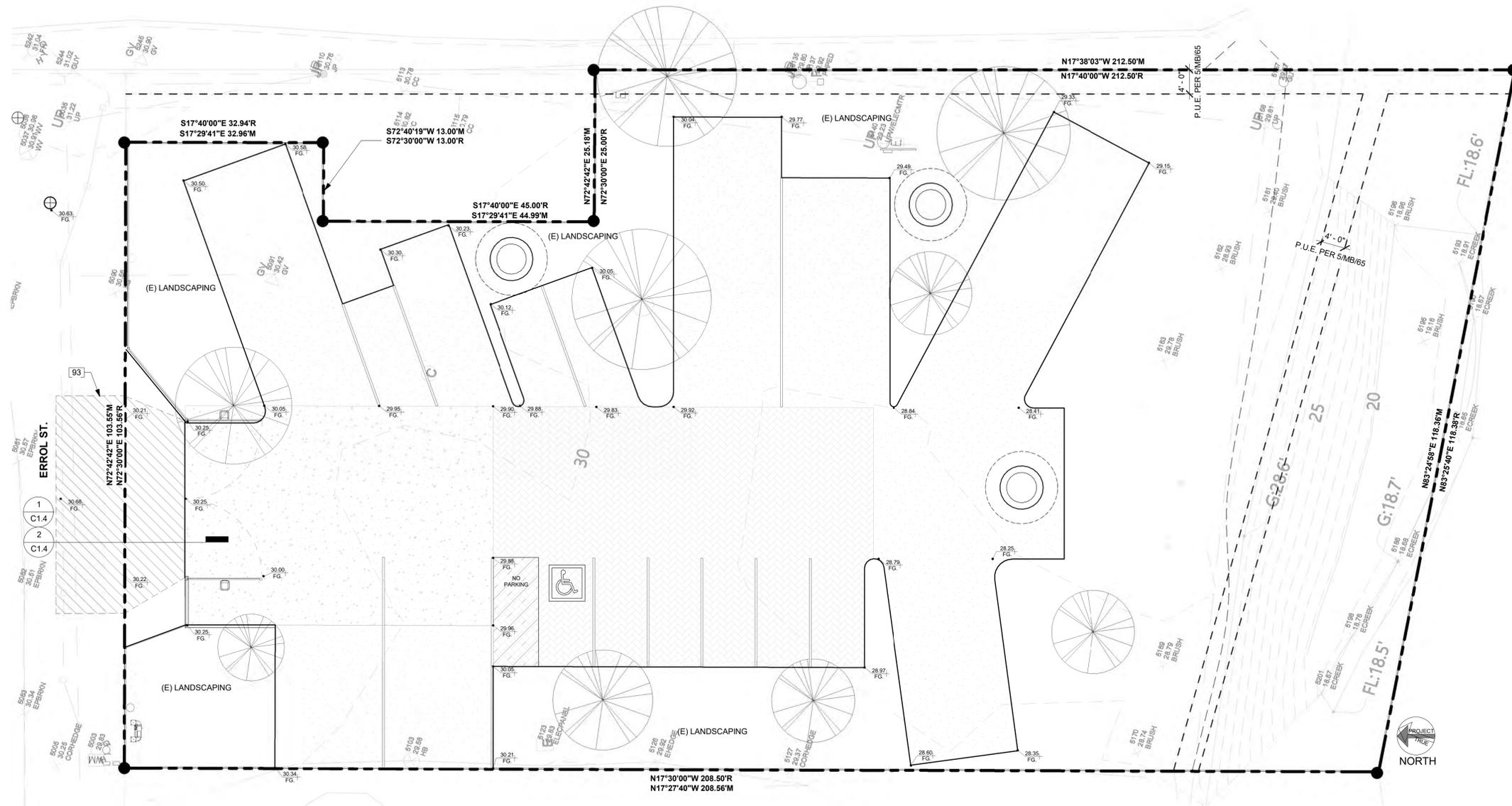
**MSA**  
MICAH D. SMITH, AIA  
ARCHITECT, LIC. NO. C3179  
San Luis Obispo, CA 94901  
MICHAELSMITH-ARCH.COM  
WWW.MSMITH-ARCH.COM

REVISION SCHEDULE	DATE	DESCRIPTION
DELTA		

**EROSION AND SEDIMENTATION CONTROL PLAN**

**RIO GORDO RV PARK**  
TENANT IMPROVEMENT @ GIFT SHOP & NEW PATIO SEATING  
460 ERROL ST., MORRO BAY, CA 93442  
24-004

Sheet: **C1.1**  
Scale: As indicated  
Date: NOVEMBER 6, 2024



**GENERAL NOTE - GRADING AND DRAINAGE:**

ALL IMPROVED SURFACES DRAIN TO ADJACENT LANDSCAPE AREAS OR EXISTING NATURAL WATER FLOWS.

**KEYNOTES**

93 PATCH & REPAIR (E) A.C. PAVING IN AREA INDICATED, CUT CLEAN LINE PER PLAN TO CENTERLINE OF ERROL STREET AND TIE IN NEW A.C. TO EXISTING A.C. AT CENTERLINE OF ERROL STREET PER CITY STANDARDS

REVISION SCHEDULE	
DELTA	DESCRIPTION

**ARCHITECTURAL GRADING AND DRAINAGE PLAN**

**RIO GORDO RV PARK**  
 TENANT IMPROVEMENT @ GIFT SHOP & NEW PATIO SEATING  
 460 ERROL ST., MORRO BAY, CA 93442

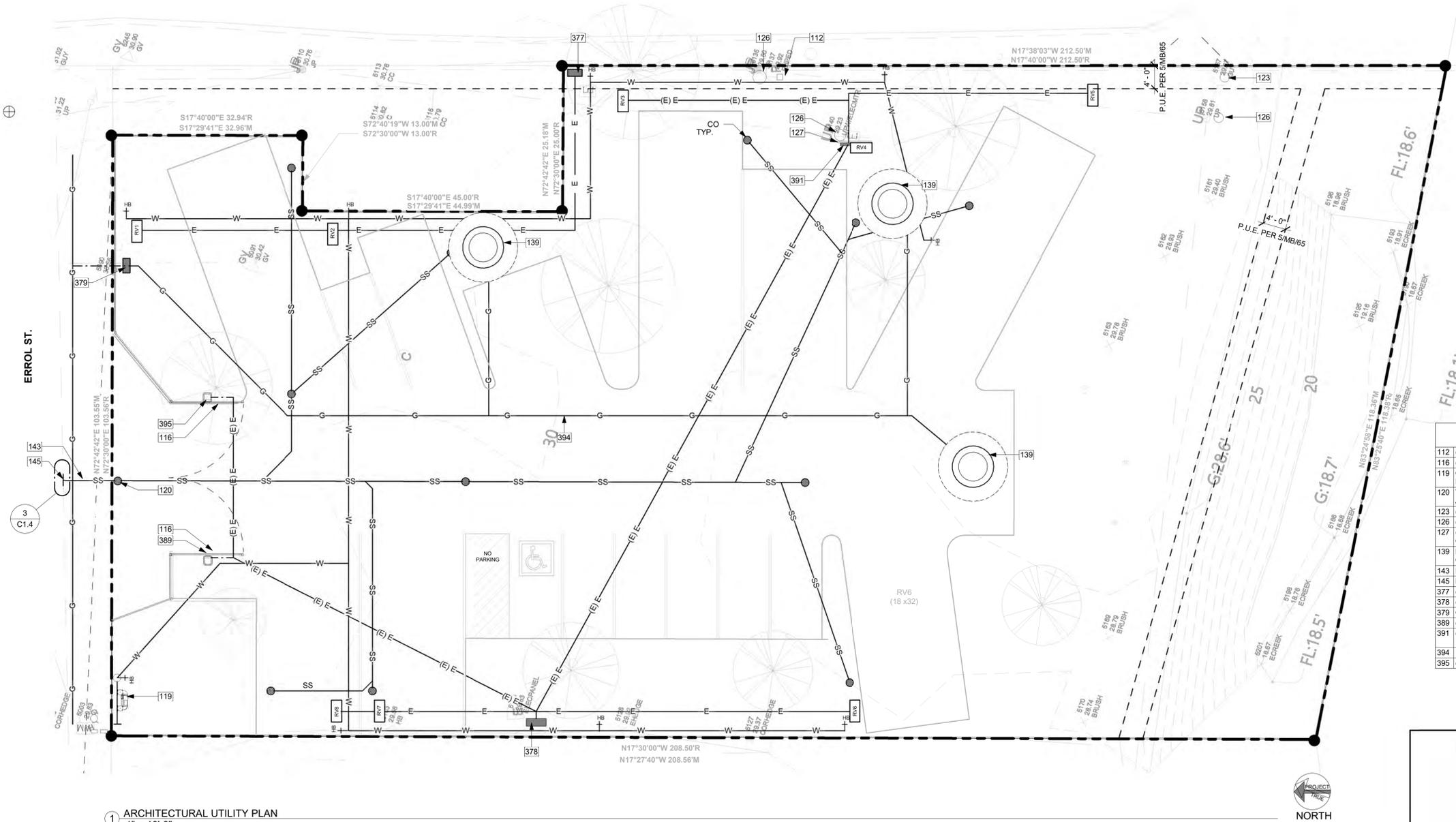


Sheet: **C1.2**

Scale: 1" = 10'-0"  
 Date: NOVEMBER 6, 2024

**MSA**  
 MICAH D. SMITH, AIA  
 ARCHITECT, LIC. NO. C3179  
 SAN LEAN, OREGON, CA 94041  
 PO BOX 240422 MORRO BAY, CA 93422  
 MICAH@MSA-ARCH.COM  
 WWW.MSA-ARCH.COM

24-004



**SITE LEGEND**

- (E) EXISTING
- (N) NEW
- [Symbol] UTILITY METER PER PLAN
- [Symbol] CATCH BASIN W/ GRATE
- OHW - OVERHEAD WIRE
- UGW - UNDERGROUND WIRE
- [Symbol] DRAIN PIPE OR FLOW LINE
- G - GAS SERVICE LINE
- SS - SANITARY SEWER LINE
- E - BURIED ELECTRICAL SERVICE LINE
- W - 1 1/4" SCH.40 PVC WATERLINE / MIN. 12" COVER
- (E) F - EXISTING FENCE ALONG PROPERTY LINE
- [Symbol] RV HOSE BIB 3/4" GALVANIZED RISER
- [Symbol] CLEANOUT / RV DUMP CONNECTIONS
- [Symbol] 50 AMP RV SERVICE OUTLET

**GENERAL NOTES**

- ALL DRAIN PIPE TO BE 4" ABS, 4" SDR 35, 4" SCH.40 PVC OR EQUAL.
- 12" MINIMUM COVER ALL SEWER PIPE.
- MAX CLEANOUT (CO) DISTANCE 100' MAIN, 40' BRANCH
- SEWER LINE HAS BEEN VERIFIED BY VIDEO TO THE STREET MAIN.

**KEYNOTES**

112	(E) AT&T 12"X12" STANDING DISTRIBUTION BOX, 36" HIGH TO REMAIN
116	(E) GATE TO REMAIN
119	CONNECT TO EXISTING 3/4" METERED SERVICE INSTALL NEW 1" BACKFLOW PREVENTION DEVICE PER CITY STANDARD WITH SEPARATE 1" MAIN SHUTOFF VALVE.
120	TIE IN TO (E) 4" ABS SEWER LATERAL 1' SOUTH OF FL. AT (E) DEPTH OF 4'-6" BELOW AVERAGE ASPHALT GRADE. MAKE APPROVED CONNECTION AT EXISTING ABS.
123	(E) PG&E GUY WIRE / ANCHOR TO REMAIN
126	(E) WOOD UTILITY POLE TO REMAIN
127	(E) 2X12 PRESSURE TREATED BACKBOARD, SUPPORTED BY 3" GALVANIZED POST IN CONC. PER PG&E STANDARD TO REMAIN
139	BAYVIEW NATURAL GAS FIRE PIT KIT, 120 KBTU, 24" H X 43" DIA. W/ 12" DIAMETER CRUSHED ROCK BASE 6" THK OVER 6" CLASS II A.B.
143	REPLACE CLAY PIPE FROM WYE CONNECTION TO PROPERTY LINE (MBMC 14.07.030)
145	LATERAL INVERT 26.16' @ 10' NORTH OF PROPERTY LINE
377	(N) 100 AMP ELECTRICAL SUBPANEL 2, SEE PANEL SCHEDULE FOR MORE INFORMATION
378	(N) 100 AMP ELECTRICAL SUBPANEL 3, SEE PANEL SCHEDULE FOR MORE INFORMATION
379	GAS METER - (E) TO REMAIN, INSTALL SHUT OFF VALVE ON CUSTOMER SIDE OF METER
389	(E) SECONDARY GATE OPERATOR FOR DOUBLE SWING GATE ENTRY TO REMAIN
391	(E) 200 AMP SINGLE PHASE METER TO REMAIN, SEE PANEL SCHEDULE FOR MORE INFORMATION
394	1" IPS MED DENSITY POLY GAS LINE SDR II MIN. COVER 18"
395	(E) PRIMARY GATE OPERATOR FOR DOUBLE SWING GATE ENTRY TO REMAIN

1 ARCHITECTURAL UTILITY PLAN  
1" = 10'-0"

**ELECTRICAL PANEL SCHEDULE**

**PANEL 1** - 200 AMP SINGLE PHASE 120/240 VAC METERED MAIN PANEL AND SWITCHBOARD TO REMAIN

FEEDS - 100 AMP 2 POLE TO EAST SUB PANEL  
100 AMP 2 POLE TO WEST SUB PANEL  
50 AMP 2 POLE TO EACH RV4, RV5  
20 AMP SINGLE POLE GFCI CONVENIENCE OUTLET  
20 AMP SINGLE POLE OUTDOOR LIGHTING CIRCUIT

VERIFY EXISTING GROUND ROD, CONNECTION AND POLE FOOTING FOR STORM DAMAGE

**PANEL 2** - EAST SUB PANEL - 100 AMP 120/240 VAC FED BY PANEL 1

VERIFY EXISTING 1 1/2" CONDUIT, 3 - #2 CU, AND 1 - #6 CU GROUND FROM PANEL 1

FEEDS - 50 AMP 2 POLE TO EACH RV1, RV2, RV3  
ONE 20 AMP SINGLE POLE GFCI CONVENIENCE OUTLET,  
ONE 20 AMP SINGLE POLE SPARE

**PANEL 3** - WEST SUB PANEL - 100 AMP 120/240 VAC FED BY PANEL 1

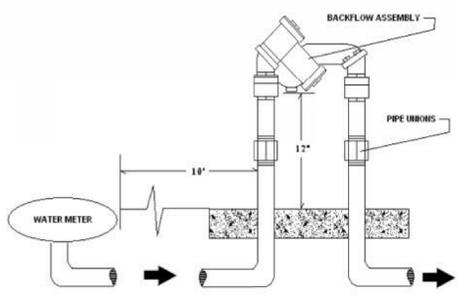
VERIFY EXISTING 1 1/2" CONDUIT, 3 - #2 CU, AND 1 - #6 CU GROUND FROM PANEL 1

FEEDS - 50 AMP 2 POLE TO EACH RV6, RV7, RV8,  
ONE 20 AMP SINGLE POLE GATE OPERATOR CIRCUIT 389 & 395  
ONE 20 AMP SINGLE POLE SECURITY / VIDEO MANAGEMENT  
ONE 20 AMP SINGLE POLE GFCI CONVENIENCE OUTLET,  
ONE 20 AMP SINGLE POLE SPARE

CONDUIT AND WIRE SCHEDULE:

RV 50 AMP SERVICE OUTLET: 3/4" SCH. 40 PVC, 3 - #6 CU, 1 - #8 CU GROUND  
20 AMP GFCI, GATE OPERATOR, LIGHTING: 1/2" PVC SCH. 40, 3 - #12 CU  
CONDUIT RISERS TO BE PVC SCH 80, PROTECTED EMT, OR RIGID METALLIC  
CONDUIT 24" MINIMUM COVER FOR ALL UNDERGROUND CONDUIT.

**General Installation Standard for a Reduced Pressure Principle Backflow Assembly**



**GENERAL NOTES:**

- A. Backflow prevention assemblies shall be located within 10 feet of the water meter. No connections or tees are allowed between the meter and the assembly.
- B. Unions shall be furnished for sizes 3/4 inch through 2 inch riser pipes.
- C. Riser pipes and fittings shall be made of copper, galvanized steel or brass. PVC pipe should not be installed above ground.
- D. The backflow prevention assembly shall not be closer than 12 inches to any wall, building, other backflow assembly, or any other obstacle that can interfere with testing of the assembly. The backflow assembly shall not be less than 12 inches above final grade.
- E. Acceptable backflow prevention assemblies shall have been evaluated by the Foundation for Cross Connection Control and Hydraulic Research, University of Southern California. Assemblies shall be installed in the horizontal orientation only, unless specifically evaluated and approved by the County Cross Connection Inspector.
- F. There may be additional installation requirements Check with your local water department or call (805) 781-5544.

**MSA**  
MICAH D. SMITH, AIA  
ARCHITECT, LIC. NO. C3179  
San Luis Obispo, CA 94901  
PO BOX 240422 KILBEARNE, CA 94924  
MICAH@MSA-ARCH.COM  
WWW.MSA-ARCH.COM

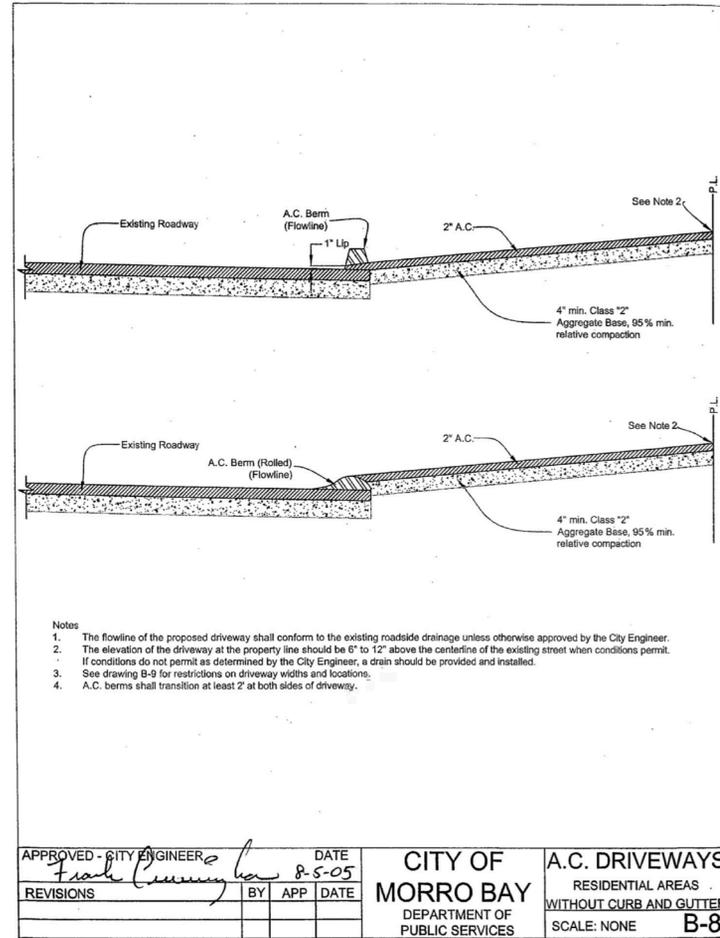
REVISION SCHEDULE	
DELTA	DESCRIPTION

ARCHITECTURAL UTILITY PLAN

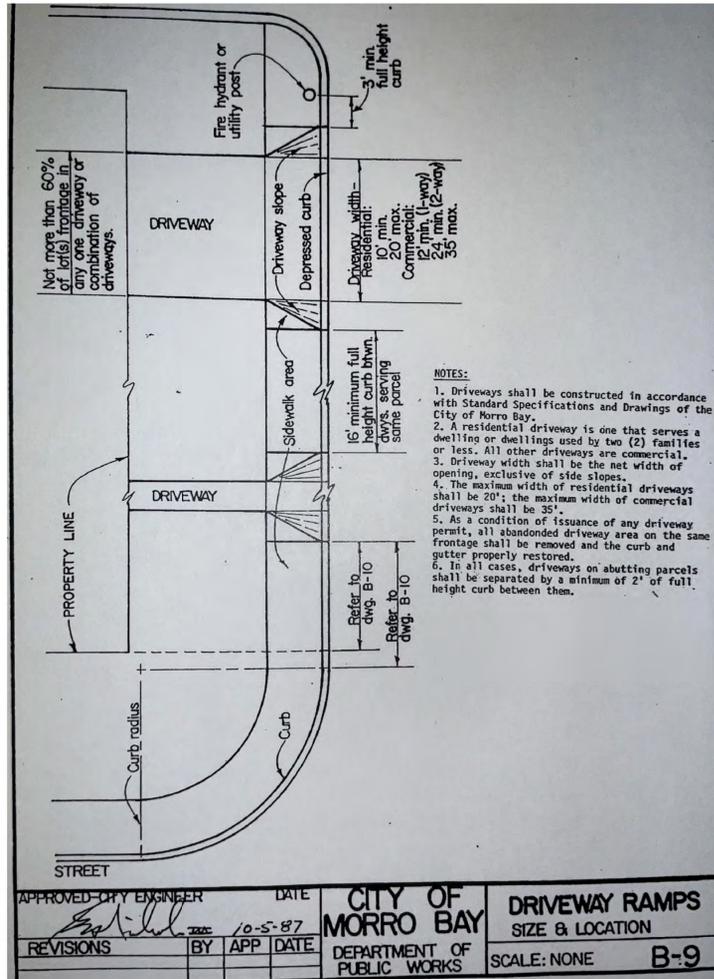
RIO GORDO RV PARK  
TENANT IMPROVEMENT @ GIFT SHOP & NEW PATIO SEATING  
460 ERROL ST., MORRO BAY, CA 93442

Sheet: **C1.3**

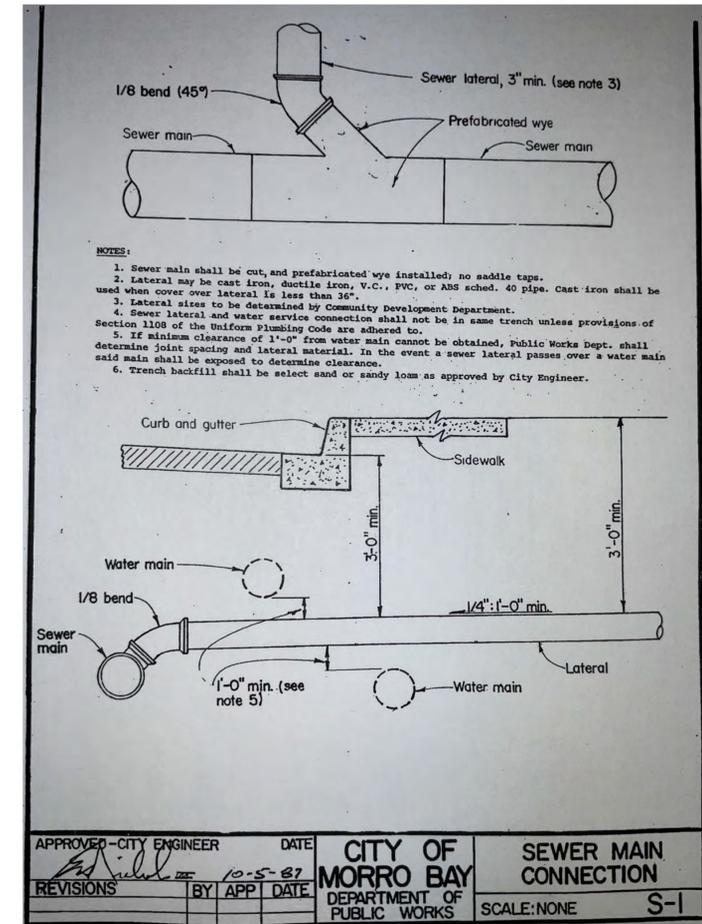
Scale: As indicated  
Date: NOVEMBER 6, 2024



① MORO BAY STANDARD - A.C. DRIVEWAYS  
12" = 1'-0"



② MORO BAY STANDARD - DRIVEWAY RAMPS  
12" = 1'-0"



③ MORO BAY STANDARD - SEWER MAIN CONNECTION  
3" = 1'-0"

**MSA**  
MICAH D. SMITH, AIA  
ARCHITECT, LIC. NO. C3179  
San Jose, CA 95128  
Tel: 408.242.4922  
Fax: 408.242.4922  
www.msmith-arch.com

REVISION SCHEDULE	
DELTA	DESCRIPTION

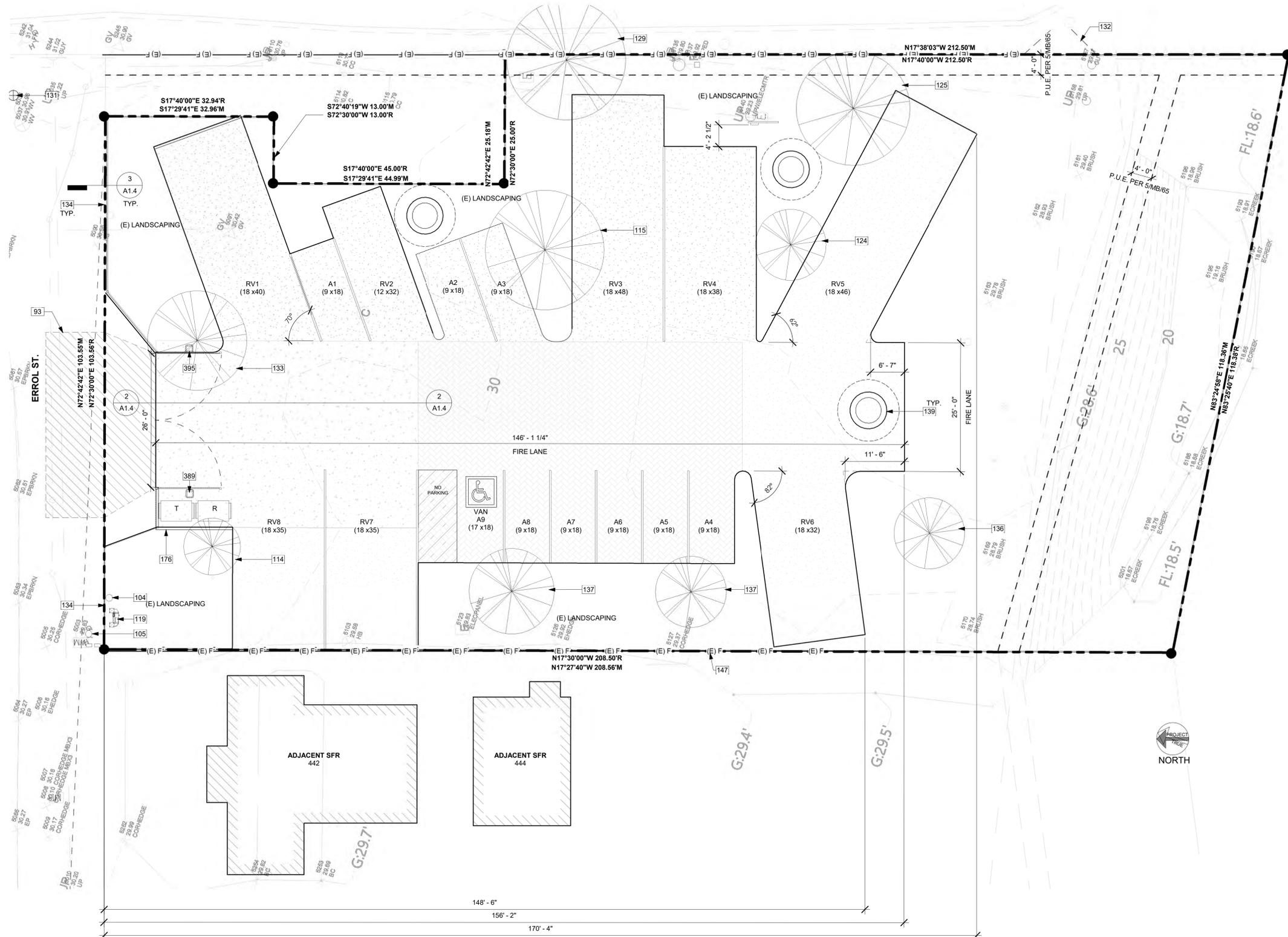
STANDARD DETAILS

RIO GORDO RV PARK  
460 ERROL ST., MORRO BAY, CA 93442  
24-004



Sheet: **C1.4**

Scale: As indicated  
Date: NOVEMBER 6, 2024



**SITE LEGEND**

- (E) EXISTING
- (N) NEW
- UTILITY METER PER PLAN
- CATCH BASIN W/ GRATE
- OHW - OVERHEAD WIRE
- UGW - UNDERGROUND WIRE
- D - DRAIN PIPE OR FLOW LINE
- G - GAS SERVICE LINE
- SS - SANITARY SEWER LINE
- E - BURIED ELECTRICAL SERVICE LINE
- W - 1 1/4" SCH.40 PVC WATERLINE / MIN. 12" COVER
- (E) F - EXISTING FENCE ALONG PROPERTY LINE
- RV HOSE BIB 3/4" GALVANIZED RISER
- CLEANOUT / RV DUMP CONNECTIONS
- RVX 50 AMP RV SERVICE OUTLET

**PARKING LEGEND**

- RVX = RV PARKING
- AX = AUTO PARKING

**KEYNOTES**

93	PATCH & REPAIR (E) A.C. PAVING IN AREA INDICATED, CUT CLEAN LINE PER PLAN TO CENTERLINE OF ERROL STREET AND TIE IN NEW A.C. TO EXISTING A.C. AT CENTERLINE OF ERROL STREET PER CITY STANDARDS
104	(E) 1" GATE VALVE FROM 3/4" METER TO REMAIN
105	(E) FIRE HYDRANT TO REMAIN
114	(E) SILK TREE TO REMAIN
115	(E) PINE TREE 28" DBH DIA. TO REMAIN
119	CONNECT TO EXISTING 3/4" METERED SERVICE INSTALL NEW 1" BACKFLOW PREVENTION DEVICE PER CITY STANDARD WITH SEPARATE 1" MAIN SHUTOFF VALVE.
124	(E) AVOCADO TREE 16" DBH DIA. TO REMAIN
125	(E) YELLOW PINE 30" DBH TO REMAIN
129	(E) TRI - STEM PINE / CROSSING PL. DBH 3X 20" TO REMAIN
131	MAN HOLE / SANITARY SEWER
132	EXISTING 14" WIDE DOUBLE SWING GATE FOR PG&E EASEMENT AND POLE ACCESS
133	(E) EUCALYPTUS 28" DBH TO REMAIN
134	(N) 6'-6" SLATTED CHAINLINK FENCE
136	(E) AVOCADO TREE TO REMAIN
137	(E) NEW ZEALAND CHRISTMAS TREE TO REMAIN
139	BAYVIEW NATURAL GAS FIRE PIT KIT, 120 KBTU, 24" H X 43" DIA. W/ 12" DIAMETER CRUSHED ROCK BASE 6" THK OVER 6" CLASS II A.B.
147	(E) 6'-6" PRIVACY FENCE WITH VEGETATION
176	(E) CONCRETE CURB
389	(E) SECONDARY GATE OPERATOR FOR DOUBLE SWING GATE ENTRY TO REMAIN
395	(E) PRIMARY GATE OPERATOR FOR DOUBLE SWING GATE ENTRY TO REMAIN

**MSA**  
 MICAH D. SMITH, AIA  
 ARCHITECT, LIC. NO. C3179  
 SAN. LIC. OTHER: CA 0001  
 2000 MORRO BAY, CA 93442  
 MICAH@MSA-ARCH.COM  
 WWW.MSA-ARCH.COM

REVISION SCHEDULE	
DELTA	DESCRIPTION

**PROPOSED SITE PLAN**

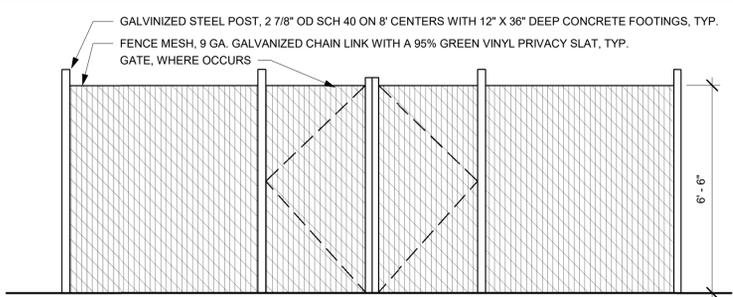
**RIO GORDO RV PARK**  
 TENANT IMPROVEMENT @ GIFT SHOP & NEW PATIO SEATING  
 460 ERROL ST., MORRO BAY, CA 93442  
 24-004

MICAH D. SMITH  
 33179  
 7/31/25  
 REN. DATE  
 STATE OF CALIFORNIA

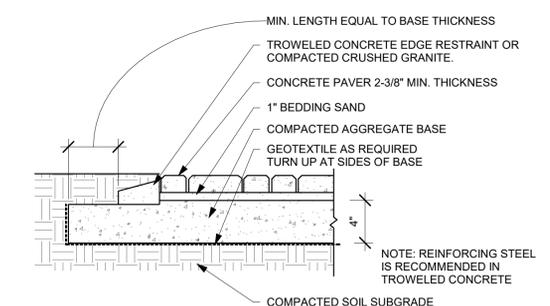
Sheet: **A1.4**

Scale: As indicated  
 Date: NOVEMBER 6, 2024

1 PROPOSED SITE PLAN  
 1" = 10'-0"

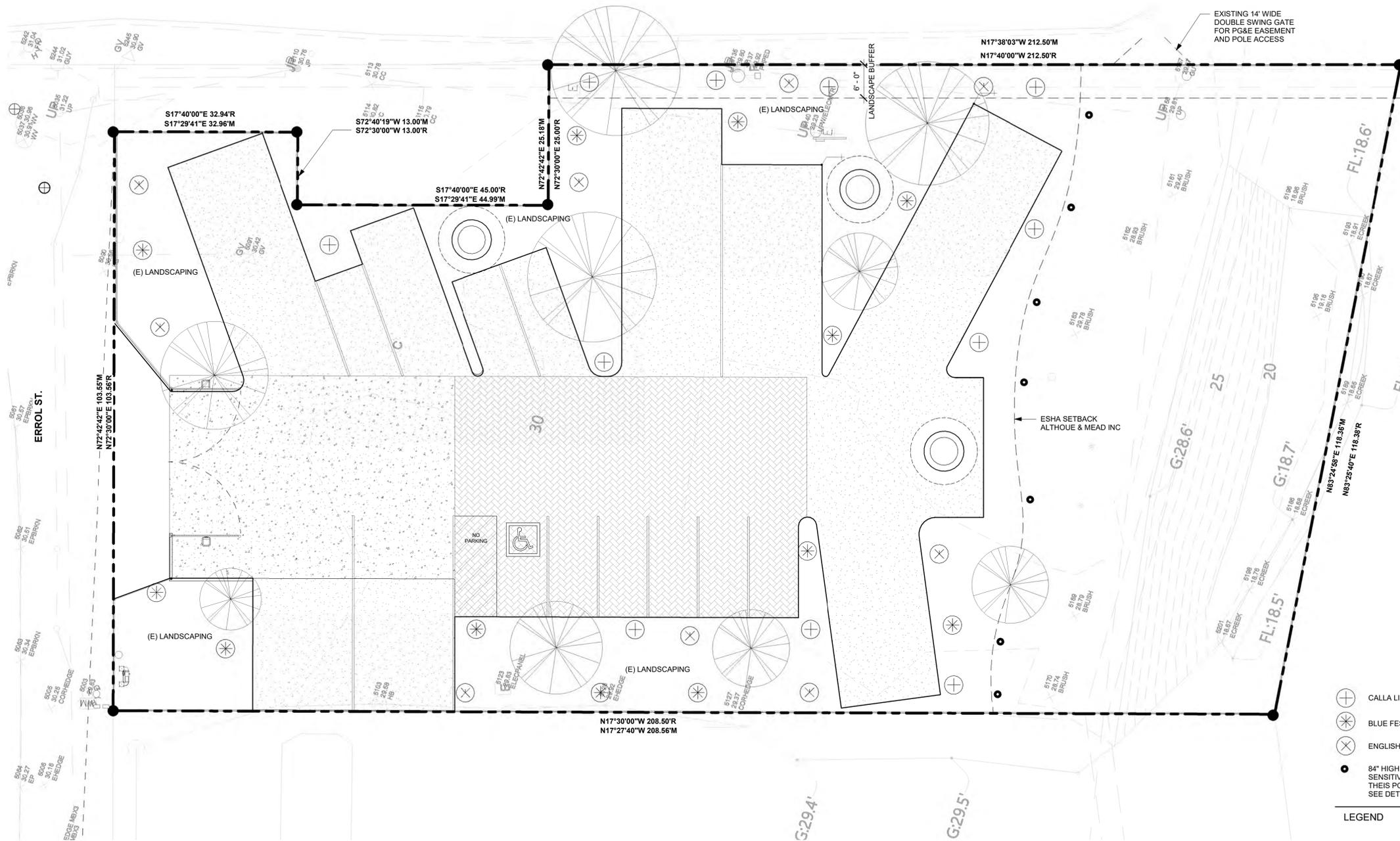


3 CHAIN LINK FENCE  
 3/8" = 1'-0"



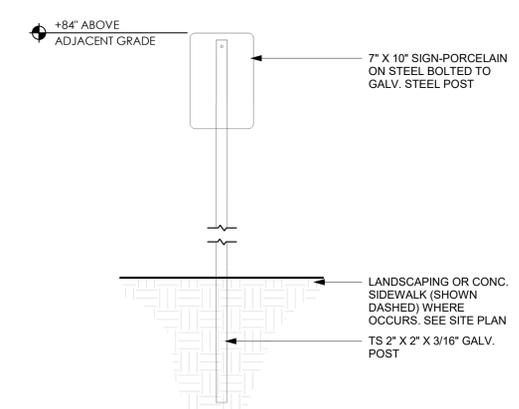
- NOTES:
- USE 5:1 (AGGREGATE: CEMENT) MIX FOR CONCRETE EDGE.
  - RECOMMENDED FOR NON-FREEZE THAW AREAS.
  - REINFORCING MAY BE REQUIRED IN EDGE RESTRAINT.
  - THICKNESS OF AGGREGATE BASE WILL VARY WITH SUBGRADE CONDITIONS AND CLIMATE. COLDER CLIMATES MAY REQUIRE THICKER BASES.

2 WALK / DRIVEWAY W/ TROWELED CONCRETE EDGE RESTRAINT OR COMPACTED CRUSHED GRANITE  
 1 1/2" = 1'-0"



1 LANDSCAPE PLAN  
1" = 10'-0"

- LEGEND
- CALLA LILY
  - BLUE FESCUE
  - ENGLISH LAVENDER
  - 84" HIGH SIGN "ENVIRONMENTALLY SENSITIVE HABITAT AREA, ENTRY BEYOND THIS POINT IS PROHIBITED" SEE DETAIL 2 BELOW



2 SIGNAGE WITH DRIVEN POST (NO FOOTING)  
3/4" = 1'-0"

**MSA**  
MICAH D. SMITH, AIA  
ARCHITECT, LIC. NO. C3179  
San Luis Obispo, CA 94901  
3100 MORRO BAY BLVD., SUITE 200  
MORRO BAY, CA 94032  
WWW.MSMITH-ARCH.COM

REVISION SCHEDULE	
DELTA	DESCRIPTION

LANDSCAPE / ESHA

RIO GORDO RV PARK  
460 ERROL ST., MORRO BAY, CA 93442  
24-004



Sheet: **L1.0**  
Scale: As indicated  
Date: NOVEMBER 6, 2024



1650 Ramada Drive, Suite 180, Paso Robles, CA 93446  
(805) 237-9626 • Fax (805) 237-9181 • www.althouseandmeade.com

December 1, 2023

2905.01

Onan Champi, President  
Nick Champi Enterprises  
615 North 10<sup>th</sup> Avenue  
Hanford, California 93230

Via email: onan@champifence.com

Re: Biological Letter Report for 460 Errol Street, City of Morro Bay, California  
APNs 068-291-009 and 068-291-010

Dear Mr. Champi:

This letter provides a habitat assessment for 460 Errol Street, Morro Bay, California, in coastal San Luis Obispo County, which includes Lots 9 and 10 (0.61-acre) of primarily undeveloped land, identified respectively as Assessor Parcel Numbers (APN) 068- 291- 009 and 068-291-010 (Property; Figure 1). Approximate center coordinates of the Property are 35.37926°N, 120.85273°W (WGS 84), within the Morro Bay North United States Geological Survey (USGS) 7.5-minute topographic quadrangle. The purpose of this report is to provide the City of Morro Bay (City) with baseline biological information regarding the Property and associated habitats to assist in the review of the proposed project and aid in the determination of appropriate setback limits for riparian habitat within and adjacent to the Property.

Proposed development is for a Recreation Vehicle (RV) park that would generate six new RV parking spots, while maintaining the natural surrounding riparian habitat and vegetation features. Other components include infrastructure improvements, including existing sewer line extension, expansion of existing electric utility hook-ups, and installation of both hardscape and permeable surfaces for RV access and site parking. A copy of an overall Site Plan is provided in Attachment A. References are provided as Attachment B.

#### *Project Description*

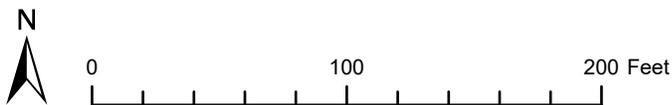
Lot 9 (0.58-acre) would be minimally contoured to develop a paved driveway perpendicular to Errol Street extending southward into the center of the Property. The driveway would serve the dual purpose of RV access to the site, as well as a fire lane for emergency services. Six RV parking spots are proposed radially from the paved driveway. The RV sites would be comprised of permeable interlocking pavers for each of the parking spaces. An existing sewer main and sewer lateral under Errol Street would be extended into the Property to allow hook-ups at each of the RV

Figure 1. Aerial Photograph



Legend

 Property (0.61 ac total), Lot 9 (0.58 ac) & Lot 10 (0.03 ac)



460 Errol Street, City of Morro Bay, California  
Map Center: 35.37926°N 120.85273°W

Imagery Source: ESRI World Imagery, 08/23/2021



Map Updated:  
November 30, 2023 09:21 AM by CDM

sites. City water service in the northwest corner of Lot 9 would be extended to each RV site, as well as electric hookups from the existing Pacific Gas and Electric (PG&E) meter at the western edge of the Property. All proposed development would take place outside the riparian canopy dripline. Lot 10 (0.03-acre) is located adjacent to Lot 9 and was included as part of the analysis of this report (Figure 1).

### *Methods*

Althouse and Meade, Inc. (A&M) biologist Diondra Jones conducted a biological survey on August 3, 2023, to assess existing conditions and determine biological resources present on the Property. An Environmentally Sensitive Habitat Area (ESHA) was delineated as defined under the City's General Plan and Local Coastal Program Land Use Plan (Plan; City 2021). Prior to the site visit, Ms. Jones conducted a search of the California Natural Diversity Database (CNDDDB 2023a, 2023b, 2023c) and the California Native Plant Society (CNPS 2023) On-line Inventory of Rare and Endangered Plants of California for special status species known to occur within the data search area (Atascadero, Cayucos, Cypress Mountain, Morro Bay South, San Luis Obispo, Templeton, and York Mountain). Other database searches included online museum/resources and herbarium specimen records for locality data within San Luis Obispo County as maintained by the Consortium of California Herbaria (CCH 2023). Data were compiled for sensitive plant and wildlife species and special status species lists produced by these database and literature searches are provided in Attachment C and Attachment D, respectively. General plant and wildlife species observed at the time of the survey were documented to identify any potential sensitive species or vegetation communities. All plant and wildlife species apparent at the time of the survey were recorded and are listed in Table 2 and the Wildlife Section of this letter report. Plant species that could not be readily identified in the field were collected and identified using a taxonomic key. Biological surveys were conducted on foot to compile species lists, search for special status plants and animals, map habitats, and to photograph the Property.

### *Existing Conditions*

The Property is in the northeast portion of the City, approximately 700 feet east of Highway 1, and 470 feet south of Highway 41/Atascadero Road. The Property is accessible from the eastern terminus of Errol Street, surrounded by the Estero Bay RV Park to the north, and Silver City RV Park/Mobile Home Resort to the east and west. The south portion of the Property is along a segment of Morro Creek that is dominated by dense riparian habitat along the north and south creek banks. The channel is deeply incised, approximately 10 to 15 feet below the top of bank (Photo 1); however, the central and northern portions of the Property is relatively flat in topography, between 27 and 32 feet above mean sea level and is mostly bare ground in the understory of mature ornamental trees located throughout (Photo 2). The Property is situated approximately 100 feet west of where Little Morro Creek meets with Morro Creek (Figure 1). Morro Creek continues offsite in a westerly direction and flows under Main Street/ Highway 1, continues west behind Lila Keiser Park, and travels under Embarcadero bridge, where it enters the Pacific Ocean at Morro Rock Beach.

An existing 4-foot-wide Public Utility Easement (PUE) and 1-foot-wide PG&E easement for an overhead powerline is located within the south portion of the Property (along Morro Creek's north bank) and along the eastern Property boundary. An electric box associated with a PG&E service meter is along the eastern fence line and provides power to two RV trailers parked during the time

of the biological survey in the northeast portion of the Property (Photo 3). A second electric utility box located in the northwest corner of the Property is connected to a 20-foot storage container via an underground open trench lined with (power) cables (Photo 4).



Photo 1. View of riparian habitat at south portion of Property facing southwest from the top of the north bank of Morro Creek, August 3, 2023.



Photo 2. View from Errol Street northern fence line looking south, August 3, 2023.



Photo 3. Picture taken of the northeast corner of Property, August 3, 2023.



Photo 4. Picture taken of the northwest corner of Property, August 3, 2023.

### *Property Background*

Over the years PG&E has had Property access to conduct emergency powerline repairs, pole repairs, guy wire adjustments, and vegetation clearance around PG&E property. Winter 2022- 2023 storms that struck San Luis Obispo County overwhelmed the Property and surrounding real estate with accumulated woody debris (Photos 5 and 6), sediment, and trash. Morro Creek north bank erosion exposed a PG&E wooden power pole. As a result, the exposed power pole and associated overhead powerline located in the south portion of the Property was realigned as depicted on the attached Site Plan (Attachment A).

On January 20, 2023, contractors with the City used the Property for access to debris fields on properties to the east and west, utilizing the Property along the north bank of Morro Creek for

stockpiling removed debris (Photo 7). Heavy equipment was tracked through the riparian habitat to transport stockpiled debris from the north bank to Errol Street for disposal (Photo 8). Additional rain in March 2023 further contributed to riparian habitat degradation, depositing more sediment and debris, from flooding throughout the riparian zone.



Photo 5. View at south portion of Property looking southwest, January 11, 2023.



Photo 6. View at southwest corner looking west, January 20, 2023.



Photo 7. City contractor cleaning debris field in southeast corner of Property, view northwest from southwest PG&E wooden pole. January 20, 2023.



Photo 8. Proposed access location used by City contractors to stockpile debris for removal. View south from Errol Street looking south, January 20, 2023.

### *Vegetation Communities and Botanical Resources*

Two habitat types were identified within the Property: riparian and disturbed land (Table 1). A total of 25 plant species were observed during the August 3, 2023 survey of the Property. Non-native/ornamental vegetation accounted for 76 percent of this total, while native vegetation accounted for 24 percent. All plant species observed during the survey are presented in Table 2.

**TABLE 1. HABITAT TYPES WITHIN PROPERTY**

Habitat	Total Area (Acres)
Riparian	0.15
Disturbed land	0.46
<b>TOTAL</b>	<b>0.61</b>

**Riparian** habitat is comprised of 0.15-acre within the south portion of the Property (Figure 2). This vegetation community is primarily characterized by its association with Morro Creek's bed and bank (Photo 1). Riparian habitat onsite consists largely of arroyo willows (*Salix lasiolepis*) and most closely conforms to **Arroyo Willow Thickets** (*Salix lasiolepis* Shrubland Alliance; Sawyer et al 2009). Arroyo willow thickets are described as dominated or co-dominated by arroyo willow with stands that are seasonally or intermittently flooded during winter. This habitat type has an 'apparently secure' global and state ranking of G4/S4. Although no formal jurisdictional waters or wetland delineation was performed for the Property, it is presumed that this segment of Morro Creek onsite is state (CDFW/RWQCB) waters and may also qualify as federal (USACE) waters of the U.S.

Beyond the Riparian habitat, is **Disturbed Land** (0.46-acre ), characterized by mature ornamental trees that occupy the canopy layer, with no shrub layer, and an exposed/ bare ground understory (Photo7). Disturbed land uses onsite consist mostly of bare ground or is sparsely vegetated with non-native forbs along the dirt edges. In general, the ornamental trees and dirt access are devoid of vegetation due to physical alteration from Property access, historic flooding, and PG&E vegetation maintenance. Mature ornamental trees are located throughout this habitat type with bare ground in the understory. Trees species noted were planted Monterey cypress (*Hesperocyparis macrocarpa*), red box eucalyptus (*Eucalyptus polyanthemos*), and crimson bottlebrush (*Melaleuca citrina*).



Photo 9. Disturbed land characterized by ornamental trees and bare ground. View at the northwest portion of Lot 9 facing south toward Morro Creek. View south. August 3, 2023.

**TABLE 2. VASCULAR PLANT LIST**

Scientific Name	Common Name	Special Status	Origin
<b>Trees – 9 Species</b>			
<i>Eucalyptus polyanthemos</i>	Red box eucalyptus	None	Introduced
<i>Hesperocyparis macrocarpa</i>	Monterey cypress	None	Introduced (planted)
<i>Melaleuca citrina</i>	Crimson bottlebrush	None	Introduced
<i>Metrosideros excelsa</i>	New Zealand Christmas tree	None	Introduced
<i>Paraserianthes lophantha</i>	Cape wattle	None	Introduced
<i>Persea americana</i>	Avocado	None	Introduced
<i>Pinus sp.</i>	Pine	None	Native
<i>Umbellularia californica</i>	California bay	None	Native
<i>Salix lasiolepis</i>	Arroyo willow	None	Native
<b>Shrubs – 3 Species</b>			
<i>Ricinus communis</i>	Castor bean	None	Introduced
<i>Rubus ursinus</i>	California blackberry	None	Native
<i>Toxicodendron diversilobum</i>	Poison oak	None	Native
<b>Forbs – 13 Species</b>			
<i>Anthemis cotula</i>	Mayweed	None	Introduced
<i>Clematis ligusticifolia</i>	Virgin's bower	None	Native
<i>Conium maculatum</i>	Poison hemlock	None	Introduced
<i>Delairea odorata</i>	German ivy	None	Introduced
<i>Foeniculum vulgare</i>	Fennel	None	Introduced
<i>Hirschfeldia incana</i>	Wild mustard	None	Introduced
<i>Malva parviflora</i>	Cheeseweed	None	Introduced
<i>Passiflora tarminiana</i>	Passionfruit	None	Introduced
<i>Raphanus sativus</i>	Wild radish	None	Introduced
<i>Silybum marianum</i>	Milk thistle	None	Introduced
<i>Solanum douglasii</i>	Nightshade	None	Native
<i>Tropaeolum majus</i>	Nasturtium	None	Introduced
<i>Vinca major</i>	Periwinkle	None	Introduced

### *Wildlife*

A total of 12 wildlife species were observed within the Property during the site survey. Species observed include two reptiles and two mammals: Western fence lizard (*Sceloporus occidentalis bocourtii*), side-blotched lizard (*Uta stansburiana*), Western grey squirrel (*Sciurus griseus*), and California ground squirrel (*Otospermophilus beecheyi*). Eight birds were noted onsite including killdeer (*Charadrius vociferous*), California scrub jay (*Aphelocoma californica*), American crow (*Corvus brachyrhynchos*), great blue heron (*Ardea herodias*), white-crowned sparrow (*Zonotrichia leucophrys*), house sparrow (*Passer domesticus*), and a gull (*Larus sp.*).

### *Environmentally Sensitive Habitat Area*

Pursuant to Coastal Act Section 30107.5 ESHA is defined by its association with *plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem, and which could be easily disturbed, degraded, or enhanced by human activities and developments*. As identified in the City's General Plan/LCP, Morro Creek and its associated riparian habitat mapped within the Property boundaries are considered ESHA (City 2021), approximately 25 percent, or 0.15-acre of the 0.61-acre Property (Figure 2).

Policy C-1.5(a) of the City's Plan states that development shall be setback from ESHA via buffers of at least 50 feet from the outer edge of the riparian vegetation, where such buffers shall be maintained in a natural condition (City 2021).

Policy C-1.6 states that permanent structures are not allowed within the setback except for structures of a minor nature.

### *Special Status Species Review*

No special status plant or animal species were detected on the Property during the August 3, 2023 biological survey. Due to surrounding development, past sedimentation and flooding, and subsequent clean-up activities it is unlikely for special status plants to occur within the development footprint, which is outside the confines of ESHA-designated riparian habitat. Although unlikely to occur within the development footprint, two special status wildlife species were reviewed more carefully due to their high level of sensitivity: California red-legged frog (*Rana draytonii*; CRLF), and steelhead trout (*Oncorhynchus mykiss*).

CRLF is a federally-listed threatened species known to occur within ponds, creeks, and river systems throughout Morro Bay and San Luis Obispo County, including upper reaches of Morro Creek near Cerro Alto peak. Although it has not been historically documented in the lower extent of Morro Creek, CRLF has been documented throughout Alva Paul Creek to the north and in the Willow Creek-Frontal Pacific Ocean watershed. The nearest documented occurrence is approximately 1.4 miles north of the Property. In May 2000, three individuals were observed in Alva Paul Creek on the north side of Del Mar Park. From October 2000 to May 2005, several observations were made of CRLF adults, juveniles, and egg masses where Alva Paul Creek outlets onto Morro Strand State Beach, immediately south of Morro Strand State Beach Campground and 1.5 miles northwest of the Property. Within the Morro Creek watershed, the only documented occurrences of CRLF were noted in the upper extents of Morro Creek near Cerro Alto Campground in Atascadero, over 6.8 miles upstream in the northwestern region of Los Padres National Forest. Although water is present for most of the year in Morro Creek and the riparian vegetation may provide adequate cover for CRLF, the areas adjacent to the Property lack deep pools preferred by

CRLF. No CRLF or other amphibians were observed in Morro Creek or elsewhere on the Property during the survey.

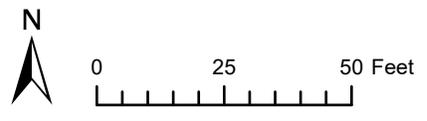
Steelhead trout is a federally-listed threatened species known to spawn in freshwater coastally adjacent riverine systems where juveniles spend the first several years of life before returning to a marine environment. After several years of growth in the ocean, mature steelhead return to their creeks and streams of origin to spawn, capable of spawning multiple times within their lifecycle. In Morro Creek, eight juvenile steelhead were documented in July 1997 and may still persist in low numbers within certain reaches of the creek. No steelhead were observed in Morro Creek at the time of the survey.

**Figure 2. ESHA Setback Map**



Legend

- Property (0.61 ac)
- Proposed Development (0.21 ac)
- Riparian ESHA (0.15 ac)
- Disturbed Land (0.46 ac)
- 50-foot ESHA Setback
- Setback from top of bank
- Morro Creek Top of Bank



**460 Errol Street, City of Morro Bay, California**  
 Map Center: 35.37926°N 120.85273°W

Imagery Source: ESRI World Imagery, 08/23/2021

### *Potential Project Impacts*

As shown in Figure 2 the proposed development would avoid direct impacts to ESHA-designated riparian habitat. Impacts to disturbed land is not considered significant, except where those habitat impacts affect other sensitive biological resources such as nesting birds. Although ESHA-designated riparian habitat is not directly proposed for impact, approximately two proposed RV parking spots would be located within the 50-foot riparian setback. There are no permanent vertical structures proposed in this development plan, and all permanent features, such as permeable pavers, water and sewer hookups are minor in nature, consistent with Policy C-1.6, which states:

*No permanent structures shall be permitted within the setback area except for the minimum amount of fencing required for security and habitat protection purposes or structures of a minor nature such as fences or at grade improvements for pedestrian or equestrian trails. Allow for passive recreational and educational uses, including trails, maintenance of existing utilities, as well as construction of roads, bridges, and culverts in wetland areas in the event alternative routes cannot avoid wetlands or would be more damaging. Development adjacent to streams and riparian areas should be sited to retain the stream and riparian habitat.*

In addition, the proposed RV parking spots are located approximately 24.5 feet from the top of bank and are separated topographically from a vegetated steep slope that is 10 to 15 feet deep. The distance from the top of bank and topographical disconnect would help minimize indirect impact to ESHA-designated riparian habitat, consistent with bullet 1 of Policy C-1.6(a):

*(a) Where possible, buffers should be as follows:*

- As far from the wetland riparian area, or stream top of banks as feasible, provided other resources are not negatively impacted, with consideration for the site terrain features that would minimize impacts.*

The site is zoned for Commercial Service/Industrial and is surrounded by existing RV and mobile home land uses. If the City requires a setback adjustment, Figure 2 shows the proposed development as over 10 feet (at approximately 24.5 feet) from the top of bank, where Policy C- 1.6(b) and/or (e) applies:

*(b) The buffer may be reduced per determination of City staff for sites on which the linear distance is not met but the proposed project is separated from ESHA by topography ...*

*(e) Where the setbacks cannot be met due to lot size or shape, setback adjustments would be allowed (to within 10 feet of wetland or top of bank) if*

- Site is unusable for the principal purpose if the set ack is not reduced.*
- Reduction is the minimum necessary that allows the use after all practical design modifications are evaluated.*

### *Recommendations*

Based on a conceptual site plan, impacts to disturbed land are not considered significant. Proposed permanent impacts within the 50-foot riparian setback are minor, consisting of permeable pavers and water/sewer hookups for approximately two RV parking spots.

Consistent with the allowances in Policy C-1.6, a permanent fence (such as a three- wire strand or split rail) with permanent signs that read: “Environmentally Sensitive Habitat Area, Entry Beyond this Point is Prohibited” is recommended along the outside boundary of the riparian habitat to protect ESHA and to provide an extra layer of safety.

Sincerely,



Valerie Mattos  
Senior Biologist/ Project Manager

*List of Attachments*

Attachment A. Site Plan

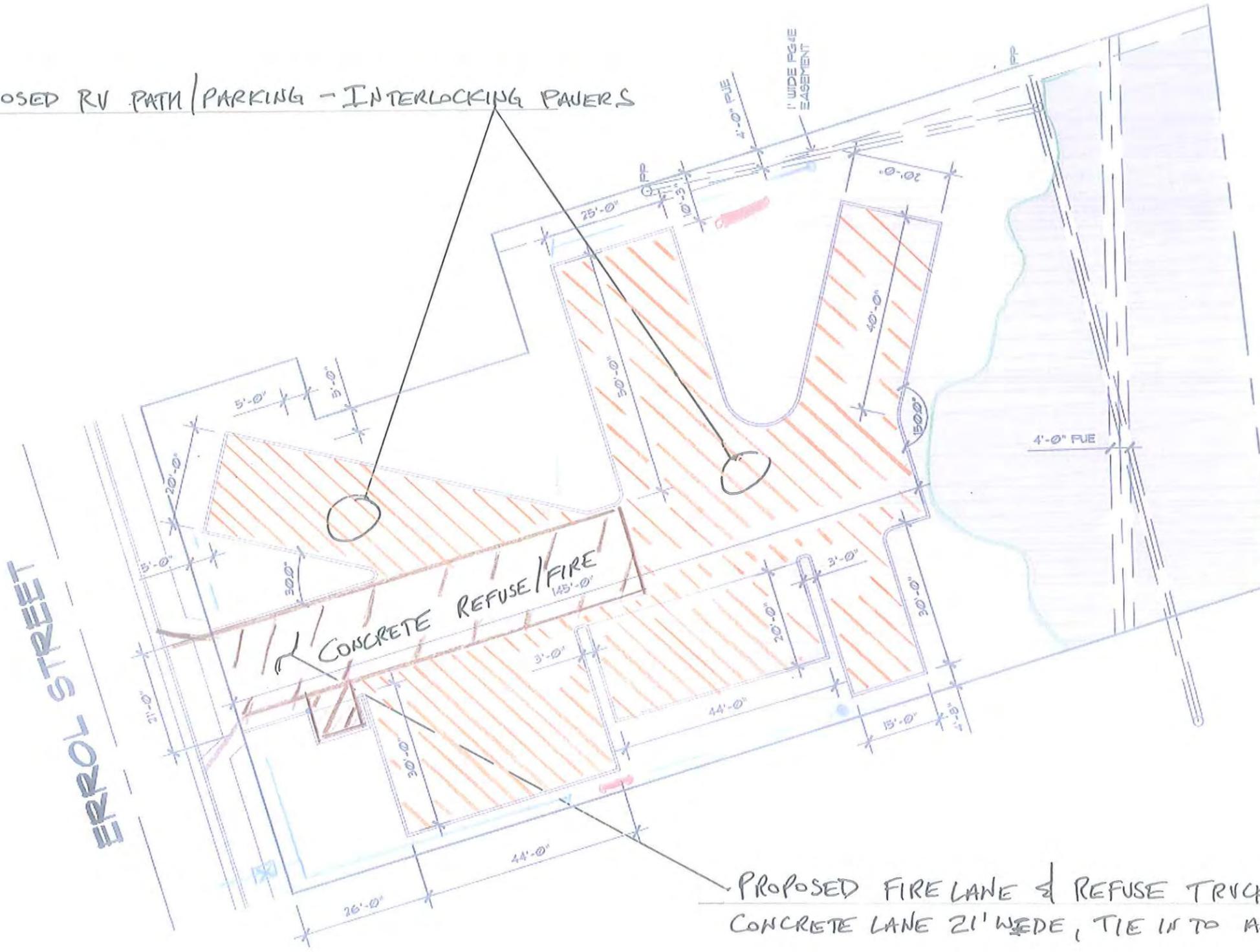
Attachment B. References

Attachment C. Special Status Plants Reported from the Region

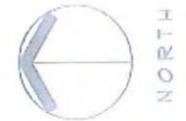
Attachment D. Special Status Animals Reported from the Region

**ATTACHMENT A. SITE PLAN**

PROPOSED RV PATH/PARKING - INTERLOCKING PAVERS



PROPOSED FIRE LANE & REFUSE TRUCK PATH  
CONCRETE LANE 21' WIDE, TIE IN TO ASPHALT AT STREET.



SITE PLAN

SCALE : 1" = 20'-0"



**ATTACHMENT B. REFERENCES**

- [CNPS] California Native Plant Society. 2023. Inventory of Rare and Endangered Plants of California. Edition, v9-01 0.0. [August 2, 2023] <https://www.rareplants.cnps.org>.
- [CNDDDB] California Natural Diversity Database. 2023a. RareFind 5. Sacramento (CA): California Department of Fish and Wildlife. [accessed August 2, 2023] <https://map.dfg.ca.gov/rarefind/view/RareFind.aspx>
- [CNDDDB] California Natural Diversity Database. 2023b. Special vascular plants, bryophytes, and lichens list. Sacramento (CA): California Department of Fish and Wildlife. [October 2023] <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=109383&inline>
- [CNDDDB] California Natural Diversity Database. 2023c. Special animals list. Sacramento (CA): California Department of Fish and Wildlife. [October 2023] <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=109406&inline>
- [City] City of Morro Bay. 2021. Plan Morro Bay (General Plan and Local Coastal Plan). Prepared with the Support of California Ocean Protection Council and California Coastal Commission. May 2021.
- [CCH] Consortium of California Herbaria [Internet] 2023. Berkeley (CA): Regents of the University of California; [accessed August 2, 2023]. Available from <http://ucjeps.berkeley.edu/consortium/>.
- Holland VL, Keil DJ. 1995. California vegetation. Dubuque (IA): Kendall/Hunt Publishing Co.
- Jepson Flora Project (eds.). 2023. Jepson eFlora. [accessed 2023 August 11]. <http://ucjeps.berkeley.edu/eflora/>.
- Sawyer J, Keeler-Wolf T, Evens J. 2009. A manual of California vegetation. 2nd ed. Sacramento (CA): California Native Plant Society Press 1300p.

**APPENDIX C. SPECIAL STATUS PLANTS REPORTED FROM THE REGION**

	Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
1.	<i>Abronia maritima</i>	Red Sand-Verbena	-/ G4/S3? 4.2	Feb-Nov	Coastal dunes. <100 m.
2.	<i>Agrostis hooveri</i>	Hoover's Bent Grass	-/ G2/S2 1B.2	Apr-Jul	Sandy sites within chaparral, cismontane woodland, coniferous forest, valley and foothill grassland.
3.	<i>Amsinckia douglasiana</i>	Douglas' Fiddleneck	-/ G4/S4 4.2	Mar-May	Valley and foothill grassland. Dry habitats with unstable shaly sedimentary slopes. 150-1600 m.
4.	<i>Arctostaphylos cruzensis</i>	Arroyo De La Cruz Manzanita	-/ G1G2/S1S2 1B.2	Dec-Mar	Sandy bluffs, maritime chaparral, coastal prairie
5.	<i>Arctostaphylos luciana</i>	Santa Lucia Manzanita	-/ G2/S2 1B.2	Dec-Mar	Chaparral. On shale outcrops, slopes, near coast. 100-800m
6.	<i>Arctostaphylos morroensis</i>	Morro Manzanita	FT/ G1/S1 1B.1	Dec-Mar	Stabilized sand dunes, sandstones, chaparral

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
7. <i>Arctostaphylos obispoensis</i>	Bishop Manzanita	-/ G3/S3 4.3	Feb-Jun	Chaparral, open closed-cone forest near coast. Rocky, generally serpentine soils. 60-950m.
8. <i>Arctostaphylos osoensis</i>	Oso Manzanita	-/ G1/S1 1B.2	Feb-Mar	Dacite (volcanic) outcrops, chaparral
9. <i>Arctostaphylos pechoensis</i>	Pecho Manzanita	-/ G2/S2 1B.2	Nov-Mar	Chaparral, conifer forest. Shale outcrops. <500 m.
10. <i>Arctostaphylos pilosula</i>	Santa Margarita Manzanita	-/ G2?/S2? 1B.2	Dec-May	Chaparral. Shale outcrops, slopes. 30-1250 m.
11. <i>Arctostaphylos tomentosa</i> <i>subsp. daciticola</i>	Dacite Manzanita	-/ G4T1/S1 1B.1	Mar-May	Chaparral
12. <i>Arctostaphylos tomentosa</i> <i>subsp. daciticola</i>	Dacite Manzanita	-/ G4T1/S1 1B.1	Mar-May	Chaparral
13. <i>Arenaria paludicola</i>	Marsh Sandwort	FE/CE G1/S1 1B.1	May-Aug	Wet meadows, marshes, swamps. Sandy soils <300 m.

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
14. <i>Aspidotis carlotta-halliae</i>	Carlotta Hall's Lace Fern	-/ G3/S3 4.2	Jan-Dec	Generally serpentine slopes, crevices, outcrops
15. <i>Astragalus didymocarpus</i> <i>var. milesianus</i>	Miles' Milk-Vetch	-/ G5T2/S2 1B.2	Mar-Jun	Coastal scrub and grassy areas near coast. Clay soils. <400 m.
16. <i>Astragalus macrodon</i>	Salinas Milk-Vetch	-/ G4/S4 4.3	Apr-Jul	Eroded pale shales or sandstone, serpentine alluvium
17. <i>Astragalus nuttallii</i> <i>var. nuttallii</i>	Ocean Bluff Milk-Vetch	-/ G4T4/S4 4.2	Jan-Nov	Coastal bluffs, dunes. Sandy soils. <250 m.
18. <i>Atriplex coulteri</i>	Coulter's Saltbush	-/ G3/S1S2 1B.2	Mar-Oct	Alkaline or clay soils, open sites, scrub, coastal bluff scrub
19. <i>Bryoria spiralifera</i>	Twisted Horsehair Lichen	-/ G3/S1S2 1B.1		Usually on conifers
20. <i>Calochortus clavatus</i> <i>var. clavatus</i>	Club-Haired Mariposa Lily	-/ G4T3/S3 4.3	Mar-Jun	Generally serpentine

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
21. <i>Calochortus clavatus</i> var. <i>recurvifolius</i>	Arroyo De La Cruz Mariposa Lily	-/ G4T1/S1 1B.2	Jun-Jul	Rocky slopes
22. <i>Calochortus obispoensis</i>	San Luis Mariposa Lily	-/ G2/S2 1B.2	May-Jul	Open chaparral, cismontane woodland, coastal scrub, grasslands. Dry serpentine substrates. 100-500 m.
23. <i>Calochortus simulans</i>	La Panza Mariposa Lily	-/ G2/S2 1B.3	Apr-Jun	Valley and foothill grassland, coniferous woodland, chaparral. Decomposed granitic sand, sometimes serpentine. <1100 m.
24. <i>Calycadenia villosa</i>	Dwarf Calycadenia	-/ G3/S3 1B.1	May-Oct	Dry, rocky hills, ridges, grassland, openings in foothill woodland
25. <i>Calystegia subacaulis</i> subsp. <i>episcopalis</i>	Cambria Morning-Glory	-/ G3T2?/S2? 4.2	Mar-Jul	Dry woodland, open scrub. Usually clay soil. <500 m.
26. <i>Calystegia subacaulis</i> subsp. <i>episcopalis</i>	Cambria Morning-Glory	-/ G3T2?/S2? 4.2	Mar-Jul	Dry woodland, open scrub. Usually clay soil. <500 m.
27. <i>Camissoniopsis hardhamiae</i>	Hardham's Evening- Primrose	-/ G2/S2 1B.2	Mar-May	Sandy soil, limestone, disturbed oak woodland

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
28. <i>Carex obispoensis</i>	San Luis Obispo Sedge	-/ G3?/S3? 1B.2	Apr-Jun	Seeps and springs within chaparral, coniferous forest, coastal scrub, grassland. Usually in transition zone on sand, clay, serpentine, or gabbro. <800 m.
29. <i>Castilleja densiflora</i> var. <i>obispoensis</i>	San Luis Obispo Owl's-Clover	-/ G5T2/S2 1B.2	Mar-May	Coastal grassland. Often serpentine soil. <400 m.
30. <i>Caulanthus lemmonii</i>	Lemmon's Jewelflower	-/ G3/S3 1B.2	Feb-May	Grassland, chaparral, scrub
31. <i>Ceanothus cuneatus</i> var. <i>fascicularis</i>	Lompoc Ceanothus	-/ G5T4/S4 4.2	Feb-Apr	Coastal chaparral. Sandy substrates. <275 m.
32. <i>Ceanothus thyrsiflorus</i> var. <i>obispoensis</i>	San Luis Obispo Ceanothus	-/ G5T1/S1 1B.1	Jun	Dacite
33. <i>Centromadia parryi</i> subsp. <i>congdonii</i>	Congdon's Tarplant	-/ G3T1T2/S1S2 1B.1	May-Nov	Grassland, disturbed sites. Terraces, swales, floodplains, Alkaline, heavy clay soil <300 m.
34. <i>Centromadia parryi</i> subsp. <i>congdonii</i>	Congdon's Tarplant	-/ G3T1T2/S1S2 1B.1	May-Nov	Grassland, disturbed sites. Terraces, swales, floodplains, Alkaline, heavy clay soil <300 m.

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
35. <i>Cercocarpus betuloides</i> var. <i>blancheae</i>	Island Mountain-Mahogany	-/ G5T4/S4 4.3	Feb-May	Chaparral
36. <i>Chenopodium littoreum</i>	Coastal Goosefoot	-/ G1/S1 1B.2	Apr-Aug	Coastal dunes. Sandy soils. <40 m.
37. <i>Chlorogalum pomeridianum</i> var. <i>minus</i>	Dwarf Soaproot	-/ G5T3/S3 1B.2	May-Aug	Serpentine outcrops in chaparral
38. <i>Chloropyron maritimum</i> subsp. <i>maritimum</i>	Salt Marsh Bird's-Beak	FE/CE G4?T1/S1 1B.2	May-Nov	Coastal salt marsh
39. <i>Chloropyron maritimum</i> subsp. <i>palustre</i>	Point Reyes Bird's-Beak	-/ G4?T2/S2 1B.2	Jun-Oct	Coastal salt marsh
40. <i>Chorizanthe aphanantha</i>	Irish Hills Spineflower	-/ G1/S1 1B.1	May-Aug	Chaparral, coastal scrub. Rocky serpentine sites and barren areas. Known from Irish Hills Natural Reserve. 100-370 m.
41. <i>Chorizanthe aphanantha</i>	Irish Hills Spineflower	-/ G1/S1 1B.1	Apr-Jun	Openings in serpentinite. Only known to Irish Hills Preserve

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
42. <i>Chorizanthe breweri</i>	Brewer's Spineflower	-/ G3/S3 1B.3	Apr-Aug	Chaparral, cismontane woodland, coastal scrub. Rocky serpentine sites; barren areas. 60-800 m.
43. <i>Chorizanthe douglasii</i>	Douglas' Spineflower	-/ G4/S4 4.3	Apr-Jul	Cismontane woodland, lower montane coniferous forest, chaparral, coastal scrub, valley and foothill grassland; in sand or gravel.
44. <i>Chorizanthe leptotheca</i>	Peninsular Spineflower	-/ G3/S3 4.2	May-Aug	Sand or gravel
45. <i>Chorizanthe palmeri</i>	Palmer's Spineflower	-/ G4/S4 4.2	Apr-Aug	Chaparral, cismontane woodland, grassland. Clay soils, generally in areas of serpentine or partially serpentinized igneous rock. 60-700 m.
46. <i>Chorizanthe rectispina</i>	Straight-Awned Spineflower	-/ G2/S2 1B.3	Apr-Jul	Chaparral, cismontane woodland, coastal scrub. In sand or disintegrating shale, often on granite. 200-600 m.
47. <i>Chorizanthe ventricosa</i>	Potbellied Spineflower	-/ G3/S3 4.3	May-Sep	Serpentine
48. <i>Cirsium fontinale</i> var. <i>obispoense</i>	San Luis Obispo Fountain Thistle	FE/CE G2T2/S2 1B.2	Feb-Sep	Serpentine seeps and streams

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
49. <i>Cirsium occidentale</i> var. <i>compactum</i>	Compact Cobwebby Thistle	-/ G3G4T2/S2 1B.2	Apr-Jun	Bluffs
50. <i>Cirsium occidentale</i> var. <i>lucianum</i>	Cuesta Ridge Thistle	-/ G3G4T2/S2 1B.2	Apr-Jun	Chaparral, woodland or forest openings, often on serpentine
51. <i>Cirsium rhotophilum</i>	Surf Thistle	-/CT G1/S1 1B.2	Apr-Jun	Dunes, bluffs
52. <i>Cirsium scariosum</i> var. <i>loncholepis</i>	La Graciosa Thistle	FE/CT G5T1/S1 1B.1	May-Aug	Marshes, dune wetlands
53. <i>Cladonia firma</i>	Popcorn Lichen	-/ G4/S1 2B.1		On soil, detritus, and/or moss
54. <i>Clarkia speciosa</i> subsp. <i>immaculata</i>	Pismo Clarkia	FE/CR G4T1/S1 1B.1	May-Jul	Sandy coastal hills
55. <i>Clarkia speciosa</i> subsp. <i>immaculata</i>	Pismo Clarkia	FE/CR G4T1/S1 1B.1	May-Jul	Sandy coastal hills

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
56. <i>Clinopodium mimuloides</i>	Monkey-Flower Savory	-/ G3/S3 4.2	Jun-Oct	Moist places, streambanks, chaparral, woodland
57. <i>Deinandra paniculata</i>	Paniculate Tarplant	-/ G4/S4 4.2	Mar-Dec	Grassland, open chaparral and woodland, disturbed areas, often in sandy soils
58. <i>Delphinium parryi subsp. blochmaniae</i>	Dune Larkspur	-/ G4T2/S2 1B.2	Apr-Jun	Coastal chaparral, sand
59. <i>Delphinium parryi subsp. blochmaniae</i>	Dune Larkspur	-/ G4T2/S2 1B.2	Apr-Jun	Coastal chaparral, sand
60. <i>Delphinium parryi subsp. eastwoodiae</i>	Eastwood?S Larkspur	-/ G4T2/S2 1B.2	Feb-Mar	Uncommon. Coastal chaparral, grassland, on serpentine
61. <i>Delphinium parryi subsp. eastwoodiae</i>	Eastwood?S Larkspur	-/ G4T2/S2 1B.2	Feb-Mar	Uncommon. Coastal chaparral, grassland, on serpentine
62. <i>Delphinium umbraculorum</i>	Umbrella Larkspur	-/ G3/S3 1B.3	Apr-Jun	Moist oak forest

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
63. <i>Dithyrea maritima</i>	Beach Spectaclepod	-/CT G1/S1 1B.1	Mar-May	Seashores, coastal sand dunes
64. <i>Dudleya abramsii subsp. bettinae</i>	Betty's Dudleya	-/ G4T2/S2 1B.2	May-Jul	Rocky outcrops in serpentine grassland
65. <i>Dudleya abramsii subsp. bettinae</i>	Betty's Dudleya	-/ G4T2/S2 1B.2	May-Jul	Rocky outcrops in serpentine grassland
66. <i>Dudleya abramsii subsp. murina</i>	Mouse-Gray Dudleya	-/ G4T2/S2 1B.3	May-Jun	Serpentine outcrops
67. <i>Dudleya abramsii subsp. murina</i>	Mouse-Gray Dudleya	-/ G4T2/S2 1B.3	May-Jun	Serpentine outcrops
68. <i>Dudleya blochmaniae subsp. blochmaniae</i>	Blochman's Dudleya	-/ G3T2/S2 1B.1	Apr-Jun	Open, rocky slopes, often serpentine or clay-dominated
69. <i>Dudleya blochmaniae subsp. blochmaniae</i>	Blochman's Dudleya	-/ G3T2/S2 1B.1	Apr-Jun	Open, rocky slopes, often serpentine or clay-dominated

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
70. <i>Eriastrum luteum</i>	Yellow-Flowered Eriastrum	-/ G2/S2 1B.2	May-Jun	Bare sandy decomposed granite slopes in cismontane woodland, chaparral, forest
71. <i>Erigeron blochmaniae</i>	Blochman's Leafy Daisy	-/ G2/S2 1B.2	Jun-Aug	Sand dunes and hills
72. <i>Eriodictyon altissimum</i>	Indian Knob Mountainbalm	FE/CE G1/S1 1B.1	Mar-Jun	Sandstone ridges, chaparral
73. <i>Eryngium aristulatum</i> var. <i>hooveri</i>	Hoover's Button-Celery	-/ G5T1/S1 1B.1	Jun-Aug	Vernal pools, seasonal wetlands, occasionally alkaline
74. <i>Erysimum suffrutescens</i>	Suffrutescent Wallflower	-/ G3/S3 4.2	Jan-Aug	Stabilized coastal sand dunes, coastal scrub
75. <i>Erythranthe serpentinicola</i>				
76. <i>Extriplex joaquinana</i>	San Joaquin Spearscale	-/ G2/S2 1B.2	Apr-Oct	Alkaline soils

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
77. <i>Fritillaria agrestis</i>	Stinkbells	-/ G3/S3 4.2	Mar-Jun	Clay, often vertic, occasionally serpentine
78. <i>Fritillaria ojaiensis</i>	Ojai Fritillary	-/ G3/S3 1B.2	Feb-May	Rocky slopes, river basins
79. <i>Fritillaria viridea</i>	San Benito Fritillary	-/ G2/S2 1B.2	Mar-May	Shrub understory, serpentine
80. <i>Galium hardhamiae</i>	Hardham's Bedstraw	-/ G3/S3 1B.3	Apr-Oct	Serpentine soil with Sargent cypress
81. <i>Horkelia cuneata</i> var. <i>puberula</i>	Mesa Horkelia	-/ G4T1/S1 1B.1	Feb-Sep	Dry, sandy, coastal chaparral and oak woodland
82. <i>Horkelia cuneata</i> var. <i>sericea</i>	Kellogg's Horkelia	-/ G4T1?/S1? 1B.1	Apr-Sep	Old dunes, coastal sandhills
83. <i>Horkelia yadonii</i>	Santa Lucia Horkelia	-/ G3/S3 4.2	Apr-Jul	Sandy meadow edges, seasonal streambeds in chaparral or foothill- pine woodland

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
84. <i>Juncus luciensis</i>	Santa Lucia Dwarf Rush	-/ G3/S3 1B.2	Apr-Jul	Wet, sandy soils of seeps, meadows, vernal pools, streams, roadsides
85. <i>Lasthenia californica</i> <i>subsp. macrantha</i>	Perennial Goldfields	-/ G3T2/S2 1B.2	Jan-Nov	Grassland, dunes along immediate coast
86. <i>Lasthenia californica</i> <i>subsp. macrantha</i>	Perennial Goldfields	-/ G3T2/S2 1B.2	Jan-Nov	Grassland, dunes along immediate coast
87. <i>Lasthenia glabrata subsp.</i> <i>coulteri</i>	Coulter's Goldfields	-/ G4T2/S2 1B.1	Feb-Jun	Saline places, vernal pools
88. <i>Lasthenia glabrata subsp.</i> <i>coulteri</i>	Coulter's Goldfields	-/ G4T2/S2 1B.1	Feb-Jun	Saline places, vernal pools
89. <i>Layia jonesii</i>	Jones' Layia	-/ G2/S2 1B.2	Mar-May	Open serpentine or clayey slopes
90. <i>Lomatium parvifolium</i>	Small-Leaved Lomatium	-/ G4/S4 4.2	Jan-Jun	Pine woodland, serpentine outcrops

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
91. <i>Malacothamnus jonesii</i>	Jones' Bush-Mallow	-/ G4/S4 4.3	Mar-Oct	Open chaparral in foothill woodland
92. <i>Malacothamnus palmeri</i> <i>var. involucratus</i>	Carmel Valley Bush-Mallow	-/ G3T2Q/S2 1B.2	Apr-Oct	Valleys, chaparral
93. <i>Malacothamnus palmeri</i> <i>var. palmeri</i>	Santa Lucia Bush-Mallow	-/ G3T2Q/S2 1B.2	May-Jul	Interior valleys foothills
94. <i>Meconella oregana</i>	Oregon Meconella	-/ G2G3/S2 1B.1	Mar-Apr	Shaded canyons
95. <i>Monardella palmeri</i>	Palmer's Monardella	-/ G2/S2 1B.2	Jun-Aug	Chaparral, forest, on serpentine
96. <i>Monardella sinuata subsp.</i> <i>sinuata</i>	Southern Curly-Leaved Monardella	-/ G3T2/S2 1B.2	Apr-Sep	Sandy soils, coastal strand, dune and sagebrush scrub, coastal chaparral and oak woodland
97. <i>Monardella sinuata subsp.</i> <i>sinuata</i>	Southern Curly-Leaved Monardella	-/ G3T2/S2 1B.2	Apr-Sep	Sandy soils, coastal strand, dune and sagebrush scrub, coastal chaparral and oak woodland

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
98. <i>Monardella undulata</i> subsp. <i>undulata</i>	San Luis Obispo Monardella	-/ G2/S2 1B.2	May-Sep	Stabilized dunes, coastal scrub, stabilized sandy soils
99. <i>Monolopia gracilens</i>	Woodland Woollythreads	-/ G3/S3 1B.2	Feb-Jul	Serpentine grassland, open chaparral, oak woodland
100. <i>Muhlenbergia utilis</i>	Aparejo grass	-/ G4/S2S3 2B.2	Mar-Aug	Chaparral, Cismontane woodland, Coastal scrub, Marshes and swamps, Meadows and seeps
101. <i>Navarretia nigelliformis</i> subsp. <i>radians</i>	Shining Navarretia	-/ G4T2/S2 1B.2	Mar-Jul	Grassland and cismontane woodland. Often on clay and alkaline sites, sometimes vernal pools. 65-1,000 m.
102. <i>Navarretia nigelliformis</i> subsp. <i>radians</i>	Shining Navarretia	-/ G4T2/S2 1B.2	Mar-Jul	Grassland and cismontane woodland. Often on clay and alkaline sites, sometimes vernal pools. 65-1,000 m.
103. <i>Nemacaulis denudata</i> var. <i>denudata</i>	Coast Woolly-Heads	-/ G3G4T2/S2 1B.2	Apr-Sep	Beaches
104. <i>Piperia leptopetala</i>	Narrow-Petaled Rein Orchid	-/ G4/S4 4.3	May-Jul	Generally dry sites, scrub, woodland

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
105. <i>Plagiobothrys uncinatus</i>	Hooked Popcornflower	-/ G2/S2 1B.2	Apr-May	Chaparral, canyon sides, rocky outcrops, +- fire follower
106. <i>Poa diaboli</i>	Diablo Canyon Blue Grass	-/ G2/S2 1B.2	Mar-Apr	Thin soils on Edna shale slopes, upper coastal scrub, live-oak woodland, Bishop-pine forest, near coast
107. <i>Sanicula hoffmannii</i>	Hoffmann's Sanicle	-/ G3/S3 4.3	Mar-May	Shrubby coastal hills, pine woodland
108. <i>Sanicula maritima</i>	Adobe Sanicle	-/CR G2/S2 1B.1	Feb-May	Coastal, grassy, open wet meadows, ravines
109. <i>Senecio aphanactis</i>	Chaparral Ragwort	-/ G3/S2 2B.2	Jan-May	Alkaline flats, dry open rocky areas
110. <i>Senecio astephanus</i>	San Gabriel Ragwort	-/ G3/S3 4.3	May-Jul	Steep rocky slopes in chaparral/coastal-sage scrub and oak woodland
111. <i>Serpentine Bunchgrass</i>				

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
112. <i>Sidalcea hickmanii</i> subsp. <i>anomala</i>	Cuesta Pass Checkerbloom	-/CR G3T1/S1 1B.2	May-Jun	Closed-cone-conifer forest, generally serpentine
113. <i>Sidalcea hickmanii</i> subsp. <i>anomala</i>	Cuesta Pass Checkerbloom	-/CR G3T1/S1 1B.2	May-Jun	Closed-cone-conifer forest, generally serpentine
114. <i>Streptanthus albidus</i> subsp. <i>peramoenus</i>	Most Beautiful Jewelflower	-/ G2T2/S2 1B.2	Mar-Oct	serpentine
115. <i>Streptanthus albidus</i> subsp. <i>peramoenus</i>	Most Beautiful Jewelflower	-/ G2T2/S2 1B.2	Mar-Oct	serpentine
116. <i>Suaeda californica</i>	California Seablite	FE/ G1/S1 1B.1	Jul-Oct	Margins of coastal salt marshes
117. <i>Sulcaria isidiifera</i>	Splitting Yarn Lichen	-/ G1/S1 1B.1		On branches of oaks and shrubs
118. <i>Sulcaria spiralifera</i>				

Scientific Name	Common Name	Federal/State Status Global/State Rank CA Rare Plant Rank	Blooming Period	Habitat Preference
119. <i>Trifolium hydrophilum</i>	Saline Clover	-/ G2/S2 1B.2	Apr-Jun	Salt marshes, open areas in alkaline soils
120. <i>Triteleia ixioides subsp. cookii</i>	Cook's Triteleia	-/ G5T2T3/S2S3 1B.3	May-Jun	Streamsides, wet ravines on serpentine, often near cypresses
121. <i>Triteleia ixioides subsp. cookii</i>	Cook's Triteleia	-/ G5T2T3/S2S3 1B.3	May-Jun	Streamsides, wet ravines on serpentine, often near cypresses
122. <i>Valley Needlegrass Grassland</i>				

**State/Rank Abbreviations:**

FE: Federally Endangered  
 FT: Federally Threatened  
 PE: Proposed Federally Endangered  
 PT: Proposed Federally Threatened  
 CE: California Endangered  
 CR: California Rare  
 CT: California Threatened  
 CCE: Candidate for California Endangered  
 CCT: Candidate for California Threatened

**California Rare Plant Ranks:**

CRPR 1A: Plants presumed extirpated in California and either rare or extinct elsewhere  
 CRPR 1B: Plants rare, threatened, or endangered in California and elsewhere  
 CRPR 2A: Plants presumed extirpated in California, but common elsewhere  
 CRPR 2B: Plants rare, threatened, or endangered in California, but more common elsewhere  
 CRPR 4: Plants of limited distribution - a watch list  
 0.1 - Seriously threatened in California (over 80% of occurrences threatened / high degree and immediacy of threat)  
 0.2 - Moderately threatened in California (20-80% occurrences threatened / moderate degree and immediacy of threat)  
 0.3 - Not very threatened in California (less than 20% of occurrences threatened / low degree and immediacy of threat or no current threats known)

**Global/State Ranks:**

G1/S1 – Critically Imperiled

G2/S2 – Imperiled

G3/S3 – Vulnerable G4/S4 – Apparently Secure

G5/S5 – Secure

Q – Element is very rare but there are taxonomic questions associated with it.

Range rank – (e.g., S2S3 means rank is somewhere between S2 and S3)

? – (e.g., S2? Means rank is more certain than S2S3 but less certain than S2)

**APPENDIX D. SPECIAL STATUS ANIMALS REPORTED FROM THE REGION**

	Scientific Name	Common Name	Federal/State Status Global/State Rank CDFW Status	Habitat Preference
1.	<i>Accipiter cooperii</i>	Cooper's Hawk	-/ G5/S4 WL	Oak woodland, riparian, open fields. Nests in dense trees, esp. coast live oak.
2.	<i>Agelaius tricolor</i>	Tricolored Blackbird	-/CT G2G3/S1S2 SSC	Requires open water, protected nesting substrate, & foraging area with insect prey near nesting colony.
3.	<i>Anniella pulchra</i>	Northern California Legless Lizard	-/ G3/S3 SSC	Sandy or loose loamy soils under coastal scrub or oak trees. Soil moisture essential.
4.	<i>Antrozous pallidus</i>	Pallid Bat	-/ G5/S3 SSC	Uses rock crevices, caves, tree hollows, mines, old buildings, & bridges for roosting.
5.	<i>Aquila chrysaetos</i>	Golden Eagle	-/ G5/S3 FP	Nests in large, prominent trees in valley and foothill woodland. Requires adjacent food source.
6.	<i>Athene cunicularia</i>	Burrowing Owl	-/ G4/S3 SSC	Burrows in squirrel holes in open habitats with low vegetation.
7.	<i>Atractelmis wawona</i>	Wawona Riffle Beetle	-/ G1G3/S1S2 SA	Strong preference for inhabiting submerged aquatic mosses.
8.	<i>Batrachoseps minor</i>	Lesser Slender Salamander	-/ G1/S1 SSC	Inhabits moist locations in forests of mixed oak, tanbark oak, sycamore & laurel above 1,300 ft (400 m).

	Scientific Name	Common Name	Federal/State Status Global/State Rank CDFW Status	Habitat Preference
9.	<i>Bombus caliginosus</i>	Obscure Bumble Bee	-/ G4?/S1S2 SA	Open coastal grasslands & meadows. Food plant genera include Baccharis, Cirsium, Lupinus, Lotus, Grindelia & Phacelia.
10.	<i>Bombus crotchii</i>	Crotch Bumble Bee	-/ G3G4/S1S2 SA	Open grassland & scrub habitats. Food plant genera include Antirrhinum, Phacelia, Clarkia, Dendromecon, Eschscholzia, & Eriogonum.
11.	<i>Branchinecta lynchi</i>	Vernal Pool Fairy Shrimp	FT/ G3/S3 SA	Clear water sandstone depression pools, grassed swale, earth slump, or basalt flow depression pools.
12.	<i>Buteo regalis</i>	Ferruginous Hawk	-/ G4/S3S4 WL	Winters locally in open grassland or savannah habitats. More common in interior SLO County than coast.
13.	<i>Charadrius alexandrinus nivosus</i>	Western Snowy Plover	FT/ G3T3/S2S3 SSC	Sandy beaches, salt pond levees, & shorelines of large alkali lakes. Needs friable soils for nesting.
14.	<i>Cicindela hirticollis gravida</i>	Sandy Beach Tiger Beetle	-/ G5T2/S2 SA	Adjacent to non-brackish water near the coast from San Francisco to N. Mexico. Clean, dry, light-colored sand in the upper zone.
15.	<i>Circus hudsonius</i>	Northern Harrier	-/ G5/S3 SSC	Nests on ground in shrubby vegetation, usually at marsh edge; nest built of a large mound of sticks in wet areas.
16.	<i>Coelus globosus</i>	Globose Dune Beetle	-/ G1G2/S1S2 SA	Coastal sand dune habitat. Inhabits foredunes & sand hummocks.

	Scientific Name	Common Name	Federal/State Status Global/State Rank CDFW Status	Habitat Preference
17.	<i>Corynorhinus townsendii</i>	Townsend's Big-Eared Bat	-/ G3G4/S2 SSC	Roosts in caves, abandoned buildings, tunnels. Roosting sites limiting. Sensitive to human disturbance.
18.	<i>Danaus plexippus pop. 1</i>	Monarch - California Overwintering Population	-/ G4T2T3/S2S3 SA	Roosts located in wind-protected tree groves (eucalyptus, Monterey pine, cypress), with nectar & water sources nearby.
19.	<i>Dipodomys heermanni morroensis</i>	Morro Bay Kangaroo Rat	FE/CE G3G4TH/SH FP	Needs sandy soil, but not active dunes, prefers early seral stages.
20.	<i>Elanus leucurus</i>	White-Tailed Kite	-/ G5/S3S4 FP	Nests in dense tree canopy near open foraging areas
21.	<i>Emys marmorata</i>	Western Pond Turtle	-/ G3G4/S3 SSC	Permanent or semi-permanent streams, ponds, lakes.
22.	<i>Eremophila alpestris actia</i>	California Horned Lark	-/ G5T4Q/S4 WL	Nests on the ground in open habitats with low, sparse vegetation. More common in the interior.
23.	<i>Eucyclogobius newberryi</i>	Tidewater Goby	FE/ G3/S3 SSC	Found in shallow lagoons & lower stream reaches, they need fairly still but not stagnant water & high oxygen levels.
24.	<i>Eumops perotis californicus</i>	Western Mastiff Bat	-/ G5T4/S3S4 SSC	Roosts in crevices in cliff faces, high buildings, trees, & tunnels. Inhabits many open, semi-arid to arid habitats, including conifer & deciduous woodlands, coastal scrub, grasslands, & chaparral.

	Scientific Name	Common Name	Federal/State Status Global/State Rank CDFW Status	Habitat Preference
25.	<i>Helminthoglypta walkeriana</i>	Morro Shoulderband (=Banded Dune) Snail	FE/- G1/S1S2 SA	Restricted to the coastal strand & sage scrub habitats in the immediate vicinity of Morro Bay.
26.	<i>Icaricia icarioides moroensis</i>			
27.	<i>Lanius ludovicianus</i>	Loggerhead Shrike	-/ G4/S4 SSC	Open areas with appropriate perches, near shrubby vegetation for nesting.
28.	<i>Laterallus jamaicensis coturniculus</i>	California Black Rail	-/CT G3G4T1/S1 FP	Occurs in tidal salt marsh heavily grown to pickleweed, also in freshwater & brackish marshes near the coast.
29.	<i>Linderiella occidentalis</i>	California Linderiella	-/ G2G3/S2S3 SA	Seasonal pools in unplowed grasslands with alluvial soils.
30.	<i>Neotoma lepida intermedia</i>	San Diego Desert Woodrat	-/ G5T3T4/S3S4 SSC	Moderate to dense canopies preferred. Abundant in rocky areas, outcrops. Ranges from San Diego to SLO Counties.
31.	<i>Nyctinomops macrotis</i>	Big Free-Tailed Bat	-/ G5/S3 SSC	Low lying arid areas in Southern California with rock outcrops or cliffs.
32.	<i>Oncorhynchus mykiss irideus pop. 9</i>	Steelhead - South-Central California Coast Dps	FT/- G5T2Q/S2 SA	Federal listing refers to runs in coastal basins from the Pajaro River south to, but not including, the Santa Maria River.
33.	<i>Phrynosoma blainvillii</i>	Coast Horned Lizard	-/ G3G4/S3S4 SSC	Frequents a wide variety of habitats, most common in lowlands along sandy washes with scattered low bushes.

	Scientific Name	Common Name	Federal/State Status Global/State Rank CDFW Status	Habitat Preference
34.	<i>Polyphylla morroensis</i>			
35.	<i>Polyphylla nubila</i>	Atascadero June Beetle	-/ G1/S1 SA	Known only from sand dunes in Atascadero & SLO.
36.	<i>Progne subis</i>	Purple Martin	-/ G5/S3 SSC	In SLO County prefers nesting in Sycamore trees along riparian corridors.
37.	<i>Pyrgulopsis taylori</i>	San Luis Obispo Pyrg	-/ G1/S1 SA	Freshwater habitats in SLO County.
38.	<i>Rallus obsoletus obsoletus</i>	California Ridgway's Rail	FE/CE G5T1/S1 FP	Associated with abundant growths of pickleweed, but feeds away from cover on invertebrates from mud-bottomed sloughs.
39.	<i>Rana boylei pop. 6</i>			
40.	<i>Rana draytonii</i>	California Red-Legged Frog	FT/ G2G3/S2S3 SSC	Lowlands & foothills in or near sources of deep water with dense, shrubby or emergent riparian vegetation. Requires 11-20 weeks for larval development.
41.	<i>Spea hammondi</i>	Western Spadefoot	-/ G3/S3 SSC	Grassland & woodland habitats with vernal pools for breeding. Most of year spent underground.
42.	<i>Strix occidentalis occidentalis</i>	California Spotted Owl	-/ G3G4T2T3/S3 SSC	Most often found in deep-shaded canyons, on north-facing slopes, & within 984 ft (300 m) of water.
43.	<i>Taricha torosa</i>	Coast Range Newt	-/ G4/S4 SSC	Lives in terrestrial habitats & will migrate >0.62 mi (1 km) to breed in ponds, reservoirs & slow moving streams.

	Scientific Name	Common Name	Federal/State Status Global/State Rank CDFW Status	Habitat Preference
44.	<i>Taxidea taxus</i>	American Badger	-/ G5/S3 SSC	Needs friable soils in open ground with abundant food source such as California ground squirrels.
45.	<i>Trimerotropis occulens</i>	Lompoc Grasshopper	-/ G1G2/S1S2 SA	Gravelly/rocky substrates & road cuts. Known only from Santa Barbara & SLO Counties.
46.	<i>Tryonia imitator</i>	Mimic Tryonia (=California Brackishwater Snail)	-/ G2/S2 SA	Inhabits coastal lagoons, estuaries, salt marshes from Sonoma to San Diego Counties.
47.	<i>Vireo bellii pusillus</i>	Least Bell's Vireo	FE/CE G5T2/S2 SA	Riparian habitat, near water or dry streambed, <2000 ft. Nests in willows, mesquite, Baccharis.
48.	<i>Vulpes macrotis mutica</i>	San Joaquin Kit Fox	FE/CT G4T2/S2 SA	Annual grasslands or grassy open stages with scattered shrubby vegetation. Needs loose textured sandy soil & prey base.

**Federal and State Status Abbreviations:**

FE: Federally Endangered  
 FT: Federally Threatened  
 PE: Proposed Federally Endangered  
 PT: Proposed Federally Threatened  
 CE: California Endangered  
 CT: California Threatened  
 CCE: Candidate for California Endangered  
 CCT: Candidate for California Threatened

**Global/State Ranks:**

G1/S1 – Critically Imperiled  
 G2/S2 – Imperiled  
 G3/S3 – Vulnerable  
 G4/S4 – Apparently Secure  
 G5/S5 – Secure  
 Q – Element is very rare but there are taxonomic questions associated with it.  
 Range rank – (e.g., S2S3 means rank is somewhere between S2 and S3)  
 ? – (e.g., S2? Means rank is more certain than S2S3 but less certain than S2)

**CDFW Rank:**

WL: Watch List  
 SSC: Species of Special Concern  
 FP: Fully Protected  
 SA: Special Animal

**USFWS:**

BCC: Bird Species of Conservation Concern